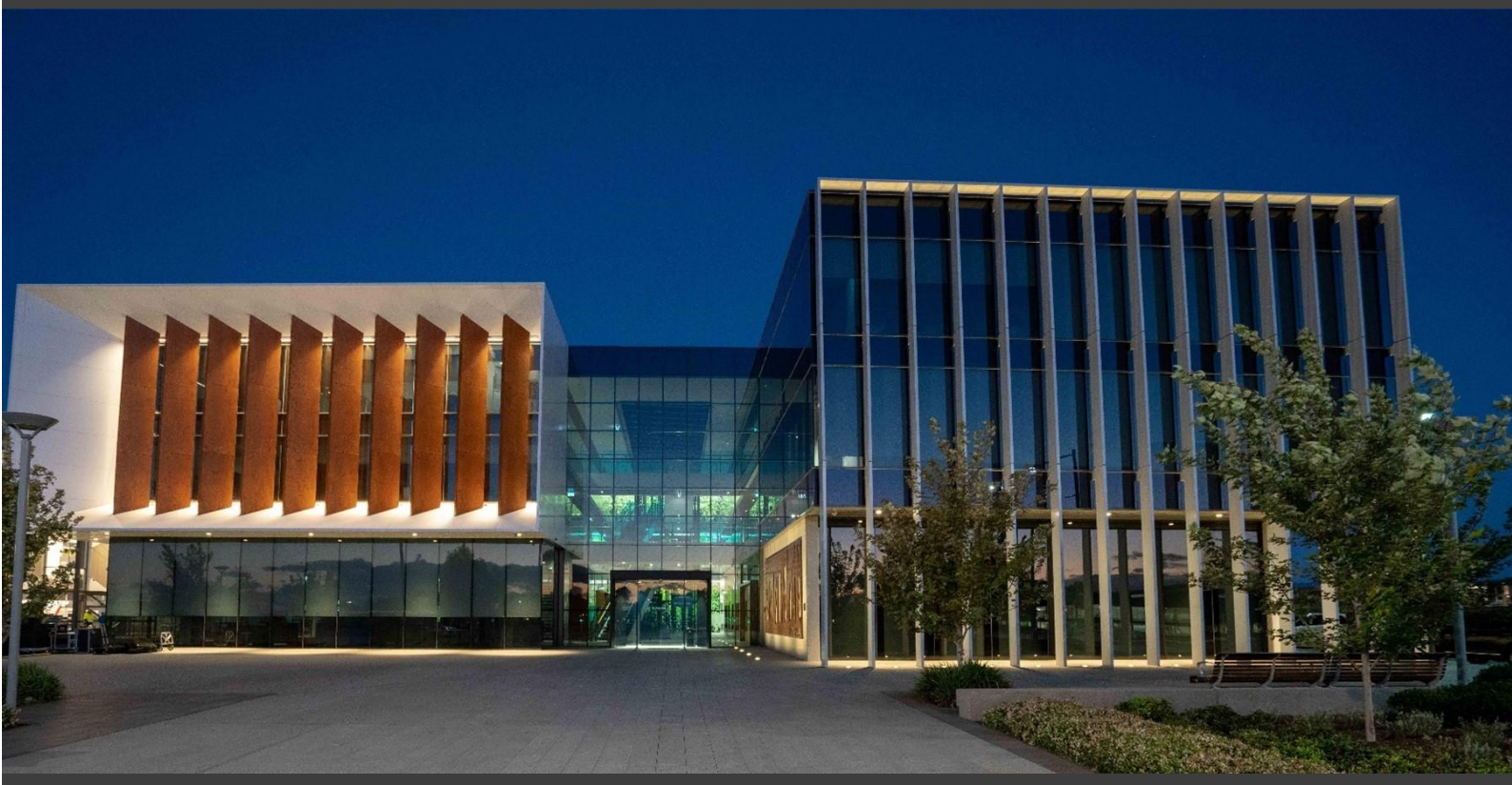
Business Paper

Camden Local Planning Panel

Camden Council
Administration Centre
70 Central Avenue, Oran Park

18 October 2022



camden council

ORDER OF BUSINESS

SUBJECT: ACKNOWLEDGEMENT OF COUNTRY

I would like to acknowledge the traditional custodians of this land on which we meet and pay our respect to elders both past and present.

SUBJECT: RECORDING OF LOCAL PLANNING PANEL MEETINGS

In accordance with Camden's Local Planning Panel Operational Procedures, this meeting is being audio recorded by Council staff for publication on Council's website.

No other recording by a video camera, still camera or any other electronic device capable of recording speech, moving images or still images is permitted without the prior approval of the panel.

SUBJECT: DECLARATION OF INTEREST

This section provides an opportunity for Panel Members to disclose any interest that they may have relating to a Report contained in this Agenda.

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SUBJECT: **DA/2022/455/1 - CONSTRUCTION OF A MULT-UNIT HOUSING DEVELOPMENT COMPRISING FOUR (4) BUILDINGS (FOUR STOREY APARTMENT BUILDINGS AND TWO STOREY TOWN HOUSES) CONTAINING A TOTAL OF 100 UNITS WITH BASEMENT CAR PARKING, LANDSCAPING AND ASSOCIATED WORKS - 11 INGLEBURN ROAD, LEPPINGTON**
FROM: Manager Statutory Planning
EDMS #: 22/362403

DA Number:	2022/455/1
Development:	Construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works
Estimated Cost of Development:	$18,728,247
Site Address(es):	11 Ingleburn Road, Leppington – Lot: 75 DP: 1180577
Applicant:	UPG 198 Pty Ltd
Owner(s):	UPG 198 Pty Ltd
Number of Submissions:	No submissions were received
Development Standard Contravention(s):	Clause 4.3 – Height of buildings – Appendix 5 Camden Growth Centres Precinct Plan – State Environmental Planning Policy (Precincts – Western Parkland City) 2021
Classification:	Local Development
Recommendation:	Refuse.
Panel Referral Criteria:	Sensitive Development
Report Prepared By:	Adam Sampson (Executive Planner)

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel's (the Panel's) determination of a development application (DA) for construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works at 11 Ingleburn Road, Leppington.

The Panel is to exercise Council's consent authority functions for this DA, as pursuant to the Minister for Planning's Section 9.1 Direction, it is a sensitive development to which State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development applies.

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SUMMARY OF RECOMMENDATION

That the Panel determine DA/2022/455/1 for the construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works, pursuant to Section 4.16 of the *Environmental Planning and Assessment Act, 1979,* by way of refusal for the reasons outlined at the end of this report.

EXECUTIVE SUMMARY

Council is in receipt of a DA for construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works at 11 Ingleburn Road, Leppington.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 1st June to 14th June 2022 and no submissions were received.

The development seeks to contravene the height of buildings development standard prescribed under Clause 4.3 of Appendix 5, State Environmental Planning Policy (Precincts – Western Parkland City) 2021 and the applicant has submitted a Clause 4.6 written request seeking to justify the contravention.

The height plan diagram demonstrates that the development is compressed, with subterranean units proposed along the southern side of the development, which would result in greater breaches to height if set at or above natural ground level. In addition, the development does not demonstrate or provide an effective height transition to the adjoining R2 Low Density Residential zone to the south, which has a lower height limit (9m). It has not been demonstrated that the additional height will result in a better outcome for the site, with the full extent of height not quantified on the development plans (RL's are not shown at the corners of buildings) and noting that the development substantially overshadows communal open space areas. The contravention is assessed in detail in this report and is not supported by Council staff.

The applicant has provided insufficient information to satisfy the requirements of Camden Growth Centre Precincts Development Control Plan in relation to salinity and soil management (Clause 2.3.3); native vegetation and ecology (Clause 2.3.5); noise (2.3.9) and earthworks (Clause 2.6). In addition, the application fails to comply with front setbacks to the upper floor fronting Ingleburn Road to buildings B and C, all floors to Building D and to secondary setbacks to the future southern local road and to Camden Valley Way to the east upon all levels from Buildings A, B, C and D.

Based on the assessment, it is recommended that the DA be refused for the reasons listed at the end of this report.

KEY PLANNING CONTROL VARIATIONS

Control	Proposed	Variation
Height of Building – 12m maximum	13.35m at the highest point from a lift overrun on Building D.	1.35m / 11.25%

AERIAL PHOTO

THE SITE

The site is commonly known as 11 Ingleburn Road, Leppington and is legally described as Lot 75 DP 1180577 and has an overall area of 1.44 hectares. The site has a frontage of 216.92m to Ingleburn Road, 55.355m to Camden Valley Way and 82.155m to Mallow Avenue.

The site is irregular in shape, tapering down at the north-east corner adjacent to the intersection of Ingleburn Road and Camden Valley Way. The site was previously shaped as a rectangle but has had land acquired from both Camden Valley Way and Ingleburn Road to accommodate the Camden Valley Way upgrade and new signalised intersection works at Ingleburn Road, including a left-hand turn slip lane. The site has a cross fall of approximately 5.86m from the south-east corner to the north-west property boundary.

The site contains a single storey dwelling house, with the majority of the site covered in road base / gravel for the housing / parking of trucks and equipment. Scattered vegetation of native eucalypts exists in the southeast corner of the site.

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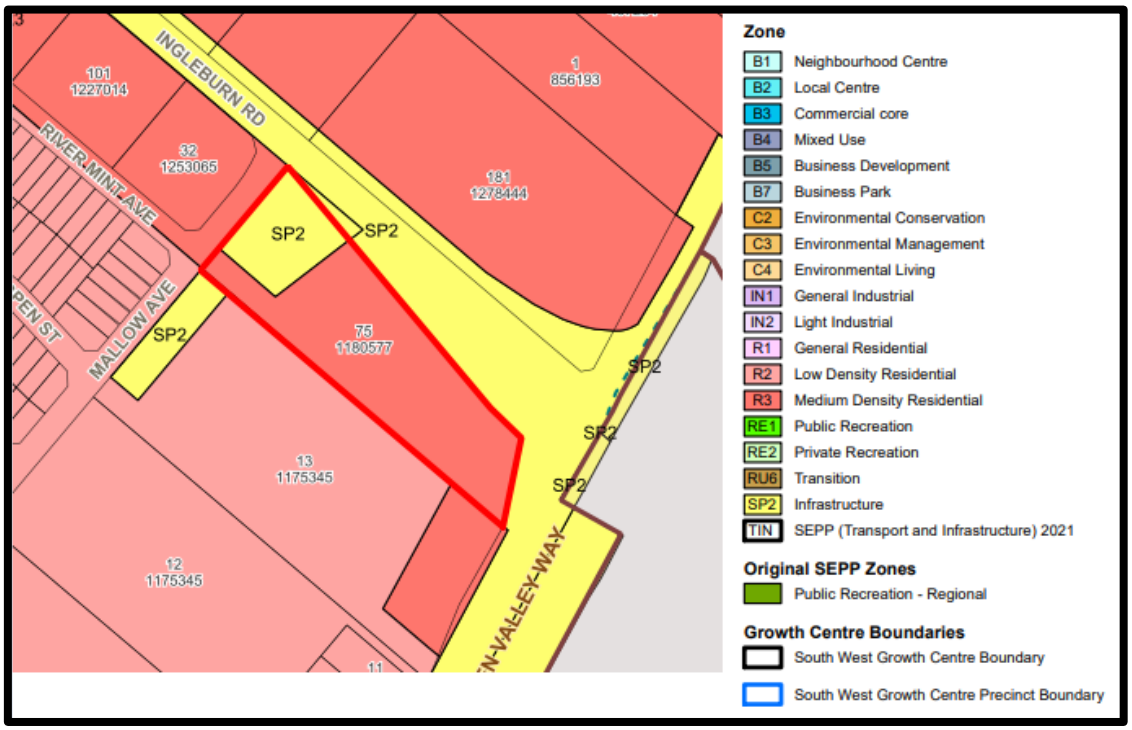
To the north of the site, on the opposite side of Ingleburn Road is Lockies Hotel. To the west, a new residential subdivision exists, with new local roads and dwelling houses exists, with several houses under construction. To the south, vacant land exists, with new residential subdivision located further to the south. To the east, the site adjoins Camden Valley Way, with the Willowdale residential subdivision estate located on the opposite side of Camden Valley Way.

The development site is located within the Leppington Precinct on the northern edge of the precinct bordering the Austral, North Leppington and the Leppington Major Centre to the north of the Southwest Growth Centre.

ZONING PLAN



AREA MASTER PLAN

HISTORY

The relevant development history of the site is summarised in the following table:

Date	Development
1 December 2021	DA/2021/1820/1 for the remediation of contaminated land, subdivision of Lot 75 DP1180577 into one superlot and one SP2 Lot, demolition of existing structures, construction of public road, drainage works and associated site works was lodged. The application remains undetermined. A Class 1 Appeal was filed with the NSW Land and Environment Court on 11 August 2022 against the deemed refusal of this development application.
7 July 2022	Camden Design Review Panel held for DA/2022/455/1.

THE PROPOSAL

DA/2022/455/1 seeks consent for construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works.

Specifically, the development involves:

- 2 x 1 studio units, 23 x 1 bedroom units, 35 x 2 bedroom units, 2 x 2 bedroom plus study units and 38 x 3 bedroom units.
- Basement carparking for 152 vehicles.
- Ground floor communal open space areas located between each of the buildings.

The estimated cost of the development is $18,728,247.

ASSESSMENT

Environmental Planning and Assessment Act, 1979 - Section 4.15(1)

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Precincts – Western Parkland City) 2021
- State Environmental Planning Policy (Transport and Infrastructure) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development

State Environmental Planning Policy (Precincts – Western Parkland City) 2021

The SEPP aims to co-ordinate the release of land for residential, employment and other urban development in the North West Growth Centre, the South West Growth Centre and the Wilton Growth Area.

Site Zoning

The site is partly zoned SP2 Infrastructure at the north-west corner of the site, with the remainder of the site to the east zoned R3 Medium Density Residential pursuant to Appendix 5, Clause 2.2 of the SEPP.

Land Use/Development Definitions

The development is characterised as a *'residential flat building'* by the SEPP.

Permissibility

The development is permitted with consent in the R3 Medium Density Residential zone portion of the site pursuant to the land use table in Appendix 5 of the SEPP.

Planning Controls

An assessment table in which the development is considered against the SEPP's planning controls is provided as an attachment to this report.

Proposed Contravention

The applicant proposes a contravention to the height of buildings development standard that applies to the site.

The development standard limits buildings to a maximum height of 12m above natural ground level. The development will have a maximum height of approximately 13.35 metres above natural ground level, at its highest point from a lift overrun from Building D. Three lift overruns from Building D contravene the maximum building height development standard. In addition, a building height contravention is also sought to Building B (lift overrun 13.3m and roof 12.3m) and Building C (lift overrun 12.55m and roof 12.3m). It should be noted that there are no natural ground levels indicated in the architectural plans (i.e. elevations) to determine the true extent of the height of the development.

Contravention Assessment

Pursuant to Appendix 5, Clause 4.6(3) of the SEPP, the applicant has submitted a written request that seeks to justify the contravention of the development standard.

In summary, the applicant's written request provides for the following justification for the contravention:

- *The development proposes a building height that is marginally greater than that permitted by the numerical component of the development standard. The primary cause of the non-compliance with the height limit is a consequence of the topography of the land and the development needing to respond to the topography. Based on the accompanying Survey Plans, the site has a fall of approximately 5 metres from RL 101.80 metres at the south-eastern corner to RL 96.80 metres on the north-western corner.*

- *Importantly, the additional height does not generate additional floor space for the development but rather, is a consequence of the need for the development to respond to the desired future character of built forms within the precinct and the design requirements for the built form under the State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development Design Guide (SEPP 65 ADG).*

- *A building height of 12 metres typically allows for a 3 to 4 storey development, subject to site attributes, constraints and detailed ADG design requirements.*

- *The buildings propose floor to ceiling heights that satisfy the SEPP 65 ADG requirements. However, due to the topography of the land detailed earlier, the development slightly breaches the height limit on the northern sides of the*

buildings which is unavoidable without considerable stepping of the built forms to respond to the topography of the site. The stepping of the buildings would pose significant design challenges and compromised buildings on the site in relation to accessibility, serviceability, layout and function and the relationship with the basement level.

- *The non-compliances comprise the roof slab and lift overruns as highlighted in Figure 3 earlier within this written request. The non-compliance is reasonable as it provides opportunity for the roof of the buildings to pronounce and emphasise the top level of the development, without contributing to additional floor space or height for the residential component of the building in accordance with objective (a).*

- *Considering that the development achieves the objectives of the development standard and the objectives of the land use zone, and furthermore achieves a satisfactory level of compliance with the applicable State and Council Planning Policies, the proposal is meritorious, and the contravention of the development standard is justified.*

- *On a quantitative basis, the proposed development provides a compliant built form apart from the building height which is marginal and subject to this variation request.*

- *Qualitatively, the non-compliant building heights do not cause any additional levels of overshadowing onto adjoining properties and the public domain and do not exacerbate the bulk and scale of the buildings when viewed from the surrounds. The internal amenity afforded to future residents of the development will be of a high standard and will not be compromised by the non-compliance with the building height development standard.*

- *To achieve a compliant development, the buildings would need to be stepped to respond to the topography of the site which would pose significant design challenges and compromised buildings on the site in relation to accessibility, serviceability, layout and function and the relationship with the basement level. Alternatively, the entire development could be sunken into the site which would result in some apartments on the ground floor becoming sub-terranean and resulting in poorer amenity for those apartments and the overall development. Furthermore, sinking the buildings into the site would not result in a better outcome for and from development given the additional height will not be readily visible from the surrounds.*

- *Despite exceeding the statutory maximum building height development standard, the proposed redevelopment of the site will facilitate the orderly and economic development of the land for the purpose of 'residential flat buildings' that will positively contribute to the achievement of the vision and strategic objectives of A Plan for Growing Sydney and the Western Parkland City SEPP.*

A copy of the applicant's written request is provided as an attachment to this report.

Council Staff Assessment

Having regard to the matters for consideration under Clause 4.6 of the SEPP it is considered that the objectives of Clause 4.6(1) have not been met as a better outcome for and from the development has not been achieved in this instance.

Pursuant to Clause 4.6(4) of the SEPP, it is considered that the applicant's written request has not adequately addressed the matters required to be demonstrated by Clause 4.6(3) of the SEPP and that the proposed development will not be in the public interest because it is inconsistent with the objectives of the height of buildings development standard.

Council staff have reviewed the Clause 4.6 written request and recommend that it be not supported for the following reasons:

- The development does not satisfy the objective of Clause 4.3(1)(b) Height of buildings – *'to minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to the buildings and open space'*, as the proposed continuous four (4) storey street wall is not an acceptable streetscape presentation and does not fulfill the desired future character of the area.

- The development does not satisfy the objective of Clause 4.3(1)(c) Height of Buildings – *'to facilitate higher density development in and around commercial centres and major transport routes'*, as the proposed development and increased density as a result of height contravention is located on the periphery of the Town Centre and is not within walkable distance to the centre to support the proposed higher density development.

- The built form of Buildings B, C and D up to four storeys with height exceedances, fails to respond and provide an effective height transition to the lower density R2 Low Density Residential zone to the south of future local residential street that has a maximum building height standard of 9m.

- It has not been demonstrated that the additional height will result in a better outcome for the site, noting that the development substantially overshadows all communal open space areas at ground level.

- Compliance with the development standard has not been adequately demonstrated to be unreasonable or unnecessary in the circumstances of the case.

- Sufficient environmental planning grounds to justify contravening the height of buildings development standard have not been adequately addressed in this instance.

Council has the assumed concurrence of the Director General of the Department of Planning and Environment. In this regard, the contravention of the development standard does not raise any matter of significance for State or regional environmental planning. A

As the development has not satisfied the objectives of Clause 4.6(1), it is considered that there is public benefit in maintaining the development standard. Consequently, it is recommended that the Panel do not support the proposed contravention to the SEPP's maximum height of buildings development standard.

State Environmental Planning Policy (Transport and Infrastructure) 2021

The ISEPP aims to facilitate the effective delivery of infrastructure across the State.

Division 17 Roads and Traffic
Subdivision 2 Development in or adjacent to road corridors and road reservations.

Pursuant to this division of the SEPP, Section 2.119 Development with frontage to classified road and Section 2.120 Impact of road noise or vibration on non-road development apply.

Section 2.119 Development with frontage to classified road

The development site has direct frontage to Camden Valley Way, which is a classified road. Accordingly, the following matters are to be addressed:

(2) The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that –

(a) Where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and
(b) The safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of –
(i) The design of the vehicular access to the land, or
(ii) The emission of smoke or dust from the development, or
(iii) The nature, volume or frequency of vehicles using the classified road to gain access to the land, and
(c) The development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures to, ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.

Whilst the development has direct frontage to Camden Valley Way, no vehicle access is proposed from Camden Valley Way. New vehicular access will be obtained by a new 16m wide typical local street connecting to Mallow Avenue to the west, which is required to run parallel with the southern property boundary. The southern typical local street is proposed to be constructed under DA/2021/1820/1.

Given the residential nature of the development, it is not expected that the residential flat building development will generate or produce emitting smoke or dust to cause a hazard to the operation and movement of vehicles travelling on Camden Valley Way.

Given the location to Camden Valley Way, the proposed residential development is of a type that is sensitive to road noise and will require specific glazing systems (i.e acoustic seals and glazing) to ensure that internal living areas and bedrooms do not exceed set criteria subject to Section 2.120(3) of the SEPP.

Section 2.120 Impact of road noise or vibration on non-road development

The development site is located adjacent to Camden Valley Way, which is a classified road. It is considered that the proposed residential development will be adversely affected by road noise from Camden Valley Way. Accordingly, the development is to provide mitigation measures to achieve internal noise levels set by Section 2.120(3), which prescribe that:

(3) If the development is for the purposes of residential accommodation, the consent authority must not grant consent to development unless it is satisfied that appropriate measures will be taken to ensure that the following LAeq levels are not exceeded –

(a) In any bedroom in the residential accommodation – 35 dB(A) at any time between 10pm and 7am,
(b) Anywhere else in the residential accommodation (other than a garage, kitchen, bathroom or hallway) – 40 dB(A) at any time.

The applicant has submitted an Acoustic Report which recommends that glazing be laminated and have a minimum thickness varying between 8.38mm and 10.38mm, with the southern, northern and eastern facades of Building D having a winter garden to balcony areas.

The Acoustic Report has failed to include predicted noise levels based on the ten year forecast traffic for Ingleburn Road and Camden Valley Way as required by Camden Growth Centre Precincts Development Control Plan and Council's Environmental Noise Policy. The higher traffic volumes will increase noise and the additional noise levels will require greater level of attenuation.

In addition, the Acoustic Report recommends an alternative means of ventilation (mechanical or passive acoustic ventilation) to apartments impacted by road noise shown within Appendix D of the submitted Noise & Vibration Impact Statement, with a further design of the natural ventilation strategy for those units requiring a wintergarden recommended prior to the issue of the Construction Certificate.

It is noted that the SEPP 65 Design Quality Principles Statement prepared by the applicant's architect claims that at least 60% of apartments are naturally cross-ventilated, however this is not possible with windows being closed and mechanical ventilation being required to ventilate internal areas.

This recommendation is unacceptable as it fails to consider likely built form changes to the design e.g. wintergardens and natural ventilation requirements of the Apartment Design Guide.

<u>State Environmental Planning Policy (Resilience and Hazards) 2021</u>

The SEPP requires the consent authority to be satisfied that the site is suitable for its intended use (in terms of contamination) prior to granting consent.

Demolition and the remediation of contaminated soil to a depth of 150mm across the site, contaminated with Total Recoverable Hydrocarbons (TRH) is proposed under DA/2021/1821/1. The remediation strategy will consist of the removal and offsite disposal of identified TRH impacted soils. Council staff are satisfied that following the remediation of land as proposed, the site will be suitable for the proposed residential development.

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State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The submitted BASIX Certificate is inconsistent with the development plans in respect to car parking (148 spaces specified, however 152 spaces are proposed on the plan).

State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development

SEPP 65 aims to improve the design quality of residential apartment development and provides an assessment framework, the Apartment Design Guide (ADG), for assessing 'good design'.

The SEPP requires consideration of any development application for residential accommodation meeting the application criteria of the SEPP against the nine (9) design quality principles, including the advice obtained from a design review panel and the ADG.

A copy of the assessment of the proposed development against the design criteria of the ADG is provided as an attachment to this report, with assessment of the application revealing several inconsistencies with the ADG and the design quality principles.

It is considered that the development does not have adequate regard to the design quality principles and lacks an understanding of the future desired character of the precinct. The design has a repetitious built form and would benefit from modulation of the current palette of repetitive materials and details. Each building lacks a distinct character and an identifiable building entry to achieve a unique sense of arrival for each block and a unique street address. The development closes access to Ingleburn Road, with no openings / pathways connecting to Ingleburn Road.

The development creates poor amenity for future residents as a result of the design orientation, which results in significant overshadowing to communal open space areas, poor landscaping, and lack of deep soil areas. In addition, a significant number of units facing Ingleburn Road and Camden Valley Way are subjected to significant road noise impacts, which will require design changes from open balconies to wintergardens and a reliance on mechanical ventilation in lieu of natural ventilation.

The proposed development has been assessed against the SEPP's design quality principles:

Principle 1: Context and Neighbourhood Character – Non-compliant

The entire area is undergoing a significant transition from rural/rural residential, to an urban character. In consideration of the proposed built form and establishing the future character of Leppington, building height and length coupled with street wall height are essential to create a desired streetscape.

The built form of Buildings B, C and D are proposed to stand four storeys, with height exceedances and fails to respond and provide an effective height transition down to the R2 Low Density Residential zone to the south of the future local street that has a maximum height standard of 9m. A three-storey wall height (that complies with the

building height standard) adjoining the future local street would allow a more pedestrian friendly streetscape and an appropriate transition down to the adjoining lower density development within the R2 Low Density Residential zone.

The proposal at present fails to create a responsive street-wall height along the proposed local road to the south that takes into account the pedestrian scale and likely height of future development across the road.

Principle 2: Built Form and Scale – Non-compliant

The orientation of proposed buildings results in a large amount of shadow to the proposed principal usable part of ground level communal open space areas based on the shadow diagrams in the architectural package.

The proposed buildings significantly overshadow the principal usable part of the communal open space areas, whereby it does not receive more than 50% direct sunlight for a period of at least 2 hours between 9am and 3pm on 21 June.

A portion of the southern elevation facing the future local street is visually obtrusive to the amenity of the neighbourhood, with clear views into the at-grade loading dock and waste storage area. The proposed blank wall treatment surrounding the loading dock area hides the development and eliminates the sense of identification of this prominent site leading into the Leppington Town Centre. The built form should be expressed, and function, as a marker to address this key location.

Principle 3: Density – Non-compliant

The proposed development seeks to provide approximately 94 dwellings per hectare, with the minimum density being 25 dwellings per hectare as per State Environmental Planning Policy (Precincts – Western Parkland City) 2021 (Appendix 5).

Based on the issues identified in this assessment report, including the contravention of the maximum height of buildings development standard; significant overshadowing of the principal usable part of ground level communal open space areas; inappropriate street wall height adjacent to the new local street; non-compliant front and secondary setbacks; insufficient building separation; and natural ventilation requirements unlikely to be met, it is considered that the proposed density is not appropriate.

Principle 4: Sustainability – Non-compliant

A significant number of units facing Ingleburn Road and Camden Valley Way are subjected to significant road noise impacts, which will require design changes from open balconies to wintergardens and a reliance on mechanical ventilation in lieu of natural ventilation.

The proposal also fails to provide information demonstrating a sound consideration of all other sustainability measures.

Principle 5: Landscape – Non-compliant

Considering the overshadowing issue to the principal usable part of ground level communal open space areas, significantly improvements are required to enable solar amenity to be received to the ground level communal open space areas to provide for better amenity.

Insufficient areas of deep soil exist on the site, with minimum dimensions not achieved. Proposed deep soil locations on-site are compromised by retaining walls / terracing to the east, pavement, and private open spaces / terraces to the west, with the central deep soil area containing extensive pathways and ramps.

The landscape palette is inaccurately displayed in the renders, appearing coastal, and diminished in height and scale. Tree planting and height is currently insufficient to provide scale to the built form and integrating the development into the landscape.

In addition, planter box design details specifying internal dimensions have not been provided over the basement in accordance with the requirements of the ADG.

Principle 6: Amenity – Non-compliant

The SEPP 65 Design Quality Principles Statement prepared by the applicant's architect claims that the development can achieve solar access and natural ventilation requirements as per the ADG, however this is not possible with windows required to be closed and mechanical ventilation being required to ventilate internal areas.

A significant number of units facing Ingleburn Road and Camden Valley Way are subjected to significant road noise impacts, which will require design changes from open balconies to wintergardens and a reliance on mechanical ventilation in lieu of natural ventilation.

The proposed buildings significantly overshadow the principal usable part of the ground floor communal open space areas, whereby they do not receive more than 50% direct sunlight for a period of at least 2 hours between 9am and 3pm on 21 June.

As this is a Greenfield development site with no significant site constraints to achieve this requirement, this is considered a poor outcome. Failure to create an area capable of receiving direct sunlight is considered a poor amenity outcome for future residents and will result in the development providing significant area of undesirable space.

Principle 7: Safety – Non-compliant

Buildings A, B and C do not have direct building entries to Ingleburn Road or to the southern local road. Building D entry lobbies are recessed significantly behind the front façade, so entry points are lost and not readily visible from the street. In addition, the development closes access to Ingleburn Road, with no openings / pathways connecting to Ingleburn Road.

Principle 8: Housing Diversity and Social Interaction – Non-compliant

The proposed development will provide a variety of apartment types including 2 x 1 studio units, 23 x 1 bedroom units, 35 x 2 bedroom units, 2 x 2 bedroom plus study units and 38 x 3 bedroom units.

The development lacks a diversity of programs across the site commensurate with the expected future resident make up. Each area of communal open space located between each building has similar area and width proportions, with identical landscape treatment at the edges. The lack of diversity and opportunity to undertake different activities within these spaces, is not appropriate for a broad range of people and limits social interaction amongst the residents.

Principle 9: Aesthetics – Non-compliant

The design has a repetitious built form and would benefit from modulation of the current palette of repetitive materials and details. Each building lacks a distinct character and an identifiable building entry, to achieve a unique sense of arrival for each block and a unique street address.

The building entry points are lost in the facades of the building and are not identifiable. In addition, Buildings A, B and C do not have direct street entries.

A portion of the southern elevation facing the future local street is visually obtrusive to the amenity of the neighbourhood, with clear views into the at-grade loading dock and waste storage area. The proposed blank wall treatment surrounding the loading dock area hides the development and eliminates the sense of identification of this prominent site leading into the Leppington Town Centre. The built form should be expressed, and function, as a marker to address this key location.

(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation of Land SEPP)

The development is consistent with the Draft Remediation of Land SEPP in that it is consistent with the Resilience and Hazards SEPP.

(a)(iii) the provisions of any development control plan

Camden Growth Centre Precincts Development Control Plan (Growth DCP)

An assessment table where the development is considered against the Camden Growth DCP is provided as an attachment to this report.

The applicant has provided insufficient information to satisfy the requirements of Camden Growth Centre Precincts Development Control Plan in relation to salinity and soil management (Clause 2.3.3); native vegetation and ecology (Clause 2.3.5); noise (2.3.9) and earthworks (Clause 2.6). In addition, the application fails to comply with front setbacks to the upper floor fronting Ingleburn Road to buildings B and C, all floors to Building D and to secondary setbacks to the future southern local road and to Camden Valley Way to the east upon all levels from Buildings A, B, C and D.

(a)(iiia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that can be addressed via conditions should the application be approved.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

The application proposes that waste collection be conducted on site via a large loading dock area containing a waste storage area and internal manoeuvring area. The loading dock area impacts on the design quality of the development, creating a visually poor streetscape, given the substantial impervious areas adjoining the public domain, large building openings to allow entry, which allows clear views inside and adjoining blank wall treatment to the north and to the east. To this extent, it is preferable for waste collection to occur from the street via designated waste storage room(s) sleeved behind units on the ground floor that are accessible on collection day.

The proposed blank wall treatment surrounding the loading dock area hides the development and eliminates the sense of identification of this prominent site leading into the Leppington Town Centre. The built form should be expressed, and function, as a marker to address this key location.

There is a high likelihood of conflict and collisions between car movements and waste vehicle movements entering and leaving the site, noting that the waste vehicle swept paths require manoeuvring over the basement ramp.

In addition, other waste deficiencies within the application include an incorrect waste bin size proposed (1100L sought, 660L largest permitted) and twice weekly collection, which is not permitted for this development type (weekly collection only), which will impact the size of waste storage and waste collection areas and result in implications to the design of the basement carpark.

(c) the suitability of the site for the development

Based on the insufficient information submitted with the application, as identified within the attached compliance tables, the site is considered unsuitable for development.

(d) any submissions made in accordance with this Act or the regulations

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 1st June to 14th June 2022 and no submissions were received.

(e) the public interest

The public interest is served through the detailed assessment of this DA under the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, environmental planning instruments, development

control plans and policies. Based on the above assessment, the development is not consistent with the public interest.

EXTERNAL REFERRALS

No external referrals were required for this DA.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act, 1979* and all relevant instruments, plans and policies. The DA is recommended for refusal for the reasons outlined at the end of this report.

RECOMMENDED

That the Panel refuse DA/2022/455/1 for the construction of a multi-unit housing development comprising four (4) buildings (four storey apartment buildings and two storey town houses) containing a total of 100 units with basement car parking, landscaping and associated works at 11 Ingleburn Road, Leppington for the following reasons:

1. The applicant's written request to contravene Appendix 5, Clause 4.3 of State Environmental Planning Policy (Precincts – Western Parkland City) 2021 does not adequately demonstrate that compliance with the development standard is unreasonable and unnecessary in the circumstances of the case or that there are sufficient environmental planning grounds to justify contravening the development standard. The development will not be in the public interest because it is inconsistent with the objectives of the development standard and the objectives for development within the zone in which the development is proposed to be carried out.

2. The proposed development is inconsistent with the design quality principles contained within State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development.

3. The development is inconsistent with clause 6.1, Appendix 5 of State Environmental Planning Policy (Precincts – Western Parkland City) 2021 in that insufficient information has been provided with the DA to demonstrate that public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when required.

4. The submitted BASIX Certificate is inconsistent with the architectural plans in respect to the number of overall carparking spaces.

5. The development is inconsistent with the following sections of Camden Growth Centre Precincts Development Control Plan:
   - Clause 4.3.5 (Table 4-10) in that front boundary setbacks of Buildings A, B, C and D to Ingleburn Road do not meet minimum setback requirements which establish the desired future character and built form of the Leppington Precinct.

- Clause 4.3.5 (Table 4-10) in that secondary street setbacks of Building D to Camden Valley Way do not meet minimum setback requirements which establish the desired future character and built form of the Leppington Precinct.

6. The development will have the following unreasonable adverse impacts:

   - The proposed development presents an unsatisfactory built form for the subject site and the desired character and does not provide for an effective height transition to the R2 Low Density Residential zone to the south of the future local residential street that has a maximum height standard of 9m.
   - The proposed buildings orientation and height will result in poor future amenity to ground floor communal open space areas whereby each space fails to receive the minimum requirement of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9am and 3pm on 21 June.
   - The loading dock area impacts on the design quality of the development, creating a visually poor streetscape, given the substantial impervious areas adjoining the public domain, large building openings to allow entry, which allows clear views inside and adjoining blank wall treatment to the north and to the east.

7. The application has not adequately demonstrated that the site can adequately support the development.

8. In consideration of the unreasonable adverse impacts that will result from the proposal, the development is not considered to be in the public interest.

9. The application has not been accompanied by the following information which is required to fully assess it:

   - The submitted acoustic report does not include predicted noise levels based on the ten-year forecast traffic for Ingleburn Road and Camden Valley Way to determine likely attenuation measures for internal rooms and external private open space.
   - The submitted salinity plan has taken samples at a depth of 1m, which is not reflective of the depth of the development, noting that a basement is proposed. The salinity plan needs to assess samples based on the depth of the development to determine if the development is impacted by salinity and thus requiring a Salinity Management Plan to manage those impacts.
   - No cut and fill plan has been submitted demonstrating proposed earthworks across the site, noting that batters and excavation is proposed adjacent to the future 16m local road to the south.
   - No dimensions have been stated on the architectural plans, including the adjoining southern residential road to accurately determine secondary setbacks from Buildings A, B, C and D from this frontage.
   - No sun eye diagrams have been provided to demonstrate that the proposed layout is the optimum arrangement for solar access.

ATTACHMENTS

1. Apartment Design Guide Assessment Table
2. Growth SEPP Assessment Table
3. Growth DCP Assessment Table

4. Clause 4.6 Written Request
5. Architectural Plans
6. Landscape Plans

Apartment Design Guide (ADG) Assessment Table

Objective	Assessment	Achieved?
3A-1 Site Analysis Site analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context.	A site analysis plan and urban context study has been completed.	Yes
3B-1 Orientation Building types and layouts respond to the streetscape and site whilst optimising solar access within the development.	Buildings A, B, C have street frontage to both Ingleburn Road and to the new 16m road, but no direct access / lobbies are provided. Residential lobbies are located centrally in the development, meaning that the address is not directly on the street. As these buildings have direct street frontage, they shall provide direct building access and a street address.	No
3B-2 Orientation Overshadowing of neighbouring properties is minimised during mid-winter.	Due to the orientation of the site, shadows will fall to the south over the new 16m local road and to east / west (Camden Valley Way and drainage land) as the sun moves across the sky.	Yes
3C-1 Public Domain Interface Transition between private and public domain is achieved without compromising safety and security.	The ground levels of courtyards of Building D in relation to Ingleburn Road verge levels are not shown on the architectural plans, with submitted landscape plans indicating that existing levels are lower than the verge level. Proposed 1.8m fencing to Ingleburn Road is inappropriate, with no details provided of materials and the style of fencing. Levels of proposed courtyards to the south in relation to the new local road are substantially lower and offer no privacy to adjoining units. The development closes access to Ingleburn Road, with no openings / pathways connecting to Ingleburn Road. Good design provides for all ground floor units to be provided with direct street access from courtyards. The current design is prohibitive and does not allow ground floor units to be provided with direct street access. The extent of front fencing, including height, has not been shown upon the architectural plans.	No
3C-2 Public Domain Interface Amenity of the public domain is retained and enhanced.	The proposed padmount substation is visually obtrusive, with no screening or landscaping adjoining the substation to conceal and shield views.	No
3D-1 Communal and Public Open Space An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping.	In its current configuration, the communal open space area fails to achieve the minimum requirements for sunlight. Several areas nominated as communal open space (rows of hedge planting adjacent to the northern property boundary and to the west of building A) cannot be utilised by residents and therefore are not considered to be counted towards sunlight requirements.	No

Apartment Design Guide (ADG) Assessment Table

3D-1 Communal and Public Open Space - Design Criteria Communal open space has a minimum area equal to 25% of the site area. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of two hours between 9am and 3pm on 21 June (mid-winter).	Site Area – 7,520m² Minimum requirement – 1,880m² Proposed area – 1,452.636m² (19.3%) COS – No principal usable area is specified on the plans. Areas between buildings A-B, B-C and C-D do not receive solar access to more than 50% of this area to at least 2 hours at mid winter. COS – Between A – B – Less than one hour. COS – Between B – C – Less than one hour. COS – Between C – D – Less than one hour.	No
3D-2 Communal and Public Open Space Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.	Several areas nominated as communal open space (rows of hedge planting adjacent to the northern property boundary and landscaping to the west of building A) cannot be utilised by residents. In addition, each row of communal open space between buildings is identical. The development lacks a diversity of programs across the site commensurate with the expected future resident make up. Scale issues exist within the communal open space with active areas directly adjacent to ground floor private open space areas and insufficient planting to screen views or buffer noise.	No
3D-3 Communal and Public Open Space Communal open space is designed to maximise safety.	Communal open space areas are defined and legible and are overlooked by upper apartments reinforcing safety through casual surveillance.	Yes
3E-1 Deep Soil Zones Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality.	Insufficient areas of deep soil exist on the site, with minimum dimensions not achieved. Proposed deep soil locations on-site are compromised by retaining walls / terracing to the east, pavement, and private open spaces / terraces to the west, with the central deep soil area containing extensive pathways and ramps.	No
3E-1 Deep Soil Zones - Design Criteria Deep soil zones are to meet the following minimum requirements: Site area <650m² 7% of site area. Site area 650m²-1,500m² Minimum dimensions of 3m and 7% of site area.	Site Area – 7,520m² Minimum Requirement – 526.4m² Minimum dimensions – 6m Proposed Area – 0m² / 0% Minimum dimensions – Less than 6m. (Maximum 4.7m (east)) Proposed deep soil locations on-site are compromised by built form, retaining walls / terracing to the east, pavement, and private open spaces / terraces to the	No

Apartment Design Guide (ADG) Assessment Table

Site area >1,500m² Minimum dimensions of 6m and 7% of site area. Site area >1,500m² with significant existing tree cover Minimum dimensions of 6m and 7% of site area.	west, with the central deep soil area containing extensive pathways and ramps. As such, areas nominated for the purpose as deep soil do not meet the minimum width requirements and are not considered capable as contributing to overall deep soil area.	
3F-1 Visual Privacy Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy.	The development fails to achieve the minimum building separation between buildings on site. As the site is a greenfield site, without significant site constraint, it is expected that building separation distances in accordance with the Apartment Design Guide and Camden Growth Centre Precincts Development Control Plan can be achieved.	No
3F-1 Visual Privacy - Design Criteria Separation distance between windows and balconies is provided to ensure visual privacy is achieved. Minimum requires separation distance from buildings to the side and rear boundaries are as follows: Building up to 12m (4 storeys) 6m between habitable rooms and balconies, 3m between non-habitable rooms. Separation distances between buildings on the same site should combine required building separations depending on the type of room. Gallery access circulation should be treated as habitable space when measuring privacy separation distance between neighbouring properties.	Between Building A – B Ground – 9.9m Level 1 – 11.2m Level 2 – 11.2m Between Building B – C Ground – 9.5m Level 1 – 11.2m Level 2 – 11.4m Level 3 – 11.2m Between Building C – D Ground – 10.7m Level 1 – 12m Level 2 – 12m Level 3 – 12m	No
3F-2 Visual Privacy Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space.	Vertical battens are proposed for courtyard fencing. Building separation distances fail. All eastern and western adjoining balconies will require solid blade walls to preserve privacy, which may have further implications on solar access.	No
3G-1 Pedestrian Access and Entries Building entries and pedestrian access connects to and addresses the public domain.	Buildings A, B and C do not have direct building entries to Ingleburn Road or to the southern local road. Entry lobbies for Building D are recessed significantly behind the front façade, so entry points are lost and not readily visible from the street.	No

Apartment Design Guide (ADG) Assessment Table

	In addition, the development closes access to Ingleburn Road, with no openings / pathways connecting to Ingleburn Road. The building entry points are lost in the facades of the building. The use of alternative colours and materials, including architectural features (awnings) should be used to distinguish all building entry points from the facades of the development. The development is reliant upon numerous steps and stairwells and ramps, which are considered excessive and questions whether design levels have been appropriately set.	
3G-2 Pedestrian Access and Entries Access, entries and pathways are accessible and easy to identify.	Buildings A, B and C do not orientate building entries to Ingleburn Road or to the southern local road. Colours and architectural features could be better used to distinguish building entries from the facades of the development.	No
3H-1 Vehicle Access Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes.	The proposed basement ramp and adjoining at grade waste collection area creates a visually poor streetscape, with substantial impervious areas, large building openings and adjoining blank wall treatment to the north and to the east. There is a high likelihood of conflict and collisions between car movements and waste vehicle movements entering and leaving the site, noting that the waste swept paths require manoeuvring over the basement ramp. The basement ramp at the north-eastern corner has been designed with a sharp bend, for two-way movement. Concerns are raised as whether this movement is practical and achievable. Swept path diagrams have not been provided at this bend to demonstrate that two vehicles can pass each other at this point along the ramp. There are significant level changes across the site. The location of the basement ramp and loading dock at the narrowest and highest portion of the site is counter intuitive. When reviewing the overall site planning an alternative basement carpark access should be provided.	No
3J-1 Bicycle and Car Parking Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas.	A singular level of basement parking is proposed, which provides for occupant and visitor parking. Two separate bicycle storage areas are provided.	Yes
3J-1 Bicycle and Car Parking - Design Criteria For development in the following locations: • on sites that are within 800m of a railway station or light rail stop	The development site is greater than 800 metres from Leppington Railway Station. Car parking on site has been provided in accordance with Camden Growth Centre Precincts Development Control Plan.	NA

Apartment Design Guide (ADG) Assessment Table

in the Sydney Metropolitan Area, or • on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre. the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. The car parking need for a development must be provided off-street.		
3J-2 Bicycle and Car Parking Parking and facilities are provided for other modes of transport.	Two separate bicycle storage areas are provided within the basement level.	Yes
3J-3 Bicycle and Car Parking Car park design and access is safe and secure.	All car parking is provided within the basement level, located behind roller shutters with controlled access points to gain entry.	Yes
3J-4 Bicycle and Car Parking Visual and environmental impacts of underground car parking are minimised.	All parking is proposed within the basement level, mitigating visual impacts of large hardstand areas.	Yes
4A-1 Solar and Daylight Access To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space.	No sun eye diagrams have been submitted to demonstrate that the layout is the optimum arrangement for solar access.	No
4A-1 Solar and Daylight Access - Design Criteria Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two hours direct sunlight between 9am and 3pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas. A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid-winter.	The development has failed to demonstrate that a primary window on the building façade and private open space area can provide a minimum of 2 hours of direct sunlight between 9am – 3pm mid winter. View from the sun diagrams have not been submitted to verify solar access claims made by the applicant.	Insufficient information submitted to demonstrate that design criteria has been met.
4A-3 Solar and Daylight Access Design incorporates shading and glare control, particularly for warmer months.	Balconies are the only forms of architecture able to shade lower levels. Awnings and other means of shade and glare control have not been provided.	No
4B-1 Natural Ventilation All habitable rooms are naturally ventilated.	The submitted Acoustic Report has failed to include predicted noise levels based on the ten-year forecast	No

Apartment Design Guide (ADG) Assessment Table

	traffic for Ingleburn Road and Camden Valley Way as required by the Camden Growth Centre Precincts DCP and Councils Environmental Noise Policy. The higher traffic volumes will increase noise and the additional noise levels will require greater level of attenuation, including the likely requirement to provide winter gardens to upper level balconies and attenuating ground level private open space areas facing Ingleburn Road for buildings A, B and C. The Acoustic Report only proposes a semi enclosed balcony / wintergarden strategy for noise affected habitable spaces to building D, however the acoustic report does not detail specific construction requirements or the height to enclose balconies to. Previous assessments for development in the vicinity, including 28 Ingleburn Road to the north west indicate that the predicted traffic noise will increase to 66d(B(A) $L_{AEQ\ (18\ hours)}$. It should be noted that the residential flat building development at 28 Ingleburn Road (determined by the Regional Panel) required winter gardens to ground floor terrace areas and balcony areas to mitigate noise impacts from Ingleburn Road. In addition, the acoustic report recommends an alternative means of ventilation (mechanical or passive acoustic ventilation) to apartments impacted by road noise shown within Appendix D of the submitted Noise & Vibration Impact Statement, with a further design of the natural ventilation strategy for those units requiring a wintergarden recommended prior to the issue of the Construction Certificate. It is noted that the SEPP 65 Design Quality Principles Statement prepared by the applicant's architect claims that at least 60% of apartments are naturally cross-ventilated, however this is not possible with windows being closed and mechanical ventilation being required to ventilate internal areas. This recommendation is unacceptable as it fails to consider likely built form changes to the design (e.g. wintergardens) and natural ventilation requirements of the Apartment Design Guide.	
4B-2 Natural Ventilation The layout and design of single aspect apartments maximises natural ventilation.	A combination of single aspect and cross through units are proposed, including corner units.	Yes
4B-3 Natural Ventilation The number of apartments with natural cross ventilation is maximized to create a comfortable indoor environment for residents.	A combination of single aspect and cross through units are proposed, including corner units.	Yes
4B-3 Natural Ventilation - Design Criteria At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building.	The Acoustic Report recommends an alternative means of ventilation (mechanical or passive acoustic ventilation) to apartments impacted by road noise shown within Appendix D of the submitted Noise &	Insufficient information submitted to demonstrate

Apartment Design Guide (ADG) Assessment Table

Apartments at ten storeys or greater are deemed to be naturally ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	Vibration Impact Statement, with a further design of the natural ventilation strategy for those units requiring a wintergarden recommended prior to the issue of the Construction Certificate. It is noted that the SEPP 65 Design Quality Principles Statement prepared by the applicant's architect claims that at least 60% of apartments are naturally cross-ventilated, however this is not possible with windows being closed and mechanical ventilation being required to ventilate internal areas. This recommendation is unacceptable as it fails to consider likely built form changes to the design (e.g. wintergardens) and natural ventilation requirements of the Apartment Design Guide. Cross through units range from 15m (Buildings A, B and C) – 17.8m (Building D), however no dimensions are included in the architectural plans.	that design criteria has been met.
4C-1 Ceiling Heights Ceiling height achieves sufficient natural ventilation and daylight access.	The section plans do not specify slab thickness to determine internal ceiling heights and whether a floor to floor height of 3.1m can be achieved.	No
4C-1 Ceiling Heights - Design Criteria Measured from finished floor level to finished ceiling level, minimum ceiling heights are: <u>Habitable rooms</u> 2.7m. <u>Non-habitable rooms</u> 2.4m. <u>Two storey apartments</u> 2.7m for main living area floor. 2.4m for second floor, where its area does not exceed 50% of the apartment area. <u>Attic spaces</u> 1.8m at the edge of room with a 30 degree minimum ceiling slope. <u>If located in mixed use areas</u> 3.3m for ground and first floor to promote future flexibility of use.	3m to 3.1m floor to floor heights are proposed. The 1st floor, floor to floor heights of buildings A, B and C are only 3m in height. However, the section plans do not specify slab thickness to determine internal ceiling heights and whether a floor to floor height of 3.1m can be achieved. The SEPP 65 Design Quality Principles Statement prepared by the applicant's architect states that two storey apartments are proposed with bedroom levels less than 50% of the overall apartment area having ceiling heights of a minimum 2.4m high, however the section plans indicate higher ceiling heights.	Insufficient information submitted to demonstrate that design criteria has been met.
4C-2 Ceiling Heights Ceiling height increases the sense of space in apartments and provides for well-proportioned rooms.	Internal ceiling heights are unable to be verified.	No
4D-1 Apartment Size and Layout		

Apartment Design Guide (ADG) Assessment Table

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.	In the absence of dimensions, it is unknown if this objective has been met.	Insufficient details have been provided.
4D-1 Apartment Size and Layout - Design Criteria Apartments are required to have the following minimum internal areas: Studio 35m². One bedroom 50m². Two bedroom 70m². Three bedroom 90m². The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each. A fourth bedroom and further additional bedrooms increase the minimum internal area by 12m² each. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.	Whilst areas are nominated, no dimensions have been provided on the plans to confirm if the minimum requirements as per the ADG have been met.	No
4D-2 Apartment Size and Layout Environmental performance of the apartment is maximized.	In the absence of dimensions, it is unknown if this objective has been met.	No
4D-2 Apartment Size and Layout - Design Criteria Habitable room depths are limited to a maximum of 2.5 x the ceiling height. In open plan layout (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window.	The proposed habitable room ceiling heights are 2.7m. 2.5m x 2.7m = 6.75m maximum permitted habitable room depth. No dimensions are provided to calculate maximum habitable room depths from a window.	No
4D-3 Apartment Size and Layout Apartment layouts are designed to accommodate a variety of household activities and needs.	In the absence of dimensions, it is unknown if this objective has been met.	No

Apartment Design Guide (ADG) Assessment Table

4D-3 Apartment Size and Layout - Design Criteria Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space), Bedrooms have a minimum dimension of 3m (excluding wardrobe space). Living rooms or combined living/dining rooms have a minimum width of: One bedroom apartments 3.6m. Two or three bedroom apartments 4m. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.	No areas or dimensions have been provided upon the plans to confirm if the minimum requirements as per the ADG have been met.	No
4E-1 Private Open Space and Balconies Apartments provide appropriately sized private open space and balconies to enhance residential amenity.	In the absence of dimensions, it is unknown if this objective has been met.	No
4E-1 Private Open Space and Balconies - Design Criteria All apartments are required to have primary balconies as follows: Studio apartments 4m². One bedroom apartments 8m² with a minimum depth of 2m. Two bedroom apartments 10m² with a minimum depth of 2m. Three+ bedroom apartments 12m² with a minimum depth of 2.4m. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a	Whilst areas are nominated, no dimensions have been provided on the plans to confirm if the minimum requirements as per the ADG have been met.	No

Apartment Design Guide (ADG) Assessment Table

minimum area of 15m² and a minimum depth of 3m.		
4E-2 Private Open Space and Balconies Primary private open space and balconies are appropriately located to enhance liveability for residents.	The apartment terraces and balconies will be located adjacent to living areas, therefore extending the apartments' living spaces.	Yes
4E-3 Private Open Space and Balconies Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.	The location of private open space and balcony areas is considered rigid, with little variation in balcony setback and placement upon the facades, with long rows of balconies placed atop each other.	No
4E-4 Private Open Space and Balconies Private open space and balcony design maximizes safety.	The design of the proposed balconies and terraces will achieve a good level of safety.	Yes
4F-1 Common Circulation and Spaces Common circulation spaces achieve good amenity and properly service the number of apartments.	The application fails to be consistent with this objective, providing disjointed and irregular corridors, which do not discharge directly into communal open space areas (Building D).	No
4F-1 Common Circulation and Spaces - Design Criteria The maximum number of apartments off a circulation core on a single level is eight. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40.	8 Where two storey townhouses are proposed, entry to these units is obtained from ground level, with internal stair access to the upper level.	Yes
4F-2 Common Circulation and Spaces Common circulation spaces promote safety and provide for social interaction between residents.	No dimensions of corridor widths are detailed upon the plans.	No
4G-1 Common Circulation and Spaces Adequate, well designed storage is provided in each apartments.	It is unclear from the architectural plans whether sufficient storage areas have been provided for the development.	No
4G-1 Common Circulation and Spaces - Design Criteria In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: Studio apartments 4m³. One bedroom apartments 6m³. Two bedroom apartments 8m³. Three+ bedroom apartments	The dimensions of proposed storage areas are not stated upon the architectural plans to confirm whether minimum storage requirements are met.	Insufficient information submitted to demonstrate that design criteria has been met.

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CLPP01

Attachment 1

Apartment Design Guide (ADG) Assessment Table

10m³. At least 50% of the required storage is to be located within the apartment.		
4G-2 Common Circulation and Spaces Additional storage is conveniently located, accessible and nominated for individual apartments.	Secure basement storage is provided at the rear of some car parking spaces and throughout the basement level.	Yes
4H-1 Acoustic Privacy Noise transfer is minimized through the siting of buildings and building layout.	Acoustic assessment has failed to include predicted noise levels based on the ten-year forecast for Ingleburn Road and Camden Valley Way to inform building orientation, design and internal layout.	No
4H-2 Acoustic Privacy Noise impacts are mitigated within apartments through layouts and acoustic treatments.	The proposed layout has not accurately modelled road noise impacts upon the development. Further acoustic mitigation will be required to attenuate road noise impacts upon the development.	No
4J-1 Noise and Pollution In noisy or hostile environments the impacts of external noise and pollution are minimized through the careful siting and layout of buildings.	Buildings fronting Ingleburn Road and Camden Valley Way will be subject to road noise. At present, the design of the development has not satisfactorily addressed road noise impacts upon the development.	No
4J-2 Noise and Pollution Appropriate noise shielding or attenuation techniques for the building design, construction and choice of materials are used to mitigate noise transmission.	The development fails to acknowledge acoustic impacts based on a ten-year traffic forecast upon the proposal. Glazing requirements are specified to achieve internal noise goals, however, these requirements are likely to be insufficient once considered against the ten-year traffic forecast for acoustic assessment. In addition, acoustic attenuation measures will be required to balconies from buildings A, B and C that face Ingleburn Road.	No
4K-1 Apartment Mix A range of apartment types and sizes is provided to cater for different household types now and into the future.	The proposed development consists of the following unit mix: 2 x 1 studio units 23 x 1 bedroom units 35 x 2 bedroom units 2 x 2 bedroom plus study units 38 x 3 bedroom units	Yes
4K-2 Apartment Mix The apartment mix is distributed to suitable locations within the building.	Apartment types are mixed throughout the development.	Yes
4L-1 Ground Floor Apartments Street frontage is maximized where ground floor apartments are located.	The current design is prohibitive and does not allow ground floor units to be provided with direct street access, particularly to Ingleburn Road.	No
4L-2 Ground Floor Apartments		

Apartment Design Guide (ADG) Assessment Table

Design of ground floor apartments delivers amenity and safety for residents.	The development closes access to Ingleburn Road, with no openings / pathways connecting to Ingleburn Road. Good design provides for all ground floor units to be provided with direct street access from courtyards. The current design is prohibitive and does not allow ground floor units to be provided with direct street access. In addition, levels of courtyard spaces adjacent to the future local road to the south are lower than the verge level, which results in privacy implications to future occupants.	No
4M-1 Facades Building facades provide visual interest along the street while respecting the character of the local area.	The design has a repetitious built form and would benefit from modulation of the current palette of repetitive materials and details. Each building lacks a distinct character and an identifiable building entry, to achieve a unique sense of arrival for each block and a unique street address.	No
4M-2 Facades Building functions are expressed by the façade.	The building entry points are lost in the facades of the building and are not identifiable. In addition, Buildings A, B and C do not have direct street entries. The proposed blank wall treatment to the loading dock hides the development and eliminates the sense of identification of this prominent site leading into the Leppington Town Centre. The built form should be expressed, and function, as a marker to address this key location.	No
4N-1 Roof Design Roof treatments are integrated into the building designed and positive respond to the streets.	The proposed flat roof profile does not assist in breaking down the massing of the development.	No
4N-2 Roof Design Opportunities to use roof space for residential accommodation and open space are maximized.	Not sought.	NA
4N-3 Roof Design Roof design incorporates sustainability features.	No sustainability measures are proposed, with the exception of roof insulation.	No
4O-1 Landscape Design Landscape design is viable and sustainable.	A suitable landscape plan has not been submitted. Proposed deep soil locations on-site are compromised by retaining walls / terracing to the east, pavement, and private open spaces / terraces to the west, with the central	No

Apartment Design Guide (ADG) Assessment Table

	deep soil area containing pathways and ramps. Where deep soil zones are proposed, these are not provided with trees.	
4O-2 Landscape Design Landscape design contributes to the streetscape and amenity.	The landscape palette is inaccurately displayed in the renders, appearing coastal, and diminished in height and scale. Tree planting and height is currently insufficient to provide scale to the built form and integrating the development into the landscape.	No
4P-1 Planting on Structures Appropriate soil profiles are provided.	Detailed sections are not provided demonstrating that planting atop the basement level, can satisfy the minimum soil standards as per table 5 of the Apartment Design Guide.	No
4P-2 Planting on Structures Plant growth is optimized with appropriate selection and maintenance.	The landscape palette is inaccurately displayed in the renders, appearing coastal, and diminished in height and scale. Tree planting and height is currently insufficient to provide scale to the built form and integrating the development into the landscape.	No
4P-3 Planting on Structures Planting on structures contributes to the quality and amenity of communal and public open spaces.	The architectural plans indicate no soil depth above the basement car park. Given the usable communal open space areas are already quite narrow for a development of this size, when planter walls are extruded upwards into these spaces, their slender proportion is exacerbated.	No
4Q-1 Universal Design Universal design features are included in apartment design to promote flexible housing for all community members.	20 of 100 apartments (20%) are nominated as incorporating the Livable Housing Guidelines silver level universal design features.	Yes
4Q-2 Universal Design A variety of apartments with adaptable designed are provided.	12 units (12% of the total number of units) have been designed to be adaptable.	Yes
4Q-3 Universal Design Apartment layouts are flexible and accommodate a range of lifestyle needs.	The development offers a diverse range of apartment types and areas, however as detailed earlier in this compliance table, no dimensions have been provided to determine whether living areas, bedrooms and private open space areas meet minimum requirements.	Insufficient information submitted to demonstrate that design guidance has been met.
4U-1 Energy Efficiency Development incorporates passive environmental design.	The development has failed to demonstrate that a primary window on the building façade can provide a minimum of 2 hours of direct sunlight between 9am – 3pm mid winter. View from the sun diagrams have not been	Insufficient information submitted to demonstrate that design guidance has been met.

Apartment Design Guide (ADG) Assessment Table

	submitted to verify solar access claims made by the applicant.	
4U-2 Energy Efficiency Development incorporates passive solar design to optimize heat storage in winter and reduce heat transfer in summer.	Passive solar design measures have not been clearly specified for the development.	No
4U-3 Energy Efficiency Adequate natural ventilation minimises the need for mechanical ventilation.	Mechanical ventilation is likely to be the predominant source of air intake for several units facing Ingleburn Road and Camden Valley Way, as these roads are significant generators of noise impacts.	No
4V-1 Water Management and Conservation Potable water use is minimised.	Water efficient devices are proposed through BASIX Commitments.	Yes
4V-2 Water Management and Conservation Urban stormwater is treated on site before being discharged to receiving waters.	The Civil Engineering report indicates that the development will meet expected water targets required by Camden Growth Centre Precincts Development Control Plan.	Yes
4W-1 Waste Management Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents.	Waste storage areas are visually obtrusive to the amenity of the neighbourhood, with clear views into the at-grade loading dock and waste storage area. It is considered preferrable that waste collection occurs from the street via a designated waste storage room sleeved behind units on the ground floor that is accessible on collection day.	No
4W-2 Waste Management Domestic waste is minimised by providing safe and convenient source separation and recycling.	There are inefficiencies and deficiencies in the waste management and the design of waste infrastructure on-site. The following waste management issues are evident: - Twice weekly collection is not permitted for this development type. As such, proposed waste storage and waste collection areas are undersized. This has implications to the design of the basement car park. - 1100L bins are not permitted. - Within Building D within the eastern lobby corridor, the waste chute is detached from the adjoining waste service room. The waste room is to be contained within the one waste service room	No
4X-1 Building Maintenance		No

Apartment Design Guide (ADG) Assessment Table

Building design detail provides protection from weathering.	There is a heavy reliance on cladding for external facades. Brick, masonry and other long-lasting materials should be used in lieu of cladding. In addition, there are no awnings, roof overhangs or other architectural features proposed to protect window openings and walls for the northern and southern facades.	
4X-2 Building Maintenance Systems and access enable ease of maintenance.	Access and maintenance systems have not been clearly defined within the architectural plans or SEE for the development.	No
4X-3 Building Maintenance Material selection reduces ongoing maintenance costs.	There is a heavy reliance on cladding in lieu of long-lasting building materials. The use of cladding is unsuitable and will require continual maintenance over time to clean and repair staining, driplines, flaking and cracking.	No

State Environmental Planning Policy (Precincts – Western Parkland City) 2021

Clause	Assessment	Compliance?
Appendix 5, 4.1AB Minimum lot sizes for residential development in Zone R2 Low Density Residential and Zone R3 Medium Density Residential On land zoned: • R2 Low Density Residential, or • R3 Medium Density Residential, The minimum lot size for a residential flat building is 2,000m² if the dwelling density (per hectare) shown on the Residential Density Map in relation to the land is 25.	7,520m²	Yes
Appendix 5, 4.1B Residential Density The consent authority must not grant development consent to residential development on land for which a dwelling density range is shown on the Residential Density Map if the development will result in the density of dwellings on the land being- a) Less than the minimum density specified by the dwelling density range, or b) More than the maximum density specified by the dwelling density range.	The residential density map does not prescribe a maximum density range for this site however it prescribes a minimum density of 25 dwellings per hectare. The proposed development provides an approximate NDA area of 1.016HA. (1.06 HA NDA area / 100 Dwellings) – 94 dwellings per hectare.	Yes
Appendix 5, 4.3 Height of buildings Maximum buildings heights must not exceed the maximum building height shown on the Height of Buildings Map. M – 12m	Approximately 13.35 metres at its highest point from a lift overrun (Building D). Three lift overruns from Building D contravene the maximum building height standard. Building height contravention is also sought to Building B (Lift overrun 13.3m and roof 12.3m) and Building C (Lift overrun 12.55m and roof 12.3m).	No – Clause 4.6 written request lodged – refer main body of assessment report.
Appendix 5, 4.4 Floor space ratio The floor space ratio for a building on any land is not to exceed the maximum floor space ratio shown for the land on the Floor Space Ratio Map.	The development site is not subject to a floor space ratio development standard.	NA
Appendix 5, 4.6 Exceptions to development standards Development consent may be granted for development that contravenes a development standard imposed by the SEPP or any other environmental planning instrument. The consent authority must consider a written request from the applicant that seeks to justify the contravention by demonstrating that:	A Clause 4.6 written request has been submitted with the application. Consideration of the written request has been made in the main body of the assessment report.	No

(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and (b) that there are sufficient environmental planning grounds to justify contravening the development standard. Development consent musty not granted unless: (a) the consent authority is satisfied that: (i) the applicant's written request has adequately addressed the matters required to be demonstrated, and (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and (b) the concurrence of the Secretary has been obtained. This clause prohibits the approval of development standard contraventions for certain subdivisions of land in some rural and environmental zones.		
Appendix 5, 5.1 Relevant acquisition authority Development on land acquired by an authority of the State under the owner-initiated acquisition provisions may, before it is used for the purposes for which it is reserved, be carried out, with development consent, for any purpose.	3,068m^2 of the site at the north-west corner is mapped for future acquisition by Camden Council for local drainage to facilitate the future delivery of the ultimate Basin B17 in accordance with the Precincts Water Cycle Management Strategy. A temporary sediment basin is proposed to be constructed within this mapped area subject to DA/2021/1820/1. This basin will be utilised as a sediment basin during construction, until 80% of the proposed development within the basin's catchment is completed. At this point, the basin will be converted into a temporary water quality basin. The only works proposed within the mapped acquisition area from the development are a proposed stormwater pipe extending from a stormwater pit to direct stormwater to the basin. As these works relate for drainage purposes, consent can be granted for this purpose.	Yes

State Environmental Planning Policy (Precincts – Western Parkland City) 2021

Appendix 5, 5.9 Preservation of trees or vegetation Development consent is required for tree removal and tree related works.	Tree removal is proposed as part of DA/2021/1820/1.	NA
Appendix 5, 5.10 Heritage conservation **5.10 Heritage conservation** Before granting development consent in respect of a heritage items or a heritage conservation area, the consent authority must consider the effect of the proposed development on the heritage significance of the item or area concerned. Before granting consent to the carrying out of development in an Aboriginal place of heritage significance the consent authority must: (a) consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and (b) notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.	No items of European heritage exist on the site or are located within immediate proximity to the development site. In respect to Aboriginal heritage, a due diligence assessment report has been submitted, which concludes that the site is not an Aboriginal place of heritage significance and does not contain Aboriginal objects.	Yes
Appendix 5, 6.1 Public utility infrastructure Development consent must not be granted for development on land unless the consent authority is satisfied that any public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when it is required.	Insufficient information has been provided with the DA to demonstrate that public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when required. The SEE advises; *Works will be undertaken to the extent necessary to supply the proposed development with water, electricity and sewerage as part of the development proposed in DA/2021/1820/1. Additional utility infrastructure connection works will be undertaken as part of the proposed development.* However, the application has not been supported with a servicing strategy or a letter of offer to connect by Endeavour	No

	Energy to demonstrate that the existing services are capable of supporting an additional 100 dwellings on site, which is likely to require a padmount substation to be constructed on site. In addition, the application has not been supported with a feasibility letter or notice of anticipated requirements from Sydney Water, advising of the capabilities of the existing water and sewer network to support the additional loads from the proposed development and / or the potential for augmentation of sewer and water mains to the site. This is a jurisdictional matter and must be addressed to ensure that adequate services are available or can be made available when it is required.	

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Control	Assessment	Compliance?
2.2 Indicative Layout Plan (ILP). Development to be undertaken generally in accordance with the ILP.	The ILP identifies this site as being for medium density residential development, drainage land and public roads. The proposed development is generally consistent with the ILP and will provide medium density residential development and a public road required by the plan. Drainage land at the northwest corner of the site is subject to acquisition and will be acquired by Council and developed into regional basin B17 in the future.	Yes
2.3.2 Water Cycle Management. Consistency with Council's engineering specifications. Compliance with the Precinct's Water Cycle Management and Ecology Strategy. Compliance with the Growth DCP's water quality and environmental flow targets. - Gross Pollutants 90% - Total suspended solids 85% - Total phosphorous 65% - Total nitrogen 45%	The proposed site levels do not meet the minimum flood planning levels as per the future precinct modelling and grading near Basin B17. In addition, the proposed impervious / pervious % areas do not match the ILP, DCP and Engineering Specifications. The Growth DCP's water quality and environmental flow targets have been demonstrated as being achieved. - Gross pollutants 93.3% - Total suspended solids 85.3% - Total phosphorous 73% - Total nitrogen 59.7%	No Yes
2.3.3 Salinity and Soil Management. A salinity assessment and compliance with the Growth DCP's Appendix B is required. Sediment and erosion control measures must be implemented.	The submitted salinity plan has taken samples at a depth of 1m, which is not reflective of the depth of the development, noting that a basement is proposed. The salinity plan needs to assess samples based on the depth of the development. The submitted report is inconclusive to determine if the development is impacted by salinity and thus requiring a Salinity Management Plan to manage those impacts. Sediment and erosion controls are proposed throughout the construction works. A standard condition can be imposed should the application be approved to address this matter.	No Yes
2.3.4 Aboriginal and European Heritage. DAs must consider the requirements of the National Parks and Wildlife Act 1974. An Aboriginal Heritage Impact Permit may be required were Aboriginal heritage will be impacted.	In respect to Aboriginal heritage, a due diligence assessment report has been submitted, which concludes that the site is not an Aboriginal place of heritage significance and does not contain Aboriginal objects. Accordingly, an AHIP is not required in this instance.	Yes

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Applications for subdivision and building on the properties identified on the European cultural heritage sites figure, are to be accompanied by a heritage management document.	No items of European heritage exist on the site or are located within immediate proximity to the development site.	Yes
2.3.5 Native Vegetation and Ecology. Council is to consider a number of matters when assessing proposed tree removal. The eradication and minimisation weed dispersal is to be considered. A suitable landscaping plan must be submitted.	 Existing vegetation has been granted consent to remove subject to DA/2021/1820/1. A standard condition can be imposed to address this matter should the application be approved. A suitable landscape plan has not been submitted. Proposed deep soil locations on-site are compromised by retaining walls / terracing to the east, pavement, and private open spaces / terraces to the west, with the central deep soil area containing pathways and ramps. Where deep soil zones are proposed, these are not provided with trees. In addition, the landscape palette is inaccurately displayed in the renders, appearing coastal, and diminished in height and scale. Tree planting and height is currently insufficient to provide scale to the built form and integrating the development into the landscape.	 NA Yes No
2.3.7 Site Contamination. A contamination assessment (and remediation action plan if required) must be submitted.	 See comments made under State Environmental Planning Policy (Resilience and Hazards) 2021.	 Yes
2.3.9 Noise. An acoustic report, demonstrating that the Development Near Rail Corridors and Busy Roads – Interim Guideline (Department of Planning 2008) and Council's Environmental Noise Policy have been considered, must be submitted.	 An Acoustic Report was submitted with the application and has been reviewed by Council's Environmental Health Officers. The Acoustic Report has failed to include predicted noise levels based on the ten year forecast traffic for Ingleburn Road and Camden Valley Way as required by Camden Growth Centre Precincts Development Control Plan and Council's Environmental Noise Policy. The higher traffic volumes will increase noise and the additional noise levels will require greater level of attenuation, including the likely requirement to provide winter gardens to upper level balconies and attenuating ground level private open space areas facing Ingleburn Road for buildings A, B and C. The Acoustic Report only proposes a semi enclosed balcony / wintergarden strategy for noise affected habitable spaces to building D, however the Acoustic	 No

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

	Report does not detail specific construction requirements or the height to enclose balconies to. Previous assessments for adjacent development, including 28 Ingleburn Road to the north west indicate that the predicted traffic noise will increase to 66d(B(A) LAEQ (18 hours). It should be noted that the residential flat building development at 28 Ingleburn Road (determined by the Regional Panel) required winter gardens to ground floor terrace areas and balcony areas to mitigate noise impacts from Ingleburn Road. In addition, the Acoustic Report recommends an alternative means of ventilation (mechanical or passive acoustic ventilation) to apartments impacted by road noise shown within Appendix D of the submitted Noise & Vibration Impact Statement, with a further design of the natural ventilation strategy for those units requiring a wintergarden recommended prior to the issue of the Construction Certificate. It is noted that the SEPP 65 Design Quality Principles Statement prepared by the applicant's architect claims that at least 60% of apartments are naturally cross-ventilated, however this is not possible with windows being closed and mechanical ventilation being required to ventilate internal areas. This recommendation is unacceptable as it fails to consider likely built form changes to the design (e.g. wintergardens) and natural ventilation requirements of the Apartment Design Guide. The other deficiencies noted in the acoustic assessment include: • Failure to consider the potential impact of mechanical plant on future adjoining sensitive receivers and for residential occupants onsite; • Demonstrating compliance with external amenity criteria in accordance with Council's Environmental Noise Policy for communal open space areas; and • The assessment does not address the impact of the loading dock and the impact on surrounding units. It is expected that once an updated acoustic assessment, which includes assessment of the development with regards to the noise impacts from the 10-year traffic forecast is provided, that attenuation measures will be required to achieve the required internal and external amenity criteria contained within Council's Environmental Noise Policy and are likely to require wintergardens to external private open space areas and mechanical ventilation to internal areas.	
2.3.10 Odour Assessment and Control.		

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Odour impacts, and the need for an odour assessment, must be considered.	The site sits below the 4.5 OU (250 hours) contour. Accordingly, the development is not significantly impacted by nearby odour sources.	Yes
2.4 Demolition A number of demolition controls are to be implemented.	No demolition is proposed under the subject application. Separate demolition consent is sought under DA/2021/1820/1.	NA
2.5 Crime prevention through environmental design The design of all development is to enhance public surveillance of public streets. Pedestrian and communal areas are to have sufficient lighting to secure a high level of safety All developments are to incorporate CPTED principles.	The proposed development will enable the ability to overlook the streets and the public domain. A standard condition can be imposed to address this matter should the application be approved. The application has been referred to Camden Police for consideration of crime risk and crime prevention through environmental design. Camden Police have advised that the proposed development is identified as a low crime risk, with suggested conditions to improve surveillance, lighting, landscaping and address territorial re-enforcement, environmental maintenance and activity management. Conditions as recommended by NSW Police can be imposed to address this matter should the application be approved.	Yes Yes Yes
2.6 Earthworks. Subdivision and building work is to be designed to respond to the natural topography of the site wherever possible, minimising the extent of cut and fill both during subdivision and when buildings are constructed. Finished levels must be integrated with nearby land and facilitate appropriate drainage. A validation report must be submitted prior to the placement of any imported fill on the site. Earth moved containing noxious weed material must be disposed of at an approved waste management facility and be transported in compliance with the Noxious Weeds Act 1993.	No cut and fill plan has been submitted demonstrating proposed earthworks across the site, noting that batters and excavation is proposed adjacent to the future 16m local road to the south. A standard condition can be imposed to address this matter should the application be approved. A standard condition can be imposed to address this matter should the application be approved.	No Yes Yes
4.3.5 Controls for Residential Flat Buildings, Manor Homes and Shop Top Housing		

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

	Ingleburn Road – 160.4m Future southern 16m local road – 188.3m	
Residential flat buildings are to be located on sites with a minimum street frontage of 30m, have direct frontage to an area of the public domain and not adversely impact upon the existing or future amenity of any adjoining land upon which residential development is permitted.	Assessment of the application reveals that the development will adversely impact the existing and future amenity of adjoining land. The application is inconsistent with the design principles and does not meet the objectives and design criteria of the Apartment Design Criteria.	No
Residential flat buildings are to be consistent with SEPP 65 and the DCP. Note that Table 4-10 takes precedence over SEPP 65 where there is an inconsistency.	The residential flat building is inconsistent with the design principles of SEPP 65 and fails to comply with several of the numerical requirements of Table 4-10.	No
A minimum of 10% of all apartments are to be designed as adaptable apartments in accordance with AS 4299. **Minimum 10**	Twelve adaptable units are proposed, however only eleven disabled carspaces are proposed.	Yes
Where possible, adaptable dwellings are to be located on the ground floor. Adaptable dwellings located above the ground level of a building are only permitted where lift access is available within the building. The lifts access must provide access from the basement to allow access for people with disabilities.	Only one adaptable unit (DUG105) is proposed the ground level, with the remainder of adaptable units proposed on upper levels. A greater proportion of adaptable units should be provided on ground levels throughout the development, rather than being solely contained within Building D.	No
DAs must be accompanied by certification from an accredited access consultant that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with AS 4299.	An access report has been submitted with the development application and advises that all access requirements appear capable of achieving compliance, with further work required at detailed design stage.	Yes
Car parking allocated to adaptable dwellings must comply with the Australian Standards for disabled parking spaces.	Twelve adaptable units are proposed within the basement level, however only eleven disabled car spaces are proposed.	No
A landscape plan is to be submitted with DAs for residential flat buildings.	A landscape plan has been submitted in support of the DA.	Yes
Table 4-10 – Note site area 7520m²		
Site coverage of less than 50% (Max – 3760m²)	As detailed earlier in this correspondence table, balconies orientated towards Ingleburn Road and Camden Valley Way and exceeding external amenity criteria will likely require to be enclosed as wintergardens. The enclosure of balconies contributes to site coverage. As deficiencies exist in acoustic assessment to include predicted noise levels based on the ten year forecast traffic for Ingleburn Road and Camden Valley Way, the final calculation of site coverage in unable to be determined.	Insufficient information

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

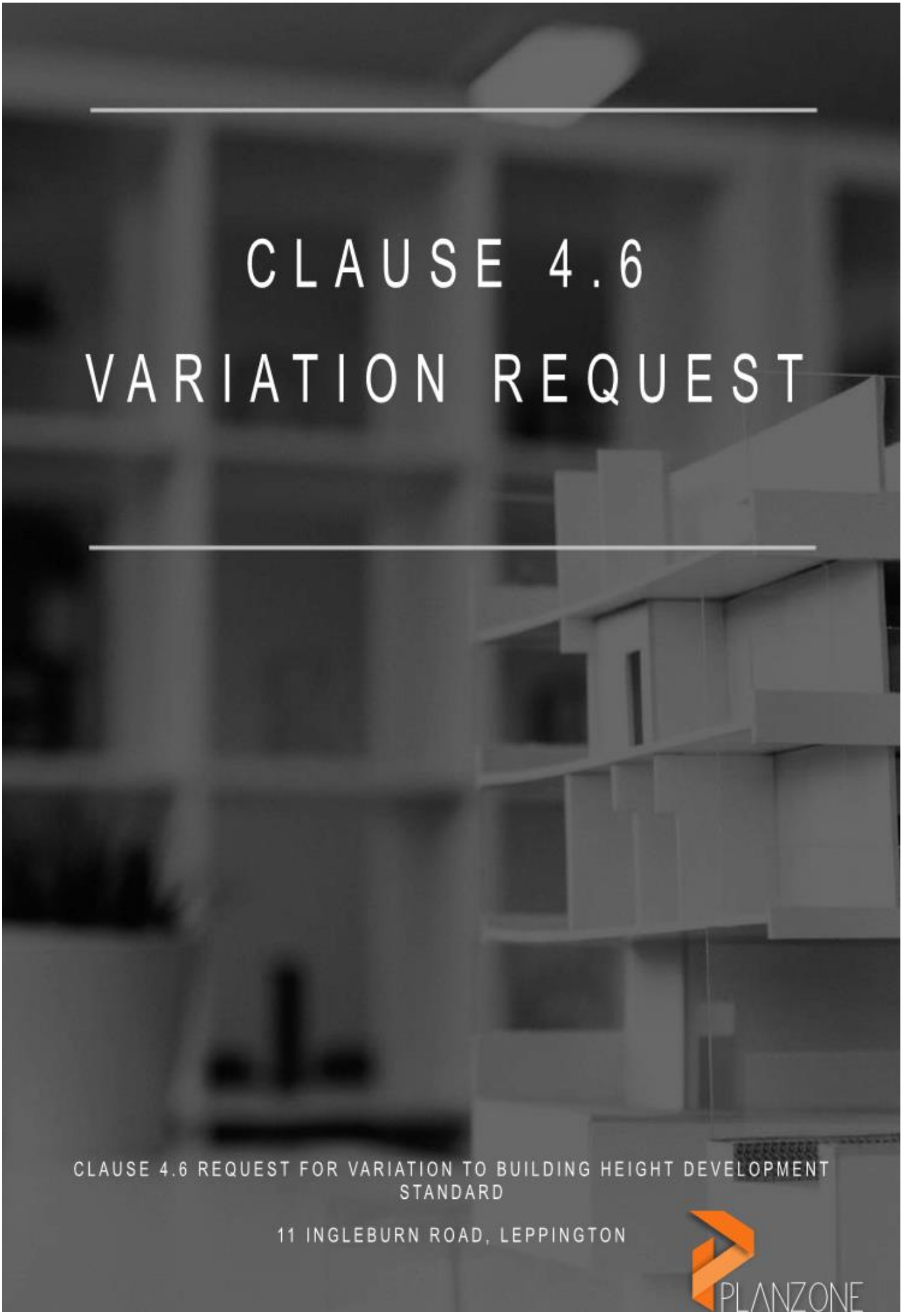
Landscaped area of at least 30% (Min – 2256m²)	2600.958m² / 7520m² – 34.5%	Yes
Communal open space area of at least 15% (Min – 1128m²)	1452.636m² / 19.3%	Yes
Principal private open space of 10m² per dwelling with a minimum dimension of 2.5m	This DCP control is overridden by Clause 6A of SEPP 65. Clause 6A provides that where there is an inconsistency between a DCP and the ADG regarding certain design matters, the DCP has no effect.	NA
Front setback of at least 6m with 1.5m balcony/articulation encroachments permitted for the first three storeys for 50% of the façade length	Ingleburn Road (Buildings A, B, C and D) Building A – Ground – 6.484m 1st – 6m (No dimension from balcony) 2nd – 6m (No dimension from balcony) Building B – Ground – 6.087m 1st – 5.5m (No dimension from balcony) 2nd – 5.7m (No dimension from balcony) 3rd – 5.7m (No dimension from balcony) Building C – Ground – 6.396m 1st – 5.7m (No dimension from balcony) 2nd – 5.9m (No dimension from balcony) 3rd – 5.9m (No dimension from balcony) Building D – Ground – 5.91m 1st – 4.5m (No dimension from balcony) 2nd – 4.5m (No dimension from balcony) 3rd – 4.8m (No dimension from balcony) Balcony encroachments span the entire width of the façade length of Building D.	 Yes Yes Yes Yes Yes Yes No Yes Yes Yes No No No No No
Corner lots require a secondary street setback of at least 6m	Proposed 16m Road – Buildings A, B, C & D Building A – Ground – 4.5m 1st – No dimension from closest element or road shown 2nd – No dimension from closest element or road shown 3rd – No dimension from closest element or road shown Building B – Ground – 4.5m 1st – No dimension from closest element or road shown 2nd – No dimension from closest element or road shown 3rd – No dimension from closest element or road shown	 No Insufficient information Insufficient information Insufficient information No Insufficient information Insufficient Information Insufficient information

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

	Building C – Ground – 4.506m 1st – No dimension from closest element or road shown 2nd – No dimension from closest element or road shown 3rd – No dimension from closest element or road shown	 No Insufficient information Insufficient Information Insufficient information
	Building D – Ground – 4.5m 1st – No dimension from closest element or road shown 2nd – No dimension from closest element or road shown 3rd – No dimension from closest element or road shown	 No Insufficient information Insufficient Information Insufficient information
	Camden Valley Way – Building D – Ground – 5.619m 1st – 5.619m 2nd – 4.839m 3rd – 4.839m	 No No No No
Side setback – Minimum 3m	Building A Ground – 4.9m 1st – 6m 2nd – 6m	 Yes Yes Yes
For buildings 3 storeys and above, at least 12m separation distance is required for habitable rooms and balconies	This DCP control is overridden by Clause 6A of SEPP 65. Clause 6A provides that where there is an inconsistency between a DCP and the ADG regarding certain design matters, the DCP is of no effect. Details of the developments building separation distances are contained in the ADG compliance table attached with the assessment report.	NA
Residential flat buildings in the R3 zone require; Carparking spaces Residents required – 100 x 1 = 100 0.5 x 40 = 20 Overall 120 Visitors required – 100/5 - 20 Total required – 140 Bicycle spaces required – 100/3 – 33.3 Car parking spaces are to have minimum dimensions of 2.5m x 5.2m	 Carparking spaces Residents 135 Visitors – 20 Total - 152 Bicycle spaces – 21	 No, bicycle spaces fail to comply. No. Car space widths,

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

and aisle widths must comply with AS 2890.1.	No dimensions shown to carspace width and depth, including some aisle widths throughout the basement are not shown.	lengths, aisle widths not fully dimensioned.



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Attachment 4

CLPP01

Attachment 4

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FIGURES

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1 INTRODUCTION

This Clause 4.6 Variation Request has been prepared to accompany the Development Application (DA) to Camden Council seeking consent for the construction of a residential flat building development comprising 4 buildings containing a total of 100 units over a combined single basement level spanning below the 4 buildings at 11 Ingleburn Road, Leppington.

The Clause 4.6 Variation Request relates to the height of buildings principal development standard prescribed under Clause 4.3(2) of *State Environmental Planning Policy (Precincts - Western Parkland City) 2021* (the Western Parkland City SEPP), which states that:

> *"The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map."*

The height of building map indicates a maximum building height of 12 metres prescribed for development on the eastern portion of the site as illustrated in the reproduced height of buildings map below:

FIGURE 1: EXTRACT OF WESTERN PARKLAND CITY SEPP HEIGHT OF BUILDINGS MAP LAYER

The proposed development includes construction of a multi-unit residential development on the super lot proposed in DA/2021/1820/1. The development is dispersed across 4 separate built forms spanning the site containing a total of 100 apartments, 20 of those units being in a 2 storey townhouse configuration and the remaining 80 in a residential apartment configuration. A site overview is reproduced in the figure below showing the 4 separate buildings which will be referred to from west to east as Buildings A, B, C and D throughout this Statement:

CLPP01

Attachment 4

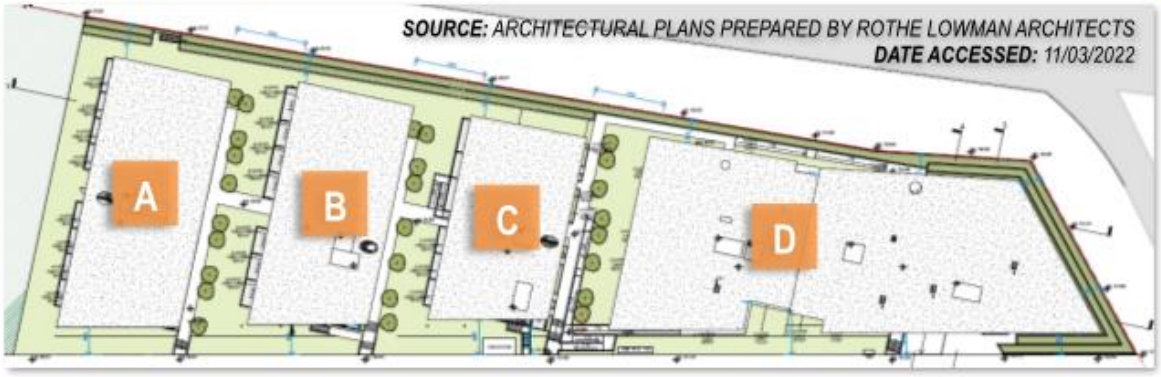

FIGURE 2: SITE PLANS AND BUILDING LAYOUT

The development proposes a maximum building height of 13.35 metres for Building D which is an exceedance by 1.35 metres or equivalent to 11.25% of the development standard. The breach of height is related and limited to the proposed lift shafts and overruns and upper roof forms as shown in the 3D Height Plan diagram within the Architectural Plans prepared by Rothe Lowman Architects reproduced in the figures below:

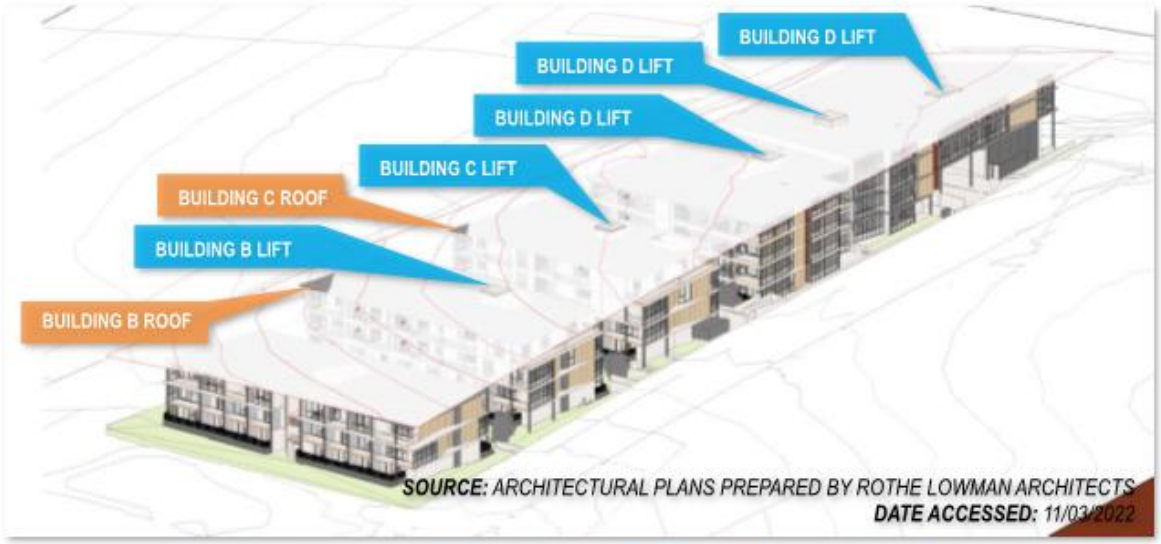

FIGURE 3: OVERALL SITE 3D HEIGHT PLANE SHOWING HEIGHT BREACHES

Pursuant to Clause 4.6 of the Western Parkland City SEPP, justification for the contravention of the height of buildings (HOB) development standard is provided in within this Clause 4.6 Variation Request. This request has been prepared having regard to the matters for consideration prescribed in Clause 4.6 of the SEPP, noting that Clause 4.3 of the SEPP not excluded from consideration under Clause 4.6(8) of the SEPP. The variation request has also been prepared having regard to the findings and decisions in various case law including:

- *Wehbe v Pittwater Council [2007] NSW LEC 827;*
- *Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 1009;*
- *Randwick City Council V Micaul Holdings Pty Ltd [2016] NSWLEC 7;*
- *Initial Action v Woollahra Municipal Council [2018] NSWLEC 118;*
- *Brigham v Canterbury-Bankstown Council [2018] NSWLEC 1406;*
- *Turland v Wingercarribee Shire Council [2018] NSWLEC 1511;*
- *Rebel MH Neutral Bay Pty Ltd v North Sydney Council [2019] NSWCA 130*

This Clause 4.6 Variation Request meets the objectives of Clause 4.6(1):

> *(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
> *(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

and demonstrates for the purpose of Clause 4.6(3):

> *(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
> *(b) that there are sufficient environmental planning grounds to justify contravening the development standard.*

2 REVIEW OF CASE LAW

The main principles adopted by the Land and Environment Court of NSW (L&EC) in considering Clause 4.6 variation requests to development standards have been established in the proceedings of *Wehbe v Pittwater Council [2007] NSW LEC 827* and *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7*.

The relevant principles of those proceedings are as follows:

2.1 WEHBE V PITTWATER COUNCIL [2007] NSW LEC 827

In these proceedings, Justice Preston set out the following five ways in which compliance with a development standard could be established as being unreasonable or unnecessary:

1. *Are the objectives of the development standard are achieved notwithstanding non-compliance with the standard;*
2. *Is the underlying objective or purpose not relevant to the development with the consequence that compliance is unnecessary;*
3. *Would the underlying objective or purpose be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable;*
4. *Has the development standard been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard; or*
5. *Is "the zoning of particular land" "unreasonable or inappropriate" so that "a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land".*

2.2 RANDWICK CITY COUNCIL V MICAUL HOLDINGS PTY LTD [2016] NSWLEC 7

In these proceedings, Preston CJ approved the following four stage test to ensure that the Court was satisfied that the variation request should be granted:

1. *That compliance with the development standard must be unreasonable or unnecessary in the circumstances of the case;*
2. *That there are sufficient environmental planning grounds to justify contravening the development standard;*
3. *That the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3); and*
4. *That the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.*

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3 SITE & PLANNING CONTEXT

The subject site comprises 1 land parcel legally described as Lot 75 in DP 1180577 and is more commonly known as 11 Ingleburn Road, Leppington.

The subject site comprises an irregular allotment with the boundary dimensions as follows:

- A 216.92 metre northern frontage width to Ingleburn Road;
- A 240.675 metre southern rear boundary to proposed Local Road 1 (to become the primary frontage);
- A 55.335 metre eastern secondary frontage to Camden Valley Way; and
- An 82.155 metre western boundary to Mallow Street.

The subject site has a total site area of 1.438 hectares (including a portion zoned SP2 Infrastructure - Local Drainage) with the development occupying a portion of the site that has an area of 7,517m^2 (excluding SP2 zoned portion) as detailed on the accompanying Survey Plan.

DA/2021/1820/1 was lodged with Council for the subject site and seeks consent for remediation of contaminated land, subdivision into 1 Super lot and 1 SP2 lot, demolition of existing structures, construction of public road, drainage works and associated site works. At the time of preparing this Statement, that application was under assessment by Council. The land the subject of this application will be a vacant lot at the time of development.

An aerial image and photographs illustrating the site and existing structures are provided in the figures below:

FIGURE 4: LGA CONTEXT MAP

FIGURE 5: LOCATION MAP

FIGURE 6: AERIAL MAP

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Attachment 4

FIGURE 7: VIEW OF THE SITE FROM CAMDEN VALLEY WAY INTERSECTION TO THE NORTH-WEST

FIGURE 8: VIEW OF THE SITE FROM INGLEBURN ROAD TO CAMDEN VALLEY WAY (SOUTH-EAST)

FIGURE 9: VIEW OF THE SITE TO THE WEST FROM CAMDEN VALLEY WAY INTERSECTION

The DA seeks consent for construction of a residential flat building development comprising 4 buildings containing a total of 100 units over a combined single basement level spanning below the 4 buildings at 11 Ingleburn Road, Leppington. The development is defined as *'residential flat building'* pursuant to the definitions contained in the SEPP:

> "***residential flat building*** *means a building containing 3 or more dwellings, but does not include an attached dwelling, a manor home or multi dwelling housing.*"

A detailed description of the proposed development has been provided within the Statement of Environmental Effects accompanying the DA and should be referred to in conjunction with this request.

4 CLAUSE 4.6 VARIATION REQUEST & ASSESSMENT

1. ***What is the name of the environmental planning instrument that applies to the land?***
   State Environmental Planning Policy (Precincts - Western Parkland City) 2021

2. ***What is the zoning of the land?***
   The site is zoned R3 Medium Density Residential and part SP2 Infrastructure - Local Drainage. The development is proposed on the part of the site zoned R3 Medium Density Residential only.

3. ***What are the objectives of the zone?***
   Zone R3 Medium Density Residential
   - *To provide for the housing needs of the community within a medium density residential environment.*
   - *To provide a variety of housing types within a medium density residential environment.*
   - *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
   - *To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a medium density residential environment.*

4. ***What is the development standard being varied?***
Height of Building

5. ***What clause is the development standard listed in the environmental planning instrument?***
Clause 4.3

6. ***What are the objectives of the development standard?***
(a) to establish the maximum height of buildings,
(b) to minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space,
(c) to facilitate higher density development in and around commercial centres and major transport routes.

7. ***What is the numeric value of the development standard?***
12 metres

8. ***What is proposed numeric value of the development standard?***
13.35 metres for Building D (maximum)

9. ***What is the percentage variation proposed?***
11.25%

4.1 CLAUSE 4.6(3)(A)

DEMONSTRATE THAT COMPLIANCE WITH THE DEVELOPMENT STANDARD IS UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THE CASE.

The following assessment outlines that compliance with the development standard would be unreasonable and unnecessary in the circumstances of the case, particularly referencing the test established in *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118* (the Initial Action case) which confirmed the approach as held in *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC7* (the Micaul case) as follows:

In the Initial Action case, Preston CJ concluded:

- *Clause 4.6(4) of an LEP establishes preconditions that must be satisfied before a consent authority can exercise the power to grant development consent for development that contravenes a development standard.*
- *The first opinion of satisfaction in clause 4.6(4)(a)(i) is whether the clause 4.6 request has adequately addressed the matters required to be demonstrated in clause 4.6(3). Those matters are:*
  - *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and*
  - *that there are sufficient environmental planning grounds to justify contravening the development standard.*
- *The consent authority does not have to directly form the opinion of satisfaction regarding these matters, but only indirectly form the opinion of satisfaction that the written request has adequately addressed these matters.*
- *The second opinion of satisfaction in clause 4.6(4)(a)(ii) is that the proposed development will be in the public interest because it is consistent with the objectives of the particular development standard that is contravened and the objectives for development for the zone in which the development is proposed to be carried out.*

- *The consent authority must be directly satisfied that the clause 4.6 request adequately addresses the matter in clause 4.6(4)(a)(ii), which is not merely that the proposed development will be in the public interest, but that it will be in the public interest because it is consistent with the objectives of the development standard and the objectives for development in the zone.*

Furthermore, this Clause 4.6 Variation Request and the assessment that follows establishes that the objectives of the development standard are achieved notwithstanding non-compliance with the numerical component of the development standard as set out in the 5-part test established in *Wehbe v Pittwater Council [2007] NSW LEC 827* (the Wehbe case).

The local surrounding area is characterised by low to medium scale residential developments to the east and west, approved residential flat buildings to the north-west and undeveloped land to the south, west and north. Surrounding land is zoned R3 Medium Density Residential to the north, south-east and north-west and R2 Low Density Residential to the south and south-west. The local surrounding area is an area undergoing transition to medium density residential and mixed use development following rezoning of the subject and surrounding land from former rural-residential land to low and medium density residential zones.

The SEPP permits a maximum HOB of 12 metres for development on the eastern portion of the land for approximately 3/4 of the land. The development proposes a maximum building height of 13.35 metres for Building D to the lift overruns which is an exceedance by 1.35 metres or equivalent to 11.25% of the development standard. The development also proposes a maximum building height ranging between 11.5 metres and 13.3 metres for other buildings to their roofs or lift overruns as detailed below:

BUILDING NO.	RL HEIGHT	NGL	HEIGHT
A	RL 107.60m	RL 96.00m	11.60m
B	RL 110.70m (Roof) RL 112.30m (Lift Overrun)	RL 98.40m (below Roof) RL 99.00m (below Lift)	12.30m (Roof) 13.30m (Lift)
C	RL 111.70m (Roof) RL 113.05m (Lift Overrun)	RL 99.40m (below Roof) RL 100.50m (below Lift)	12.30m (Roof) 12.55m (Lift)
D (West)	RL 111.70m (Roof) RL 113.30m (Lift Overrun)	RL 100.20m (below Roof) RL 101.10m (below Lift)	11.50m (Roof) 12.20m (Lift)
D (East)	RL 112.85m (Roof) RL 114.60m (Lift Overrun)	RL 101.00m (below Roof) RL 101.25m (below Lift)	11.85m (Roof) 13.35m (Lift)

TABLE 1: PROPOSED BUILDING HEIGHTS

Strict compliance with the numerical development standard is unnecessary and unreasonable in this case as the objectives of the development standard are achieved, notwithstanding non-compliance with the numerical component of the development standard, in the following ways:

Objective (a): to establish the maximum height of buildings.

The development proposes a building height that is marginally greater than that permitted by the numerical component of the development standard. The primary cause of the non-compliance with the height limit is a consequence of the topography of the land and the development needing to respond to the topography. Based on the accompanying Survey Plans, the site has a fall of approximately 5 metres from RL 101.80 metres at the south-eastern corner to RL 96.80 metres on the north-western corner.

Importantly, the additional height does not generate additional floor space for the development but rather, is a consequence of the need for the development to respond to the desired future character of built forms within the precinct and the design requirements for the built form under the *State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development* Apartment Design Guide (SEPP 65 ADG) as explained below.

Part 3.1.1 of *Camden Growth Centres Development Control Plan* (the DCP) contains precinct specific controls for development on the subject site and surrounding land referred to as the Leppington precinct. The DCP identifies the subject site as being part of an 'Urban' and part 'Suburban' streetscape which is characterised as follows:

> "
> - *Generally located within the walking catchment of centres, corridors and / or rail based public transport.*
> - *Consists of predominantly small lot housing forms with some multi-dwelling housing, manor homes and residential flat buildings located close to the local centre and public transport.*
> - *Generally single and double storey dwellings with some 3 storey buildings.*
> - *Incorporates some laneways and shared driveways.*
> - *Be designed to provide for activation of the public domain, including streets and public open space through the orientation and design of buildings and communal spaces.*
> - *Mainly urban streetscapes, some suburban streetscapes.*

Figure 3-2: Distinct and coherent streetscapes occur in varying proportions in density bands.

"

A building height of 12 metres typically allows for a 3 to 4 storey development, subject to site attributes, constraints and detailed ADG design requirements. Noteworthy from the above character statement, point 2 identifies residential flat buildings and a 3 storey built form as being part of the envisaged future character of the area.

The development proposes a 3 and 4 storey residential flat building development along the site which has a frontage to Ingleburn Road, providing *'for activation of the public domain'* as required in point 5 above.

The buildings propose floor to ceiling heights that satisfy the SEPP 65 ADG requirements. However due to the topography of the land detailed earlier, the development slightly breaches the height limit on the northern sides of the buildings which is unavoidable without considerable stepping of the built forms to respond to the topography of the site. The stepping of the buildings would pose significant design challenges and compromised buildings on the site in relation to accessibility, serviceability, layout and function and the relationship with the basement level.

The non-compliances comprise the roof slab and lift overruns as highlighted in Figure 3 earlier within this written request. The non-compliance is reasonable as it provides opportunity for the roof of the buildings to pronounce and emphasise the top level of the development, without contributing to additional floor space or height for the residential component of the building in accordance with objective (a).

The roof elements could be considered as an architectural roof feature under Clause 5.6 of the SEPP and not require a variation request under Clause 4.6 of the SEPP for the following reasons:

- As required by Clause 5.6(3)(i), the architectural roof features comprise decorative elements on the uppermost portion of a buildings;
- As required by Clause 5.6(3)(ii), the architectural roof features are not advertising structures;
- As required by Clause 5.6(3)(iii), the architectural roof features do not include floor space area and are not reasonably capable of modification to include floor space area; and
- As required by Clause 5.6(3)(iv), the architectural roof features will cause minimal overshadowing.

Accordingly, the roof elements that protrude the maximum height of buildings development standard could be excluded from this Clause 4.6 variation request with the request only relating to the lift overruns.

Figure 3 provided earlier shows the extent of breach for buildings B, C and D which are 4 storey residential flat buildings. Although the buildings are 1 storey higher than the 3 storeys described in the character statement, the additional storey is wholly within the 12 metre height limit with the exception of the lift overruns (excluding the roof slabs as addressed above). These building components are necessary to service the building and do not contribute to additional floor space in the building in accordance with objective (a). The overruns are extremely unlikely to be visible when viewed from the public domain or neighbouring properties therefore avoiding any contribution to excessive visual bulk.

The proposed variations are a direct result of achieving a better amenity outcome for and from the development in relation to internal amenity, with relatively minor infringements that would not achieve greater occupiable floor space than an otherwise compliant development. Importantly, the building elements that breach the height limit will not be readily visible or perceivable from the street and adjoining properties given the overall scale of the development. Overall, the development observes a height in storeys that is envisaged for this portion of the site and part of the precinct so the additional numerical height would not result in a building height that is inconsistent or incompatible with the desired future character of the area.

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Objective (b): to minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space.

The proposed development represents a high quality urban form through the architectural detailing and proposed materials and finishes which will result in buildings that will be distinct and make a significant contribution to the quality of the urban streetscape character. This is illustrated in the perspectives of the development reproduced below:

FIGURE 10: PHOTOMONTAGE VIEW OF WESTERN FAÇADE OF BUILDING A

FIGURE 11: PHOTOMONTAGE VIEW OF BUILDING C TO INGLEBURN ROAD

FIGURE 12: PHOTOMONTAGE VIEW OF NORTHERN FAÇADE OF BUILDING D TO INGLEBURN ROAD

FIGURE 13: PHOTOMONTAGE VIEW OF SOUTHERN FAÇADE OF BUILDING D TO NEW ROAD

FIGURE 14: PHOTOMONTAGE VIEW OF EASTERN FAÇADE OF BUILDING D TO CAMDEN VALLEY WAY

The buildings in the proposed development have been sited and designed to ensure that they will be consistent with the desired future character for the locality, whilst also respecting and being compatible with the existing character to be retained within the locality.

The proposed buildings have been appropriately sited having regard to the subdivision and layout formed by the street network and taking into consideration site opportunities such as outlook, solar access, natural ventilation, and visual and acoustic privacy whilst also responding to the constraints of the site.

The development has been designed to integrate and be consistent with the character of development envisaged in the precinct by proposing modern designed buildings to be finished in a variety of materials with natural colours as detailed in the perspective images above.

Importantly, the building elements that breach the height limit will not be readily visible or perceivable from the street and adjoining properties given the overall scale of the development. Overall, the development observes a height in storeys that is envisaged for this portion of the site and part of the precinct so the additional numerical height would not result in a building height that is inconsistent or incompatible with the desired future character of the area.

The additional building height occurs on the northern roof elements and the central lift shafts for the proposed buildings and are sufficiently setback from the site boundaries in order to mitigate the appearance of the proposed additional building height when viewed from the street.

The development will not impose any additional overshadowing on adjoining properties and public open spaces in addition to the overshadowing anticipated for an otherwise compliant development, given that the portions of the buildings that are non-compliant are on the northern end of the buildings and would self shadow the rooftops of the buildings.

The extent of overshadowing is demonstrated in the shadow diagrams accompanying the application and partly reproduced below:

FIGURE 15: SHADOW DIAGRAM FOR 9:00AM 21 JUNE

FIGURE 16: SHADOW DIAGRAM FOR 12:00PM 21 JUNE

FIGURE 17: SHADOW DIAGRAM FOR 3:00PM 21 JUNE

Hourly shadow diagrams are available within the Architectural Plans prepared by Rothe Lowman Architects that accompany the DA.

Having regard to the above, the additional overshadowing created by the non-compliant parts of the buildings will self-shadow the rooftops of the development on 21 June and will therefore achieve objective (b) by minimising visual impact and protecting the amenity of adjoining development and land in terms of solar access to buildings and open space. The proposed building height will not cause excessive visual impacts, unacceptable overshadowing or a loss of amenity for adjoining properties or surrounding public domain and therefore satisfies objective (b).

Objective (c): to facilitate higher density development in and around commercial centres and major transport routes.

The site is located within the Austral and Leppington North precinct which was rezoned in 2013 for a mixture of residential, business and special uses that will deliver capacity for approximately 17,350 new homes for over 54,000 residents. The subject proposal will contribute to the overall housing supply envisaged as part of the precinct plan.

The local surrounding area is mainly characterised by semi-rural properties and residential properties within a varying building typology on various lot sizes as illustrated in the figures provided within the accompanying Statement of Environmental Effects.

The building height and density as proposed is sustainable and appropriate given that the site is located within the Leppington precinct and given that the site is highly accessible and close to public transport including Leppington train station and bus services via the bus stops along the site's frontage to Ingleburn Road and Camden Valley Way. The connectivity of the site provides access to facilities that are available within the Leppington, Edmondson Park and Austral Town Centres, the Liverpool, CBD and other nearby local centres which makes the site appropriate for higher density in accordance with objective (c).

Within the wider precinct, land surrounding the curtilage of the Leppington train station is zoned B3 Commercial Core, B4 Mixed Use and B7 Business Park providing the highest development potential and subject to a building height development standards of 24 to 30 metres, typically allowing for between 8 to 10 storey buildings. Land south and south-east of the town centre on the approach to the subject site between Camden Valley Way and Byron Road is subject to a building height development standard of 21 metres which typically allows for between 6 to 7 storey buildings.

The subject site and land along the southern side of Ingleburn Road between Camden Valley Way and Rickard Road is subject to a building height development standard of 12 metres which typically allows for up to 4 storey buildings. Beyond these land parcels fronting Ingleburn Road, the building height development standard reduces to 9 meres (up to 3 storeys) as illustrated in the height of buildings map extract below:

FIGURE 18: HEIGHT OF BUILDINGS EXTRACT FROM WESTERN PARKLAND CITY SEPP

Future development on land on the southern side of Ingleburn Road to the west of the site is envisaged to comprise 3 to 4 storey built forms in accordance with the building height development standard and the character area statement in the DCP.

The development proposes built forms ranging in height between 3 storeys on the western side of the site up to 4 storeys along the western side. The built forms and building heights achieve objective (c) of the development standard and provide an appropriate transition in built form and land use intensity as the development proposes 3 and 4 storey built forms which are compatible with the 4 storey built forms envisaged and possible on the land to the west.

Having regard to the building heights and built form typologies, the development achieves objective (c) of the development standard and provides appropriate higher density development in and around the Leppington commercial centre and along major transport routes.

4.2 CLAUSE 4.6(3)(B)

DEMONSTRATE THAT THERE ARE SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT STANDARD.

Considering that the development achieves the objectives of the development standard and the objectives of the land use zone, and furthermore achieves a satisfactory level of compliance with the other applicable State and Council Planning Policies, the proposal is meritorious, and the contravention of the development standard is justified.

On a quantitative basis, the proposed development provides a compliant built form apart from the building height which is marginal and subject to this variation request.

Qualitatively, the non-complaint building heights do not cause any additional levels of overshadowing onto adjoining properties and the public domain and do not exacerbate the bulk and scale of the buildings when viewed from the surrounds. The internal amenity afforded to future residents of the development will be of a high standard and will not be compromised by the non-compliance with the building height development standard.

To achieve a compliant development, the buildings would need to be further stepped to respond to the topography of the site which would pose significant design challenges and compromised buildings on the site in relation to accessibility, serviceability, layout and function and the relationship with the basement level. Alternatively, the entire development could be sunken into the site which would result in some apartments on the ground floor becoming sub-terranean and resulting in poorer amenity for those apartments and the overall development. Furthermore, sinking the buildings into the site would not result in a better outcome for and from the development given that the additional height will not be readily visible from the surrounds.

The proposed development and variation will continue to achieve the aims of Appendix 5 of the Western Parkland City SEPP in the following ways:

- Objective (a): The proposed development will create a quality environment and good design through the establishment of a well planned and spatially set out development.
- Objective (b): The proposed development will not affect any environmentally sensitive natural areas and cultural heritage near the site.
- Objective (d): The proposed development provides for development that will encourage employment and economic growth by increasing the population within the locality with residents who will take up employment opportunities and contribute to local businesses including both as a customer and operator.
- Objective (e): The proposed development promotes housing choice and affordability through the increased supply of larger 3 bedroom apartments within the precinct which is lacking in other developments.
- Objective (f): The proposed development encourages and facilitates sustainable development by implementing the BASIX and NatHERS commitments,
- Objective (g): The proposed development promotes pedestrian and vehicle connectivity by increasing the density of development along major transport routes given that the site is located within the Leppington precinct and given that the site is highly accessible and close to public transport including Leppington train station and bus services via the bus stops along the site's frontage to Ingleburn Road and Camden Valley Way.
- Objective (h): The proposed development minimises the impact on existing and future communities of the full range of risks posed by natural hazards such as bushfires and flooding given that the land is not identified as bushfire prone land or subject to flooding.

Despite exceeding the statutory maximum building height development standard, the proposed redevelopment of the site will facilitate the orderly and economic development of the land for the purpose of '*residential flat buildings*' that will positively contribute to the achievement of the vision and strategic objectives of *A Plan for Growing Sydney* and the Western Parkland City SEPP.

4.3 CLAUSE 4.6(4)(A)(I)

DEMONSTRATE THAT THE APPLICANT'S WRITTEN REQUEST HAS ADEQUATELY ADDRESSED THE MATTERS REQUIRED TO BE DEMONSTRATED BY SUBCLAUSE (3).

This Clause 4.6 Variation Request has adequately addressed the matters required to be demonstrated by subclause (3), as detailed throughout.

4.4 CLAUSE 4.6(4)(A)(II)

DEMONSTRATE THAT THE PROPOSED DEVELOPMENT WILL BE IN THE PUBLIC INTEREST BECAUSE IT IS CONSISTENT WITH THE OBJECTIVES OF THE PARTICULAR STANDARD AND THE OBJECTIVES FOR DEVELOPMENT WITHIN THE ZONE IN WHICH THE DEVELOPMENT IS PROPOSED TO BE CARRIED OUT.

The proposed development will be in the public interest because it is consistent with the objectives of the particular standard as demonstrated earlier, and is consistent with the objectives of the zones as detailed below.

The proposed development is consistent with the objectives of the R3 Medium Density zone in the following ways:

- The development will allow for the provision of 100 apartments in a mixture of housing types that will cater for the housing needs of the community within the medium density residential environment; and
- The development will allow for the provision of 100 dwellings in a mixture of housing types including 2 storey terrace style apartments and single storey upper level apartments in a mixture of 1, 2, 2 plus study and 3 bedroom dwellings which will contribute to the variety of housing types within the medium density residential environment.

The building height and density as proposed is sustainable and appropriate given that the site is located within the Leppington precinct. The site is highly accessible and close to public transport including Leppington train station and bus services via the bus stops along the site's frontage to Ingleburn Road and Camden Valley Way. The connectivity of the site provides access to facilities that are available within the Leppington, Edmondson Park and Austral Town Centres, the Liverpool, CBD and other nearby local centres.

No substantive public benefit would be realised by maintaining and enforcing the development standard. A reduction in the building height to strictly comply with the development standard would not alter the overall design approach or built form outcome for the site and would not realise any improvement to the relationship between the site, adjoining buildings and the surrounding area.

The proposal, including the height exceedance, achieves the objects of the *Environmental Planning and Assessment Act, 1979* (the Act) in the following ways:

- Section 1.3(c) as the proposed development, for its majority, is below the maximum HOB development standard and the overall development will promote the orderly and economic use and development of the land by not posing any adverse amenity impacts on adjoining development and the public domain as a consequence of the heigh breach;
- Section 1.3(d) as the development proposes the delivery and maintenance of affordable housing as part of the overall dwelling mix; and
- Section 1.3(g) as the proposed development promotes good design and amenity of the built environment by concentrating higher densities and forms on a site along major transport routes including the bus services via the bus stops along the site's frontage to Ingleburn Road and Camden Valley Way, making the site highly accessible achieving greater amenity for future residents.

For the reasons above and the assessment provided within this request, there are sufficient environmental planning grounds to justify the contravention of the height of buildings development standard.

4.5 CLAUSE 4.6(4)(B)

DEMONSTRATE THAT THE CONCURRENCE OF THE PLANNING SECRETARY HAS BEEN OBTAINED.

Planning Circular PS 20-002, dated 5 May 2020, contains an assumed concurrence notice dated 18 February 2018 for all consent authorities for the purpose of determining a development application to which a Clause 4.6 Variation Request is made. The subject Clause 4.6 Variation Request does not exceed the limitations set by the assumed concurrence notice and therefore Council or the Local Planning Panel may assume the concurrence of the Planning Secretary.

4.6 CLAUSE 4.6(5)

PLANNING SECRETARY CONCURRENCE.

As detailed above, assumed concurrence has been issued by the Planning Secretary.

4.7 CLAUSE 4.6(6)

EXCLUDED SUBDIVISION.

The application of clause 4.6 to the height of buildings development standard is not precluded by the operation of Clause 4.6(6) of the SEPP.

4.8 CLAUSE 4.6(7)

RECORD KEEPING.

This is an administrative matter for the Council.

4.9 CLAUSE 4.6(8)

EXCLUDED DEVELOPMENT AND CLAUSES.

The application of clause 4.6 to the height of buildings development standard is not precluded by the operation of Clause 4.6(8) of the SEPP.

5 CONCLUSION

Having regard to the assessment of the proposal and Clause 4.6 Variation Request, the proposed development achieves the objectives of the development standard and the objectives of the land use zone, notwithstanding the contravention of the height of buildings development standard. Therefore, compliance with the development standard is unnecessary and unreasonable in these circumstances.

For the reasons provided within this request, there are sufficient environmental planning grounds to justify the contravention of the height of buildings development standard. This request has appropriately demonstrated that the proposed development will be in the public interest because it is consistent with the objectives of the development standard that is contravened and the objectives for development for the zone in which the development is proposed to be carried out.

This Clause 4.6 Variation Request has been prepared in accordance with the requirements of Clause 4.6 of the SEPP and has had regard to the findings of the various case law mentioned and discussed throughout. Accordingly, Council and the Local Planning Panel can exercise its power to grant development consent for the development that contravenes the development standard.

For the reasons outlined within this request, the subject variation is worthy of Council's support.

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **COVER SHEET**

Project No. / **221060** Date / **06.04.22** Author / **JLi** Scale: @ A1

Drawing No. / **TP00.00** -

rothelowman

Brisbane, Melbourne, Sydn

DEVELOPMENT SUMMARY

LEVEL	RESIDENTIAL	PARKING	CIRCULATION/ SERVICES	POS	APARTMENTS								TOTAL UNITS
					No. STUDIO	No. 1 BEDS	No. 1 BEDS PLUS	No. 2 BEDS	No. 2 BEDS PLUS	No. 3 BEDS	No. 3 BEDS PLUS	No. 4 BEDS	
BLD-A+B+C - BASEMENT	0.0 m²	2979.2 m²	203.9 m²	0.0 m²	0	0	0	0	0	0	0	0	0
BLD C - BASEMENT	0.0 m²	0.0 m²	88.9 m²	0.0 m²	0	0	0	0	0	0	0	0	0
BLD-D - BASEMENT	0.0 m²	2086.2 m²	269.8 m²	0.0 m²	0	0	0	0	0	0	0	0	0
BLD-A+B - GROUND	932.0 m²	0.0 m²	85.8 m²	349.2 m²	0	0	0	0	0	15	0	0	15
BLD-C+D - GROUND	851.6 m²	0.0 m²	105.6 m²	298.9 m²	0	3	0	2	0	7	0	0	12
BLD-D - GROUND	232.4 m²	0.0 m²	424.6 m²	60.9 m²	0	1	0	2	0	0	0	0	3
LOADING DOCK	0.0 m²	0.0 m²	60.7 m²	0.0 m²	0	0	0	0	0	0	0	0	0
BLD-A+B - LEVEL 1	1009.6 m²	0.0 m²	65.5 m²	318.6 m²	2	0	0	0	0	0	0	0	2
BLD-C+D - LEVEL 1	887.7 m²	0.0 m²	110.3 m²	248.0 m²	0	2	0	3	0	2	0	0	7
BLD-D - LEVEL 1	359.7 m²	0.0 m²	59.3 m²	84.5 m²	0	0	0	3	0	1	0	0	4
BLD-A+B - LEVEL 2	1029.6 m²	0.0 m²	122.9 m²	213.0 m²	0	5	0	4	0	4	0	0	13
BLD-C+D - LEVEL 2	895.6 m²	0.0 m²	125.9 m²	209.9 m²	0	3	0	4	0	4	0	0	11
BLD-D - LEVEL 2	622.3 m²	0.0 m²	75.5 m²	180.0 m²	0	2	0	4	1	1	0	0	8
BLD-A+B - LEVEL 3	451.5 m²	0.0 m²	59.3 m²	137.5 m²	0	2	0	4	0	0	0	0	6
BLD-C+D - LEVEL 3	872.4 m²	0.0 m²	126.5 m²	232.4 m²	0	3	0	5	0	3	0	0	11
BLD-D - LEVEL 3	623.2 m²	0.0 m²	155.2 m²	179.0 m²	0	2	0	4	1	1	0	0	8
TOTAL	8767.7 m²	5065.4 m²	2139.6 m²	2511.8 m²	2	23	0	35	2	38	0	0	100
					1.8%	22.7%	0.0%	34.5%	1.8%	39.1%	0.0%	0.0%	100%

CAR PARK

LEVEL	CARPARKS		
	RESIDENTIAL	VISITOR	TOTAL
BLD-A+B+C - BASEMENT	87	0	87
BLD-D - BASEMENT	44	20	64
	131	20	151

TOTAL MIX :

STUDIO	1 BED	2 BED	3 BED	4 BED
2	23	37	38	0

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing DEVELOPMENT SUMMARY

Project No. 221060 Date 06.04.22 Author JLi Scale: @ A1

Drawing No. TP00.01 -

rothelowman

Brisbane, Melbourne, Sydn

Demolition Notes

Contractor to confirm existing conditions on site.

Contractor to demolish existing structure/remove all materials. Cut and seal services as required in accordance with local authority requirements and a.s. codes for that trade u.n.o

Protection of works as required by local authorities

Cleaning of site to epa requirements by contractor

Asbestos
Contractor to allow for complete demolition & removal of all asbestos products. All asbestos products to be removed & handled as per relevant Australian standards

Extent of demolition work as indicated on this drawing, including but not limited to the following:

Removal/demolition of all existing floor/slabs & footings, external and internal walls, windows, doors, cladding, gutters, downpipes, rainwater heads, cappings, flashing gutter board supports etc. u.n.o

Removal/demolition of all existing works including but not limited to external steps, paths, carparks, planters & landscaping, gates, fences, garden walls, retaining walls, bollards, light blades signs, columns etc. u.n.o

Removal/demolition of all existing fixtures and fittings including but not limited to lights, taps, basins, wcs etc. Disconnection & removal of existing services to be undertaken by appropriate contractors

Contractor to make good damage to adjoining buildings, pavement, laneways, roads, fences, kerbs, channels, services, street furniture, carspace markings etc. (ie. Any adjoining objects/materials not within site boundary) resulting from demolition works.

All repairs to authority requirements or to condition prior to demolition. Contractors are responsible for relocation and co-ordination of road carparking markings, ticket machines etc.

Preliminary
Precautionary measures to be undertaken as described in AS.2601-2001. A "hazardous substances management plan" is to be implemented before and during demolition if the preliminary investigation of the building identifies any hazardous materials contained therein. These materials will be removed as per the guidelines of the responsible authority and clearance certificate obtained before demolition commences

Safety fencing
Security fences shall be provided to the street boundary of the demolition site and any additional precautionary measures, taken as may be necessary to prevent unauthorised entry to the site, where the demolition site adjoins a public thoroughfare the common boundary between them shall be fenced for its full length with a hoarding unless the least horizontal distance between the common boundary and the nearest part of the structure is greater than twice the height of the structure. The fencing shall be the equivalent of the chain wire as specified in AS.1725

Notices lettered in accordance with AS.1319 and displaying the words "warning demolition in progress", or similar, shall be fixed to the fencing at appropriate places to warn the public. Provision shall be made for ready access to the site by emergency services personnel in the event of fire or accident

Demolition work
Structures shall be demolished in the reverse order to that of their construction. The order of demolition for buildings shall be progressive, storey by storey, having proper regard to the type of construction. No part of any structure shall be left unsupported or unattended in such a condition that it may collapse or become dangerous. Precautions shall be taken to ensure that the stability of all parts of the structure, and the safety of persons on and outside the site, will be maintained in the event of sudden and severe weather changes.

Walls on the boundaries are to be demolished in a safe and workmanship like manner. Walls shall not be laterally loaded by accumulated debris or rubble, to the extent that they are in danger of collapse, allowable loading of the suspended floors shall be determined by an independent structural engineer.

Dust control
The techniques adopted for stripping out and for demolition shall minimise the release of dust into the atmosphere. Before the commencement of stripping or demolition in an area of a structure, any existing accumulations of dust in that area shall be collected, placed in suitable containers and removed. Selection of an appropriate collection technique, such as vacuuming or hosing down, shall take due account of the nature of the dust and the type of hazard it presents. Dust generated during stripping, or during the breaking down of the building fabric to removable sized pieces, shall be kept damp until it is removed from the site or can be otherwise contained. The use of excess water for this purposed shall be avoided.

Noise control
Noise shall be minimised as far as practicable, by the selection of appropriate methods and equipment, and by the use of silencing devices wherever practicable to epa/code requirements.

Note:
1. Attention is drawn to recommendations in AS.2436
2. Hours of operating equipment may be restricted by regulatory authority

Fire services
Where a fire hydrant service or a fire hose reel service is provided in a building, it shall be available at all times during the demolition of the building, so that all remaining storeys except the two uppermost storeys, are serviced. Access to the fire protection services, including any booster fitting, shall be maintained at all times. If a sprinkler system is installed in a building to be demolished, it shall be maintained in an operable condition at each storey below the two uppermost unstripped storeys.

Suitable portable fire extinguishers shall be kept at all times in working area and are not protected by other fire services, and maintained in an operable condition.

Adjoining properties
Safe access to and egress from adjoining buildings shall be maintained at all times for the duration of the demolition work. No demolition activity shall cause damage to or adversely affect the structural integrity of adjoining buildings. The effects of vibration and conversion on adjoining buildings and their occupants shall be minimised by selecting demolition methods and equipment appropriate to the circumstances. Where any surface of an adjoining building is exposed by demolition, the need for weatherproofing the exposed surface shall be investigated and temporary or permanent protection provided as appropriate. Precautions shall be taken to minimise the spreading of mud and debris by vehicles leaving the site.

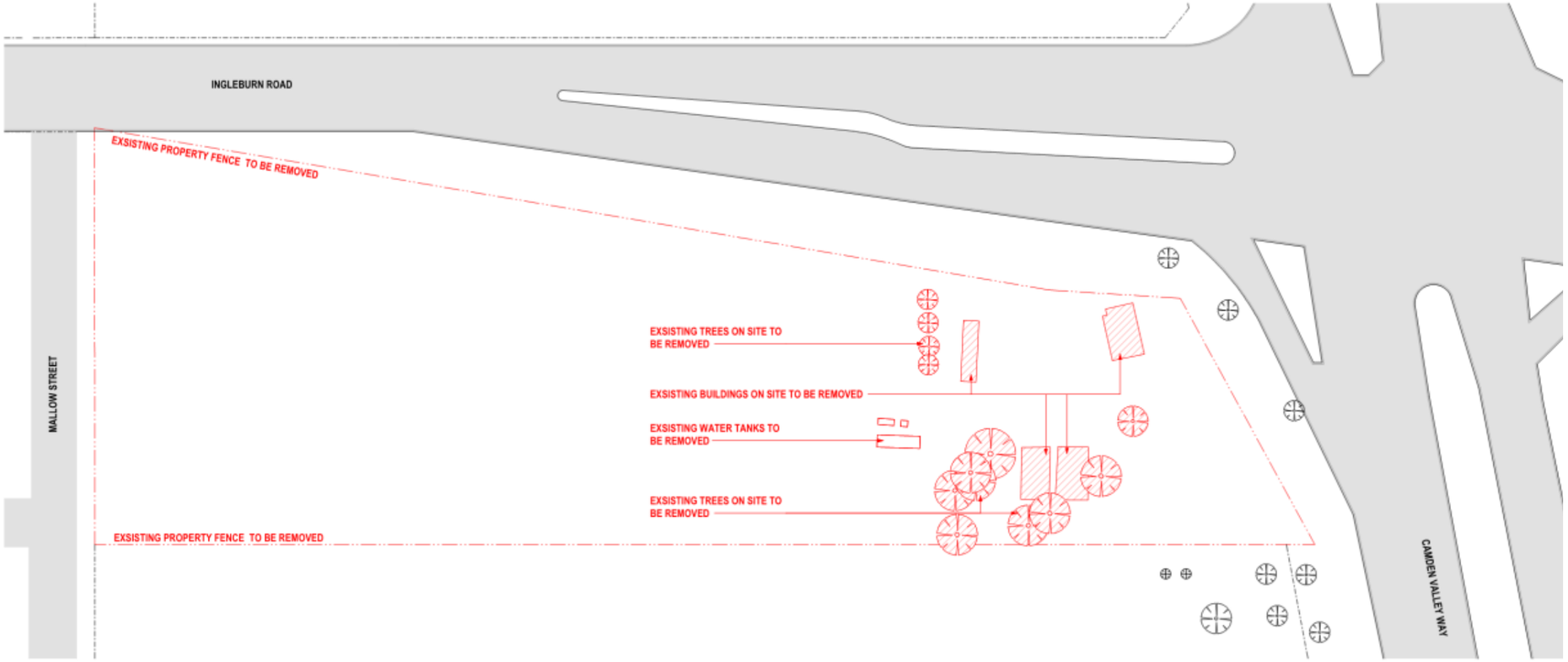
General
Openings in existing walls and floors, through which there is a risk of persons falling to lower level, shall be either properly guarded or boarded over and the boarding secured against unauthorised or accidental removal. Precautions shall be taken to prevent glass from falling on any person in or outside the building. Demolished material shall not be allowed to fall freely outside the structure unless it is confined within a chute or similar enclosure, which is clear of obstructions to objects falling freely.

Demolished material shall be removed progressively from the site and at any time, shall not be allowed to accumulate to the extent that it presents a hazard to the public or to site personnel.

All drawings to be read in conjunction with heritage consultants drawings and specifications

Site protection/shoring legend
Permanent site shoring
Temporary site shoring
Note:
Refer structural engineers drawings for all site protection and shoring details

LEGEND
- HARDSTAND TO BE DEMOLISHED
- BUILDINGS TO BE DEMOLISHED
- TREES TO BE REMOVED
- TREES TO BE RETAINED



PRELIMINARY

Revisions			
-	06.04.22	DA Submission	JC

Project: 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing: DEMOLITION PLAN | Project No: 221060 | Date: 06.04.22 | Author: JC | Scale: @ A1: 1 : 500 | Drawing No: TP00.02 -

rothelowman
Brisbane, Melbourne, Sydn

PRELIMINARY

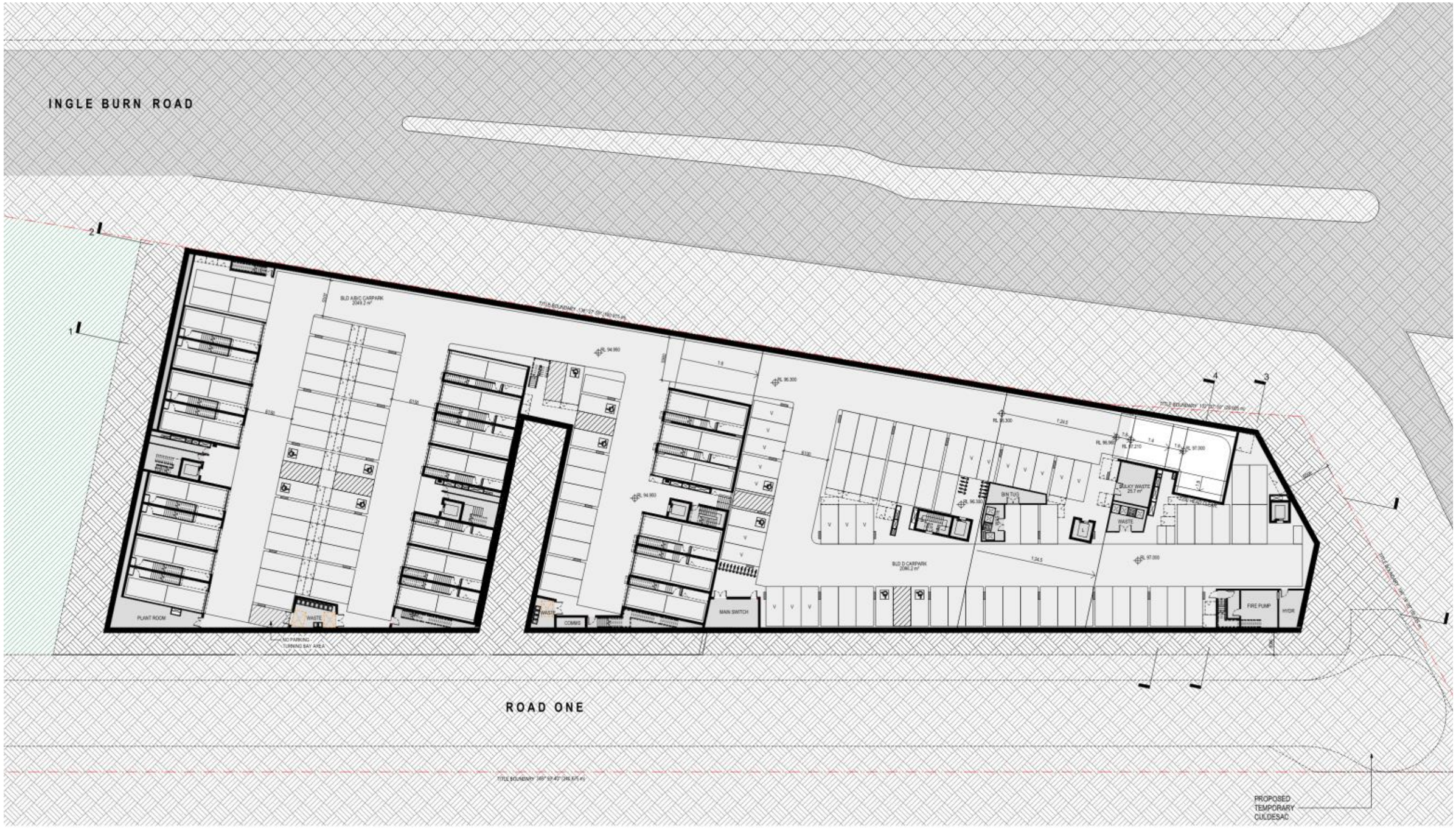
Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **PROPOSED SITE PLAN** Project No. / **221060** Date / **06.04.22** Author / **BR** Scale: @ A1 / **1 : 1000** Drawing No. / **TP01.01 -**

rothelowman

Brisbane, Melbourne, Sydn



PRELIMINARY

Revisions
- 06.04.22 DA Submission JC

Project: **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing: **LEVEL BASEMENT**

Project No.: **221060**

Date: **06.04.22**

Author: **JLi**

Scale: @ A1: **1 : 250**

Drawing No.: **TP01.02** -

rothelowman

Brisbane, Melbourne, Sydn

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing / LEVEL GROUND

Project No. / 221060

Date / 06.04.22

Author / JLi

Scale: @ A1 / 1 : 250

Drawing No. / TP01.03 -

rothelowman

Brisbane, Melbourne, Sydn

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **LEVEL 1**

Project No / **221060** Date / **06.04.22** Author / **JLi** Scale: @ A1 / **1 : 250**

Drawing No / **TP01.04** - X

rothelowman
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Attachment 5 **CLPP01**

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing LEVEL 2

Project No. 221060 Date 06.04.22 Author JLi Scale: @ A1 1 : 250

Drawing No. TP01.05 -

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PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **LEVEL 3**

Project No. / **221060**

Date / **06.04.22**

Author / **JLi**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.06** -

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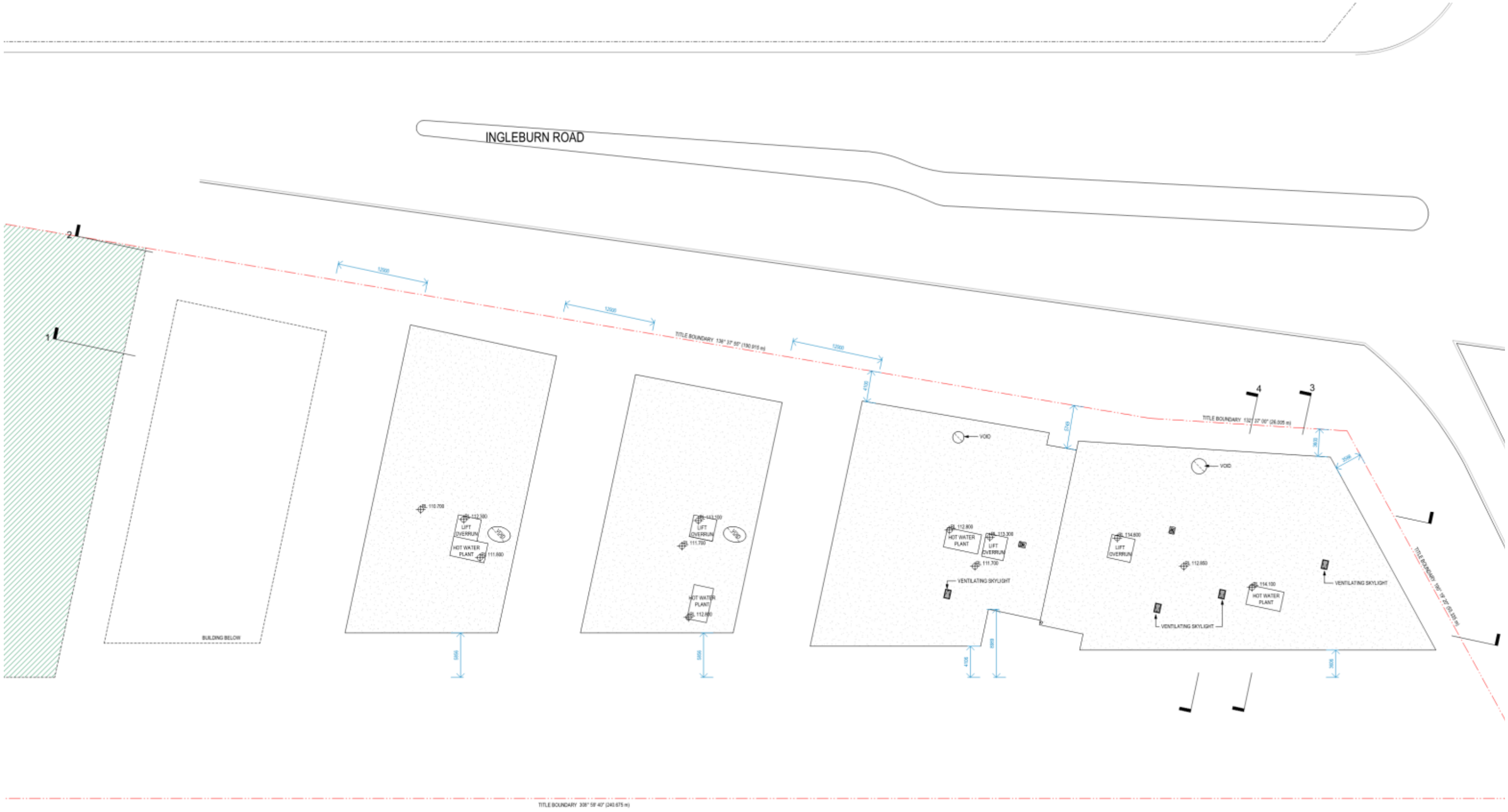

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **LEVEL ROOF**

Project No. / **221060**

Date / **06.04.22**

Author / **JLi**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.07 -**

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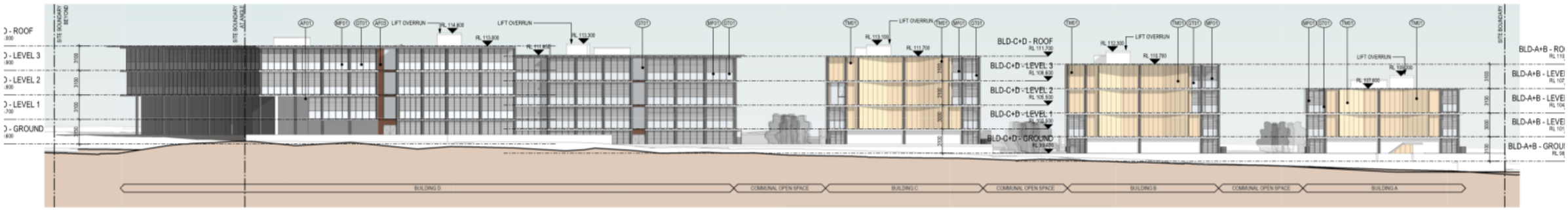
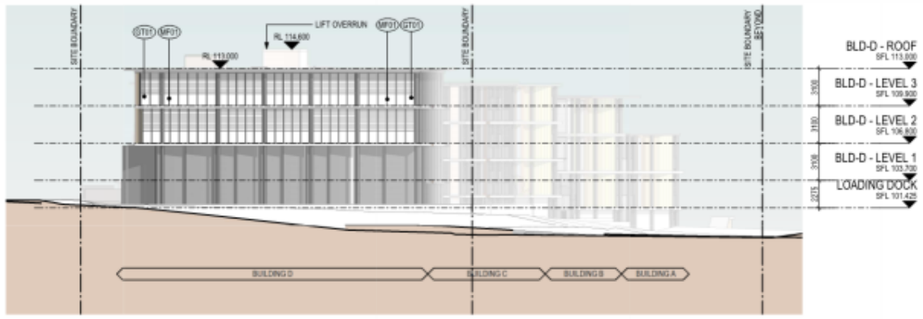


ELEVATION - INGLEBURN ROAD FRONTAGE



ELEVATION - CAMDEN VALLEY WAY FRONTAGE

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing ELEVATIONS

Project No. 221060

Date 06.04.22

Author JC

Scale: @ A1 1 : 250

Drawing No. TP02.01 -

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ELEVATION - NEW DCP ROAD

ELEVATION - NORTH WEST

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing ELEVATIONS

Project No. 221060

Date 06.04.22

Author JC

Scale: @ A1 1 : 250

Drawing No. TP02.02 -

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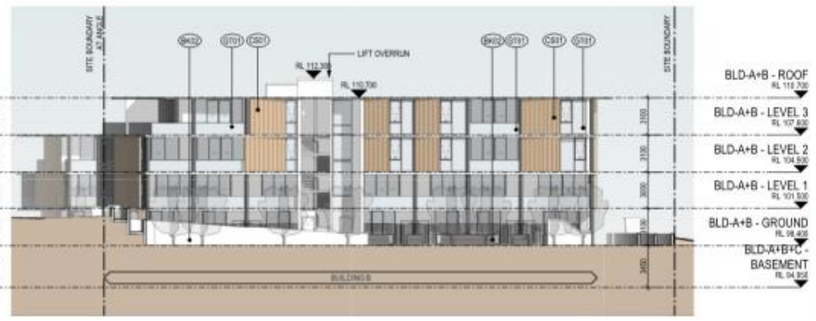
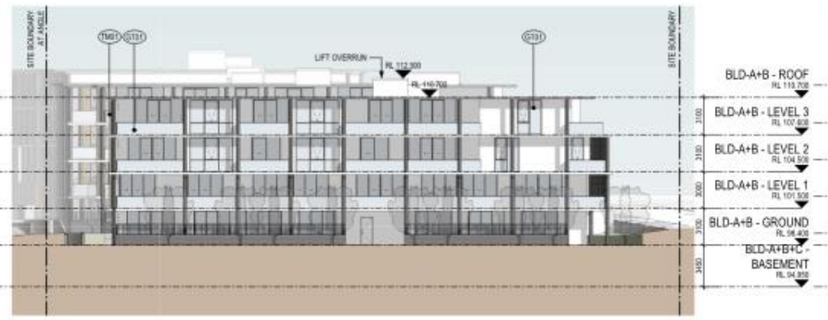
Brisbane, Melbourne, Sydn

ELEVATION - BLD A - SOUTH EAST



ELEVATION - BLD B - SOUTH EAST

ELEVATION - BLD C - SOUTH EAST



ELEVATION - BLD B - NORTH WEST

ELEVATION - BLD C - NORTH WEST

ELEVATION - BLD D - NORTH WEST

PRELIMINARY

Revisions			
-	06.04.22	DA Submission	JC

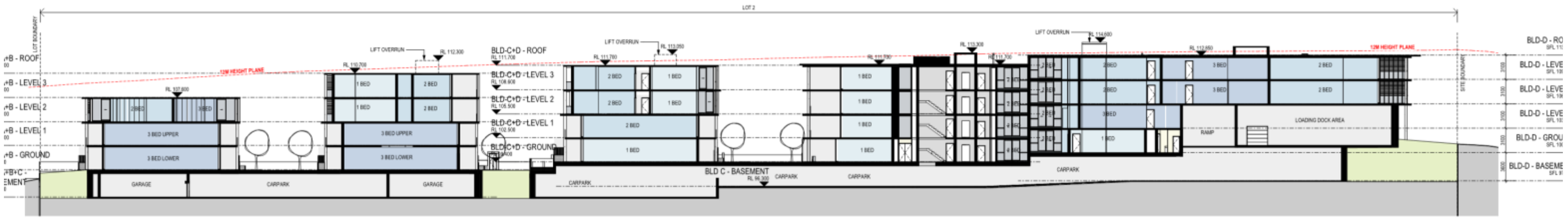
Project: **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing: **ELEVATIONS**

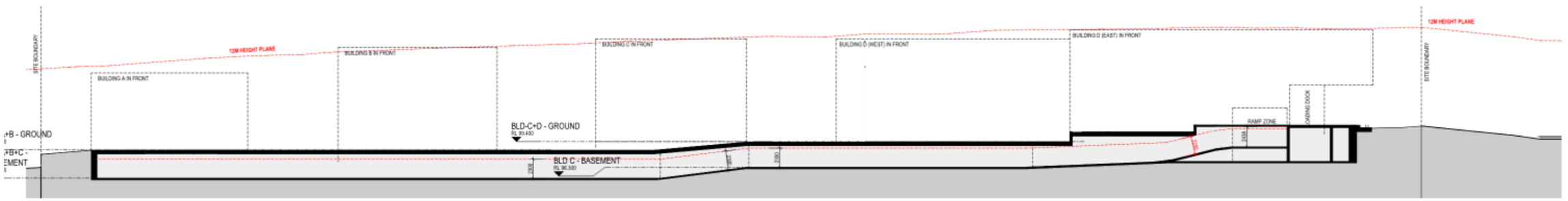
Project No: **221060** Date: **06.04.22** Author: **JC** Scale: @ A1 **1 : 250** Drawing No: **TP02.03** - X

rothelowman

Brisbane, Melbourne, Sydn



SECTION - SITE A



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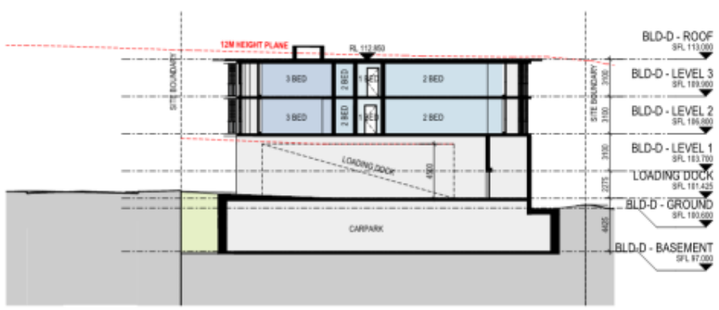
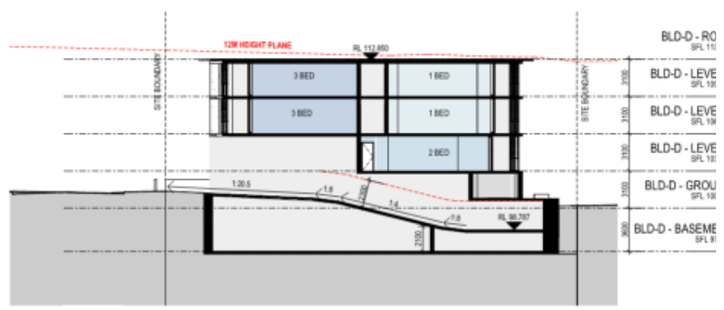


SECTION - LOADING DOCK



SECTION - ENTRY RAMP

PRELIMINARY

Revisions
- 06.04.22 DA Submission JC

Project: **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing: **SECTIONS**

Project No.: **221060** Date: **06.04.22** Author: **JC** Scale: @ A1: **1 : 250** Drawing No.: **TP03.01 -**

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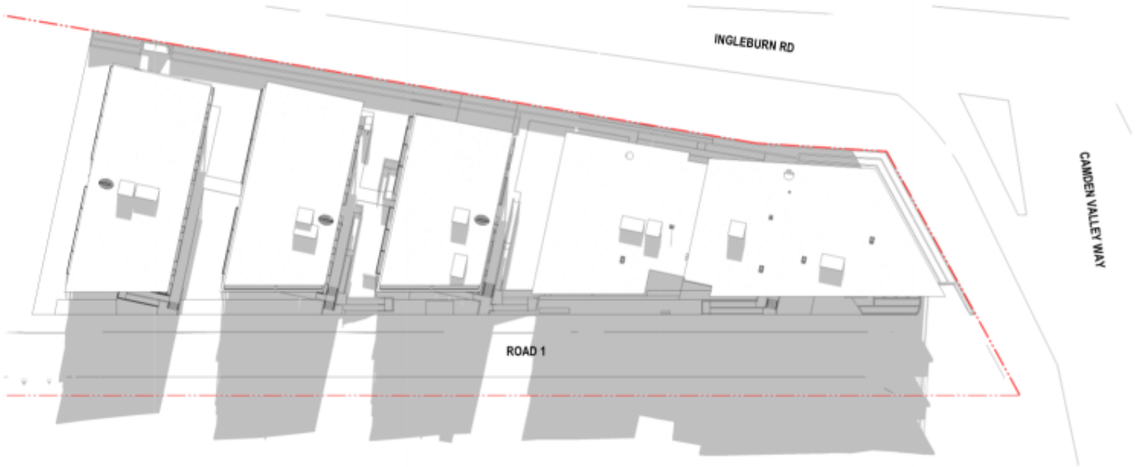
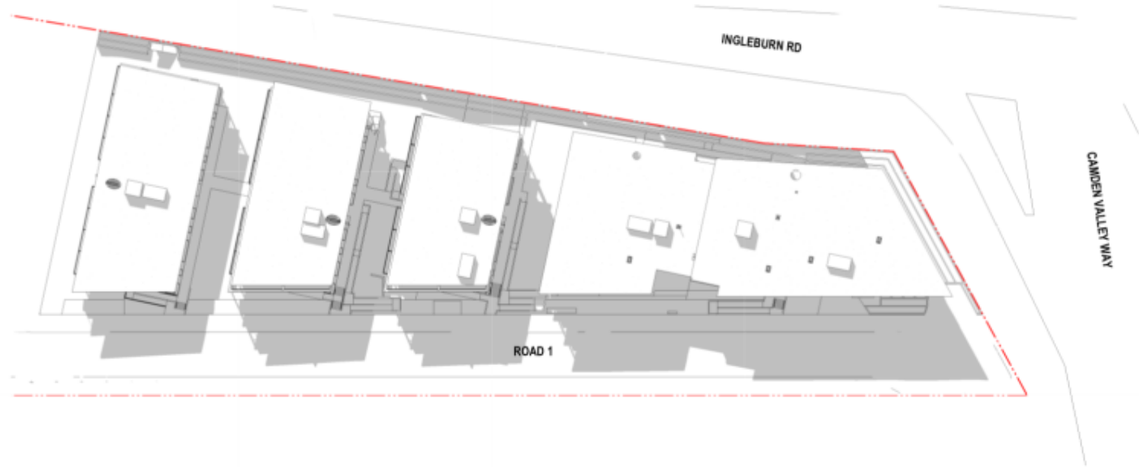
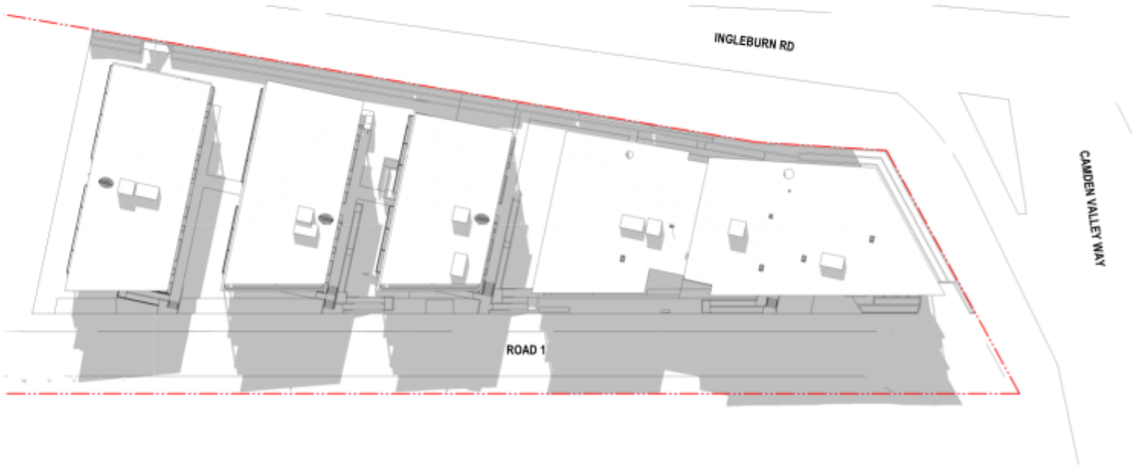


BLD D - GROUND (09.00)



BLD D - GROUND (11.00)



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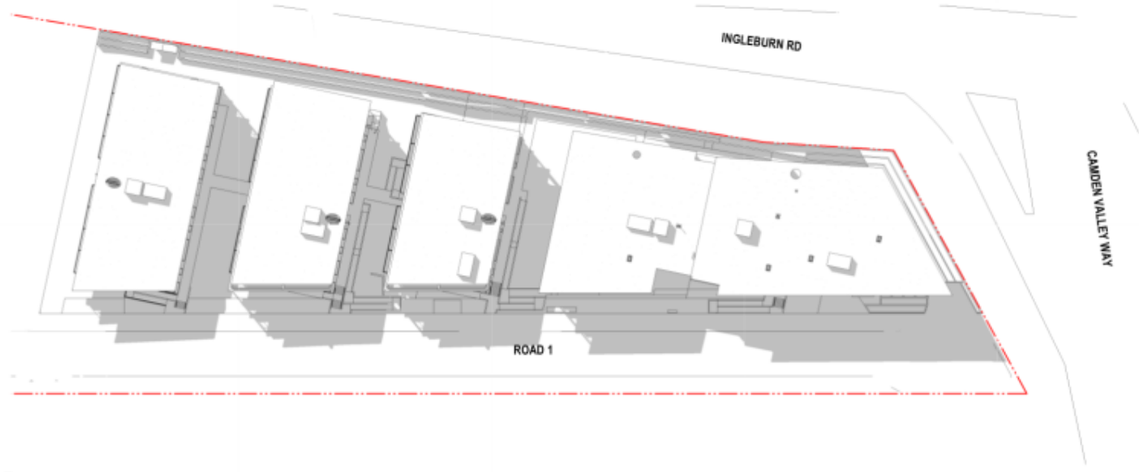


BLD D - GROUND (12.00)

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing SHADOW ANALYSIS - PLAN

Project No. 221060 Date 06.04.22 Author JC Scale: @ A1 1 : 600 Drawing No. TP05.01 -

rothelowman

Brisbane, Melbourne, Sydn

BLD D - GROUND (13.00)

BLD D - GROUND (15.00)

BLD D - GROUND (14.00)

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing SHADOW ANALYSIS - PLAN

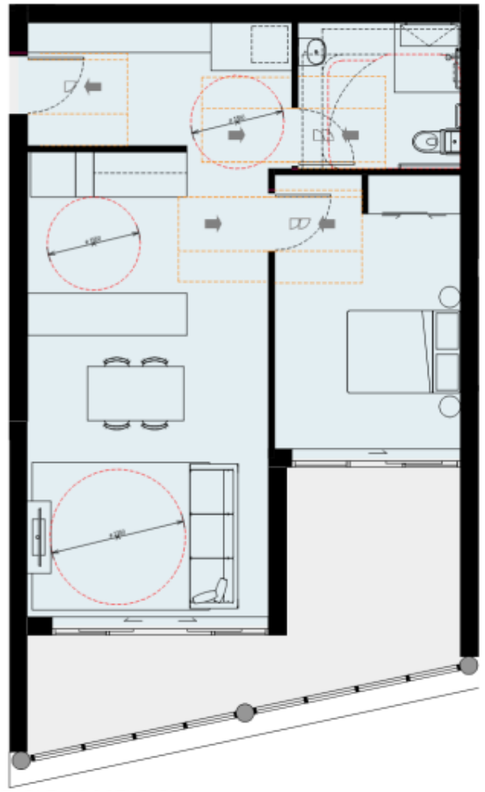
Project No. 221060 Date 06.04.22 Author JC Scale: @ A1 1 : 600

Drawing No. TP05.02 -

rothelowman

Brisbane, Melbourne, Sydn

ADAPTABLE - (PRE) TYPE 1



ADAPTABLE - (POST) TYPE 1

ADAPTABLE - (PRE) TYPE 2

ADAPTABLE - (POST) TYPE 2

AMENITY	
ADAPTABLE COMPLIANT	LHA COMPLIANCE
12.0%	20.0%

ADAPTABLE UNITS
D.101
D.103
D.105
D.201
D.203
D.205
D.209
D.301
D.303
D.305
D.309
D.UG105
12

LHA SILVER UNITS
A.203
A.206
A.207
A.U101
B.201
B.U101
C.201
D.101
D.103
D.105

LHA SILVER UNITS
D.109
D.201
D.203
D.205
D.209
D.301
D.303
D.305
D.309
D.UG105
20

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **ADAPTABLE UNITS**

Project No. / **221060**

Date / **06.04.22**

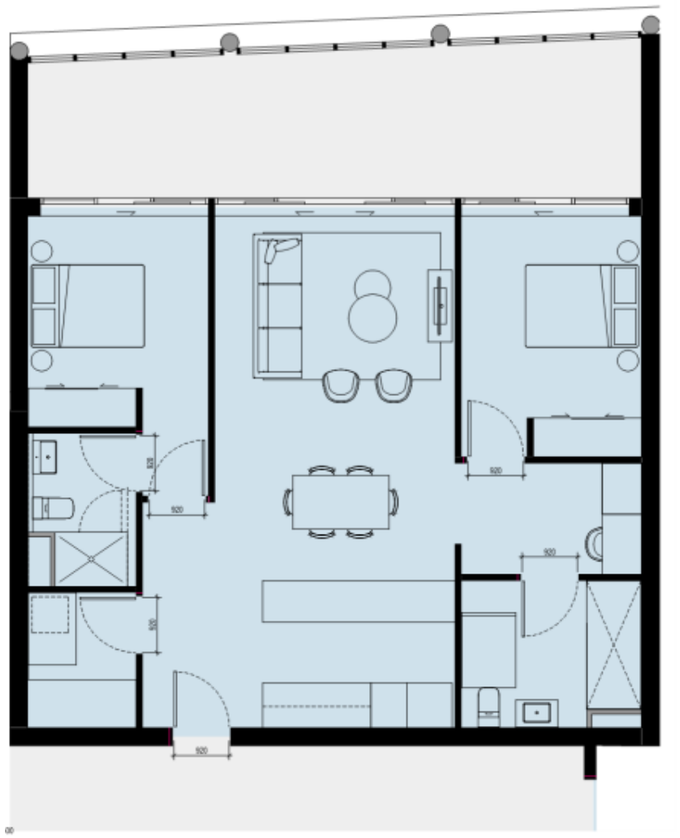
Author / **JLi**

Scale: @ A1 / **1 : 50**

Drawing No. / **TP06.01 -**

rothelowman

Brisbane, Melbourne, Sydn



APTABLE - (PRE) TYPE 3

ADAPTABLE - (POST) TYPE 3

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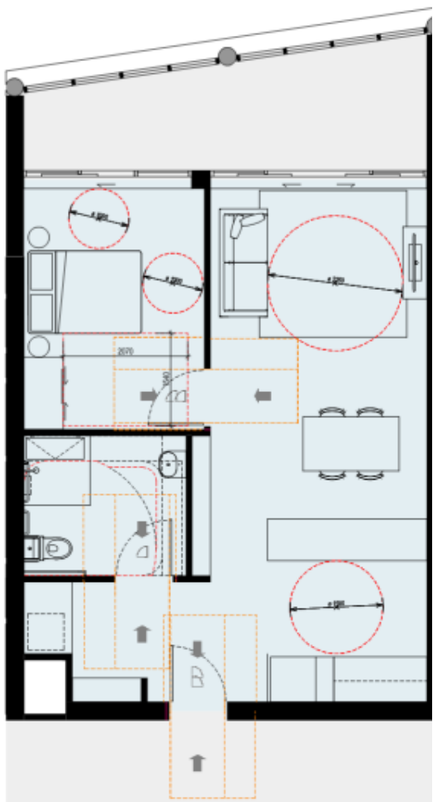

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AMENITY	
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D.105
D.201
D.203
D.205
D.209
D.301
D.303
D.305
D.309
D.UG105
12

LHA SILVER UNITS
A.203
A.206
A.207
A.U101
B.201
B.U101
C.201
D.101
D.103
D.105

LHA SILVER UNITS
D.109
D.201
D.203
D.205
D.209
D.301
D.303
D.305
D.309
D.UG105
20

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing ADAPTABLE UNITS

Project No. 221060

Date 06.04.22

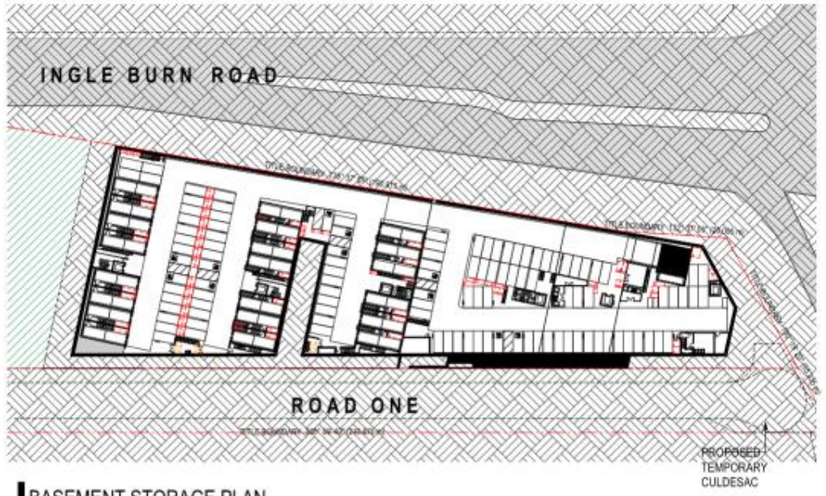
Author JLi

Scale: @ A1 1 : 50

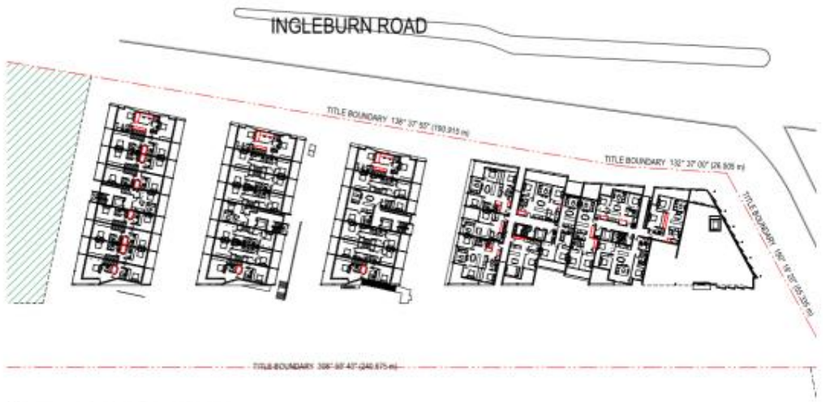
Drawing No. TP06.02 -

rothelowman

Brisbane, Melbourne, Sydn



BASEMENT STORAGE PLAN

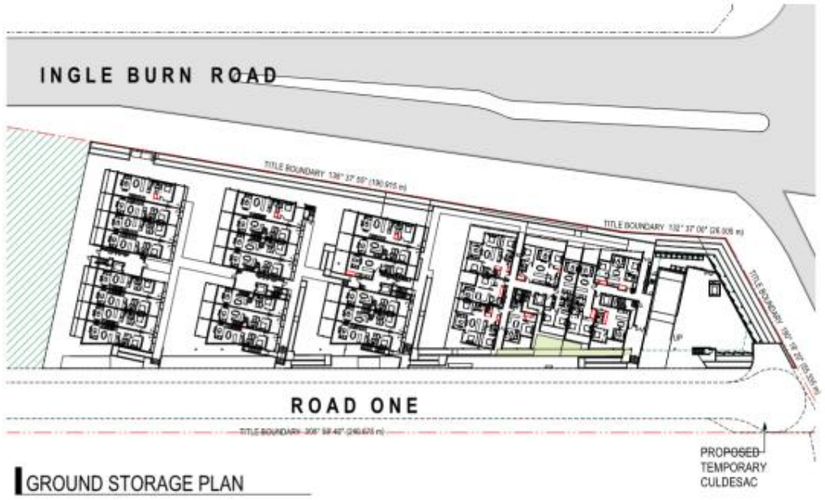


LEVEL 1 STORAGE PLAN

LEVEL 3 STORAGE PLAN

PRELIMINARY

Revisions			
-	06.04.22	DA Submission	JC



GROUND STORAGE PLAN

LEVEL 2 STORAGE PLAN

Carpark Storage	
Comments	Count
3m³	10
4m³	3
5m³ +	67

TOTAL STORAGE: 80

Storage Schedule		
UNIT TYPE	UNIT	VOLUME
A.201	1 BED	7 m³
A.202	2 BED	12 m³
A.203	3 BED	4 m³
A.204	1 BED	3 m³
A.205	1 BED	7 m³
A.206	3 BED	13 m³
A.207	2 BED	7 m³
A.UG101	3 BED LOWER	2 m³
A.UG101	3 BED UPPER	16 m³
A.UG102	3 BED UPPER	5 m³
A.UG103	3 BED UPPER	5 m³
A.UG104	3 BED UPPER	5 m³
A.UG105	3 BED UPPER	5 m³
A.UG106	3 BED UPPER	5 m³
A.UG107	3 BED UPPER	5 m³
A.UG108	3 BED UPPER	5 m³
B.201	3 BED	5 m³
B.202	3 BED	5 m³
B.203	1 BED	9 m³
B.204	1 BED	5 m³
B.205	2 BED	12 m³
B.206	2 BED	6 m³
B.301	2 BED	4 m³
B.302	2 BED	9 m³
B.303	1 BED	9 m³
B.304	1 BED	5 m³
B.305	2 BED	12 m³
B.306	2 BED	6 m³
B.UG101	3 BED LOWER	2 m³
B.UG101	3 BED UPPER	16 m³
B.UG102	3 BED UPPER	7 m³
B.UG103	3 BED UPPER	7 m³
B.UG104	3 BED UPPER	7 m³
B.UG105	3 BED UPPER	7 m³
B.UG106	3 BED UPPER	7 m³
B.UG107	3 BED UPPER	5 m³
C.201	3 BED	5 m³
C.202	3 BED	5 m³
C.203	2 BED	6 m³
C.204	2 BED	12 m³
C.205	1 BED	4 m³
C.301	2 BED	4 m³
C.302	3 BED	5 m³
C.303	2 BED	6 m³
C.304	2 BED	12 m³
C.305	1 BED	4 m³
C.UG101	3 BED LOWER	2 m³
C.UG101	3 BED UPPER	16 m³
C.UG103	1 BED	5 m³
C.UG106	3 BED UPPER	5 m³

Storage Schedule		
UNIT TYPE	UNIT	VOLUM
D.101	1 BED	3 m³
D.102	3 BED	6 m³
D.103	1 BED	4 m³
D.104	3 BED	6 m³
D.105	2 BED	5 m³
D.106	2 BED	3 m³
D.107	2 BED	8 m³
D.108	2 BED	9 m³
D.109	2 BED	7 m³
D.110	3 BED	7 m³
D.201	1 BED	3 m³
D.202	3 BED	6 m³
D.203	1 BED	4 m³
D.204	3 BED	6 m³
D.205	2 BED	5 m³
D.206	2 BED	3 m³
D.207	2 BED	8 m³
D.208	2 BED	9 m³
D.209	1 BED	4 m³
D.210	2 BED	6 m³
D.211	1 BED	8 m³
D.212	2 BED	5 m³
D.213	3 BED	5 m³
D.214	2 BED	4 m³
D.301	1 BED	3 m³
D.302	3 BED	6 m³
D.303	1 BED	4 m³
D.304	3 BED	6 m³
D.305	2 BED	5 m³
D.306	2 BED	3 m³
D.307	2 BED	8 m³
D.308	2 BED	9 m³
D.309	1 BED	4 m³
D.310	2 BED	6 m³
D.311	1 BED	8 m³
D.312	2 BED	5 m³
D.313	3 BED	5 m³
D.314	2 BED	4 m³
D.UG101	2 BED	5 m³
D.UG103	1 BED	3 m³
D.UG104	3 BED	6 m³
D.UG105	1 BED	4 m³
D.UG106	3 BED	6 m³
D.UG107	1 BED	6 m³
D.UG108	2 BED	5 m³
D.UG109	2 BED	9 m³

Project	Drawing	Project No.	Date	Author	Scale: @ A1	Drawing No.
11 INGLEBURN ROAD, LEPPINGTON 11 INGLEBURN ROAD, LEPPINGTON	STORAGE PLAN & SCHEDULE	221060	06.04.22	JC	1 : 750	TP06.03 - X

rothelowman

Brisbane, Melbourne, Sydn

SITE COVERAGE		
DCP Requirement	Achieved Area	Achieved %
50% Max.	3171.1 m²	42%

COMMUNAL OPEN SPACE		
DCP Requirement	Area	Achieved %
15%	2156.8 m²	29%

PRELIMINARY

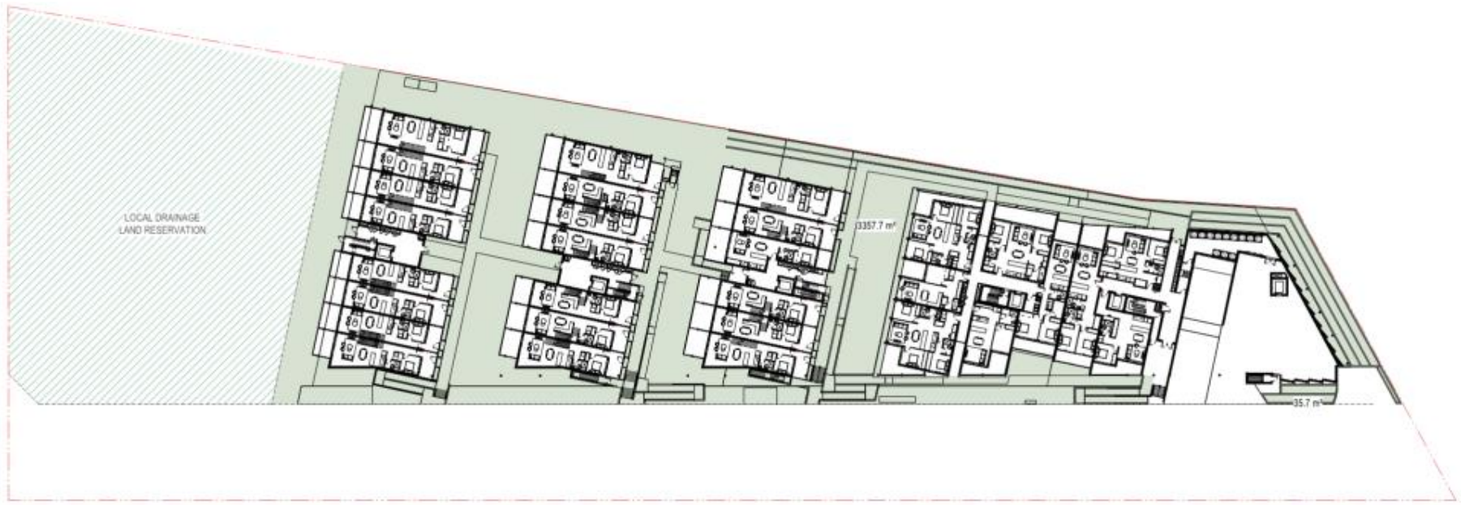
Revisions
- 06.04.22 DA Submission JC

Project: **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

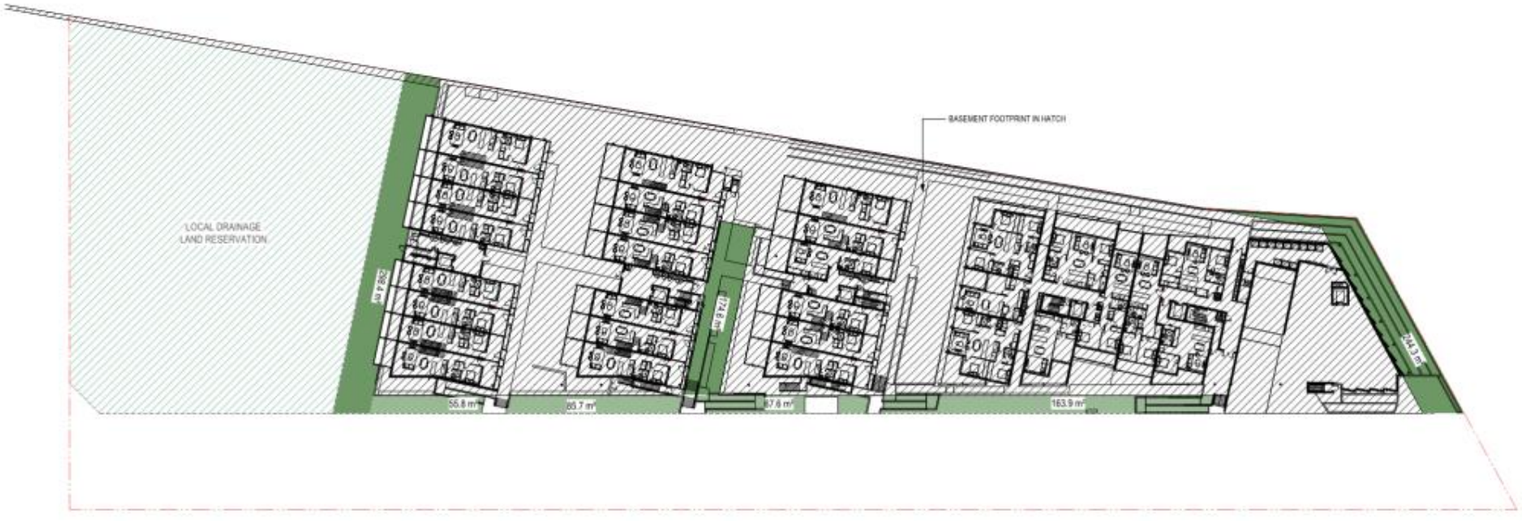
Drawing: **SITE COVERAGE & COMMUNAL OPEN SPACE**

Project No. 221060 | Date 06.04.22 | Author BR | Scale: @ A1 1 : 500 | Drawing No. TP06.04 -

rothelowman
Brisbane, Melbourne, Sydn



LANDSCAPED AREA		
DCP Requirement	Achieved Area	Achieved %
30% Min.	3393.4 m²	45%



DEEP SOIL AREA			
SIZE	ADG REQUIREMENT	ACHIEVED AREA	ACHIEVED % OF SITE
<6M	N/A	373.0 m²	5%
>6M	N/A	717.3 m²	10%

PRELIMINARY

Revisions - 06.04.22 DA Submission JC

Project 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing LANDSCAPE & DEEP SOIL COVERAGE

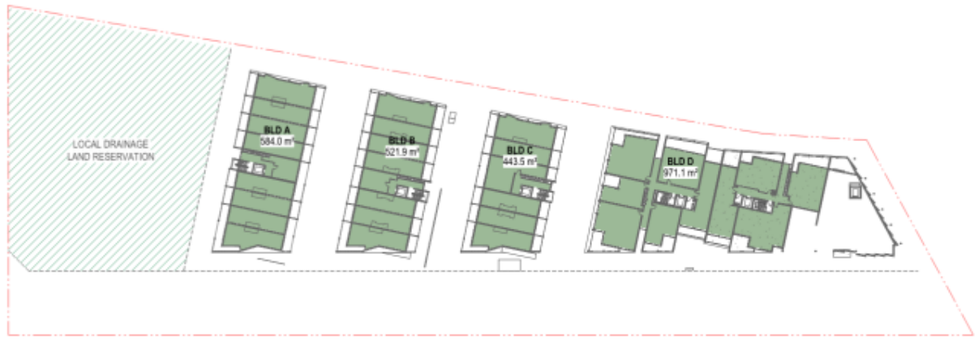
Project No. 221060 Date 06.04.22 Author JLi Scale: @ A1 1 : 500

Drawing No. TP06.05 -

rothelowman
Brisbane, Melbourne, Sydn

BASEMENT

GROUND



LEVEL 1

LEVEL 2

LEVEL 3

BLD A		
Name	Level	Area
BLD A	BLD-D - GROUND	559.0 m²
BLD A	BLD-D - LEVEL 1	584.0 m²
BLD A	BLD-D - LEVEL 2	627.6 m²
		1770.7 m²
BLD B	BLD-D - GROUND	494.9 m²
BLD B	BLD-D - LEVEL 1	521.9 m²
BLD B	BLD-D - LEVEL 2	539.9 m²
BLD B	BLD-D - LEVEL 3	512.9 m²
		2069.7 m²
BLD C	BLD-D - GROUND	424.4 m²
BLD C	BLD-D - LEVEL 1	443.5 m²
BLD C	BLD-D - LEVEL 2	457.3 m²
BLD C	BLD-D - LEVEL 3	437.2 m²
		1762.5 m²
BLD D	BLD-D - GROUND	848.0 m²
BLD D	BLD-D - LEVEL 1	971.1 m²
BLD D	BLD-D - LEVEL 2	1268.3 m²
BLD D	BLD-D - LEVEL 3	1268.9 m²
		4356.3 m²
Grand total		9959.2 m²

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **GFA**

Project No. / **221060** Date / **06.04.22** Author / **JC** Scale: @ A1 / **1 : 750**

Drawing No. / **TP06.06** -

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Brisbane, Melbourne, Sydn

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **HEIGHT PLANE DIAGRAMS**

Project No. / **221060** Date / **06.04.22** Author / **JLi** Scale: @ A1

Drawing No. / **TP06.07** -

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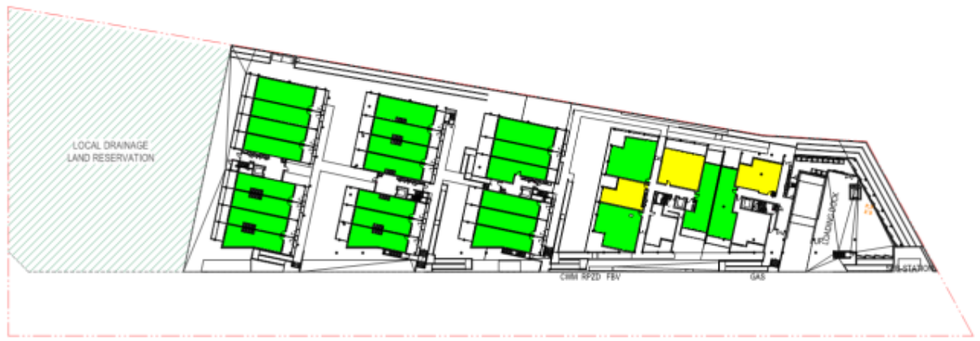
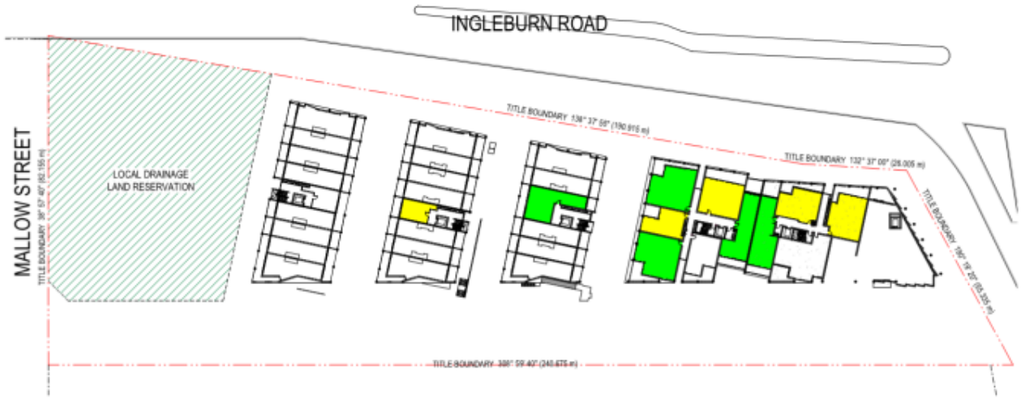
Brisbane, Melbourne, Sydn



BLD-D - GROUND SOLAR / CROSS VENT



BLD-D - LEVEL 1 SOLAR / CROSS VENT

BLD-D - LEVEL 2 SOLAR / CROSS VENT

BLD-D - LEVEL 3 SOLAR / CROSS VENT

LEVEL	No. VENTILATION
BLD-A+B - GROUND	15
BLD-C+D - GROUND	9
BLD-D - GROUND	1
LOADING DOCK	0
BLD-A+B - LEVEL 1	0
BLD-C+D - LEVEL 1	4
BLD-D - LEVEL 1	1
BLD-A+B - LEVEL 2	6
BLD-C+D - LEVEL 2	6
BLD-D - LEVEL 2	3
BLD-A+B - LEVEL 3	3
BLD-C+D - LEVEL 3	7
BLD-D - LEVEL 3	6
	61

CROSS VENT COMPLIANT
61%

LEVEL	No. SOLAR
BLD-A+B - GROUND	15
BLD-C+D - GROUND	11
BLD-D - GROUND	2
LOADING DOCK	0
BLD-A+B - LEVEL 1	1
BLD-C+D - LEVEL 1	6
BLD-D - LEVEL 1	3
BLD-A+B - LEVEL 2	9
BLD-C+D - LEVEL 2	8
BLD-D - LEVEL 2	5
BLD-A+B - LEVEL 3	4
BLD-C+D - LEVEL 3	9
BLD-D - LEVEL 3	7
	80

SOLAR COMPLIANT
80%

PRELIMINARY

Revisions
- 06.04.22 DA Submission JC

>2 HOURS SOLAR AND CROSS VENT COMPLIANT
>2 HOURS SOLAR
CROSS VENT COMPLIANT

Project: 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing: SEPP 65 SOLAR & CROSS VENTILATION

Project No. 221060 | Date 06.04.22 | Author JC | Scale: @ A1 1 : 750 | Drawing No. TP06.09 - X

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Brisbane, Melbourne, Sydn

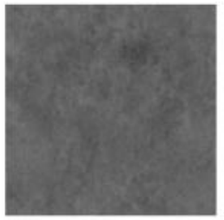
AF01
Finish: Applied Finish - Light Brown
Location: Parti Walls

CS02
Cladding System: Prefinished Warm B
Location: External Walls

AF02
Finish: Applied Finish - Grey
Location: Slabs

MF01
Metal Finish: Light Grey Powdercoat
Location: Winter Garden Transoms

AF03
Finish: Applied Finish - Ochre
Location: Fire Stair Balustrades



MF02
Metal Finish: Dark Grey Powdercoat
Location: Window Frames, Balustrades, Fences and Gates

BK01
Brick: Mid Grey
Location: Landscape Walls

GT01
Glazing Type: Clear
Location: Windows and Balustrades

CS01
Cladding System: Prefinished Light Brown
Location: External Walls

PT01
Finish: Paint - Grey
Location: Columns, Lobby External Walls & Feature Slab Edges

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / **11 INGLEBURN ROAD, LEPPINGTON**
11 INGLEBURN ROAD, LEPPINGTON

Drawing / **EXTERNAL FINISHES**

Project No / **221060**

Date / **06.04.22**

Author / **BR**

Scale: @ A1

Drawing No / **TP07.01** -

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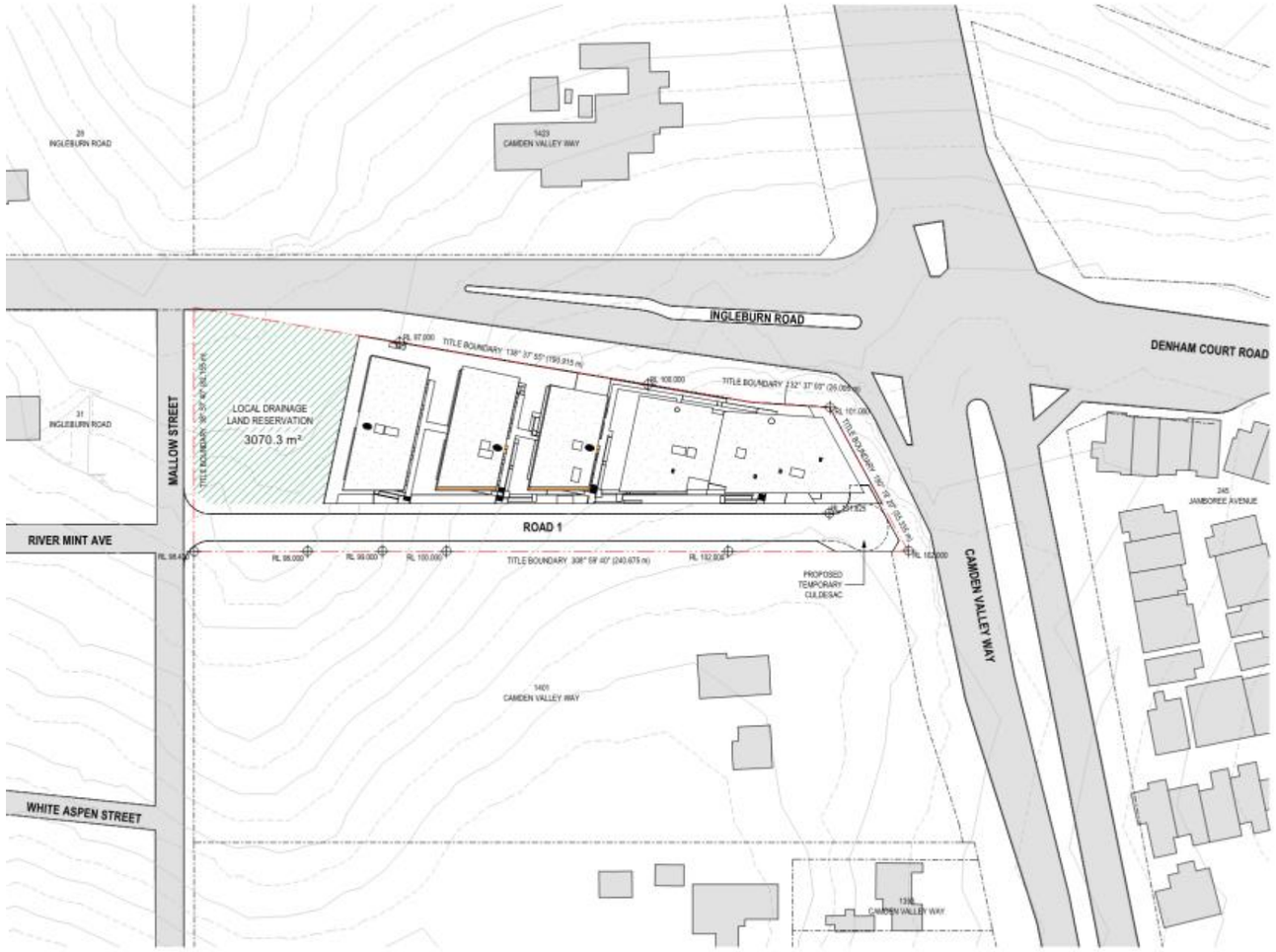
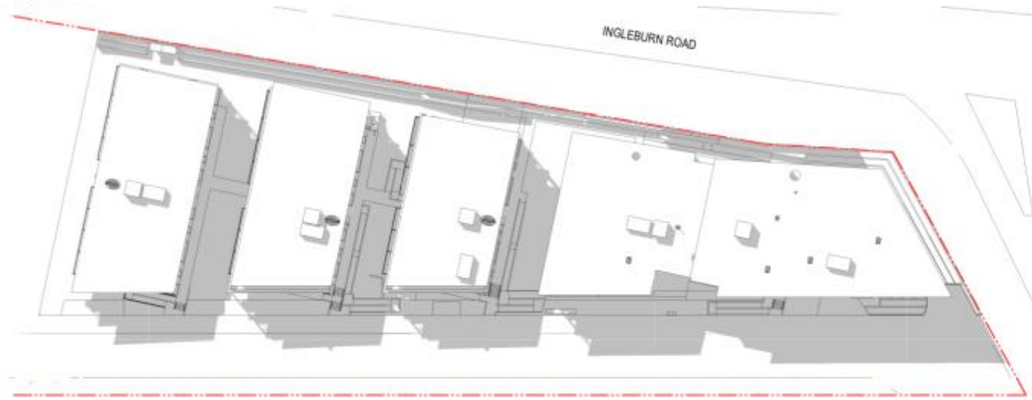


E - NOTIFICATION PLAN
E 1:1000

BLD D - GROUND (09.00)
NOTIFCATION PLAN
SCALE 1:600



BLD D - GROUND (12.00)
NOTIFCATION PLAN
SCALE 1:600

BLD D - GROUND (15.00)
NOTIFCATION PLAN
SCALE 1:600

PRELIMINARY

Revisions			
-	06.04.22	DA Submission	JC

Project	11 INGLEBURN ROAD, LEPPINGTON 11 INGLEBURN ROAD, LEPPINGTON	Drawing	NOTIFICATION PLAN	Project No.	221060	Date	06.04.22	Author	JC
Scale: @ A1	As indicated	Drawing No.	TP08.01 -						

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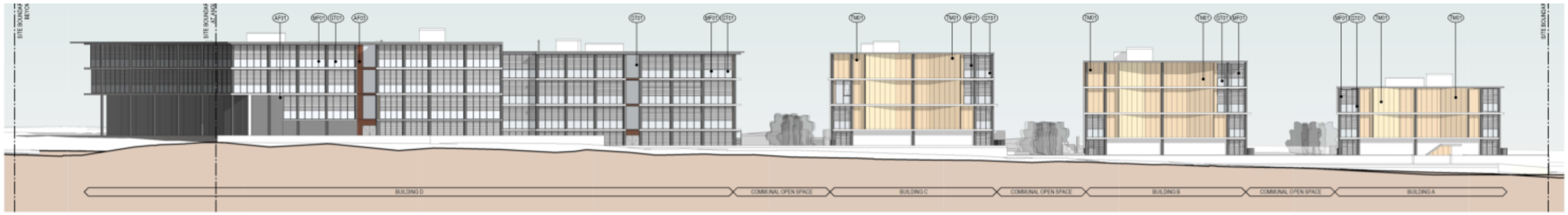
Brisbane, Melbourne, Sydn

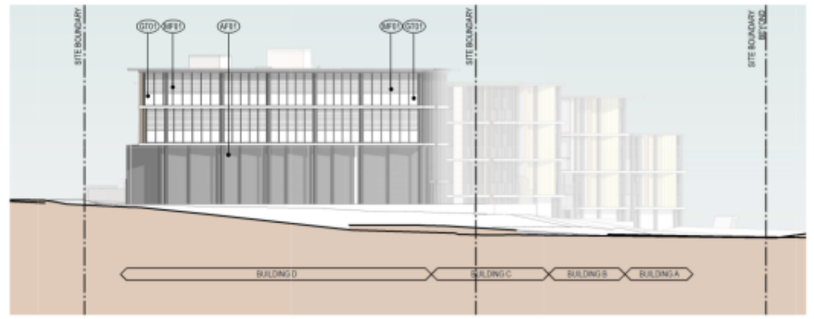


ELEVATION - INGLEBURN ROAD FRONTAGE - NOTIFICATION PLAN

SCALE 1:250

ELEVATION - BLD A - SOUTH EAST - NOTIFICATION PLAN

SCALE 1:250



ELEVATION - SOUTH EAST - NOTIFICATION PLANS

SCALE 1:250

ELEVATION - SOUTH WEST - NOTIFICATION PLAN

SCALE 1:250

PRELIMINARY

Revisions / - 06.04.22 DA Submission JC

Project / 11 INGLEBURN ROAD, LEPPINGTON
11 INGLEBURN ROAD, LEPPINGTON

Drawing / NOTIFICATION PLAN | Project No. / 221060 | Date / 06.04.22 | Author / JC | Scale: @ A1 / 1 : 250 | Drawing No. / TP08.02 -

rothelowman

Brisbane, Melbourne, Sydn

Attachment 5 **CLPP01**

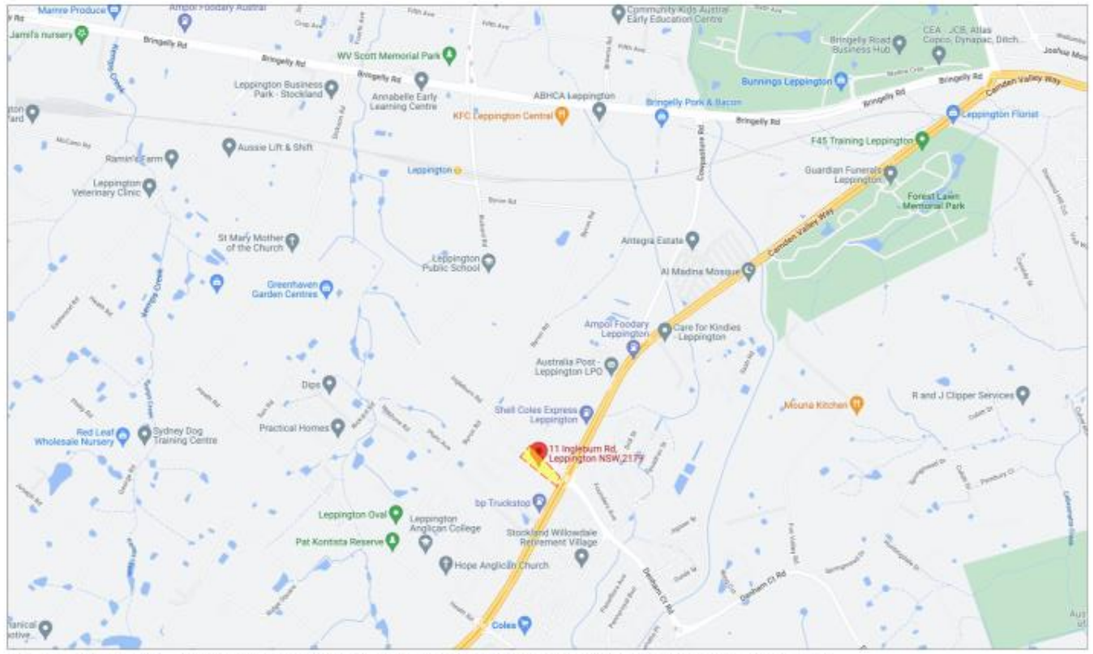
Attachment 6

FOR DEVELOPMENT APPLICATION LANDSCAPE PLANS

11 INGLEBURN ROAD, LEPPINGTON

DRAWING LIST

SHEET NO.	SHEET TITLE	REVISION	DATE
L/00	COVER SHEET	A	05.04.22
L/01	PROPOSED TREE REMOVAL PLAN	A	05.04.22
L/02	PROPOSED LANDSCAPE PLAN	A	05.04.22
L/03	PROPOSED PLANTING PLAN	A	05.04.22
L/04	PROPOSED PLANTING PALETTE	A	05.04.22
L/05	PROPOSED FEATURE PLANTING PALETTE	A	05.04.22
L/06	LANDSCAPE CONCEPT IMAGES	A	05.04.22
L/07	LANDSCAPE DETAILS	A	05.04.22
L/08	LANDSCAPE SPECIFICATION	A	05.04.22



LOCATION PLAN - 11 INGLEBURN ROAD, LEPPINGTON NSW 2179 (SOURCE: GOOGLE MAPS)

AERIAL PHOTO - 11 INGLEBURN ROAD, LEPPINGTON NSW 2179 (SOURCE: SIX MAPS)

TE:

FER ARCHITECTURAL DOCUMENTATION PREPARED BY ROTHELOWMAN
FER TO CIVIL & STORMWATER DOCUMENTATION PREPARED BY ENSPIRE
FER TO ARBORIST REPORT PREPARED BY MONACO DESIGNS

Notes:

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2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of a Total Concept Landscape Architects

Client:

The Bathla

rothelowman

Drawing: Cover Sheet

Address: 11 Ingleburn Road, Leppington

Project:

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
T: (02) 9957 5122 E: design@atotalconcept.com.au
www.atotalconcept.com.au

Status:

SCALE -

Drawing No.

Ba

Landscape Plans

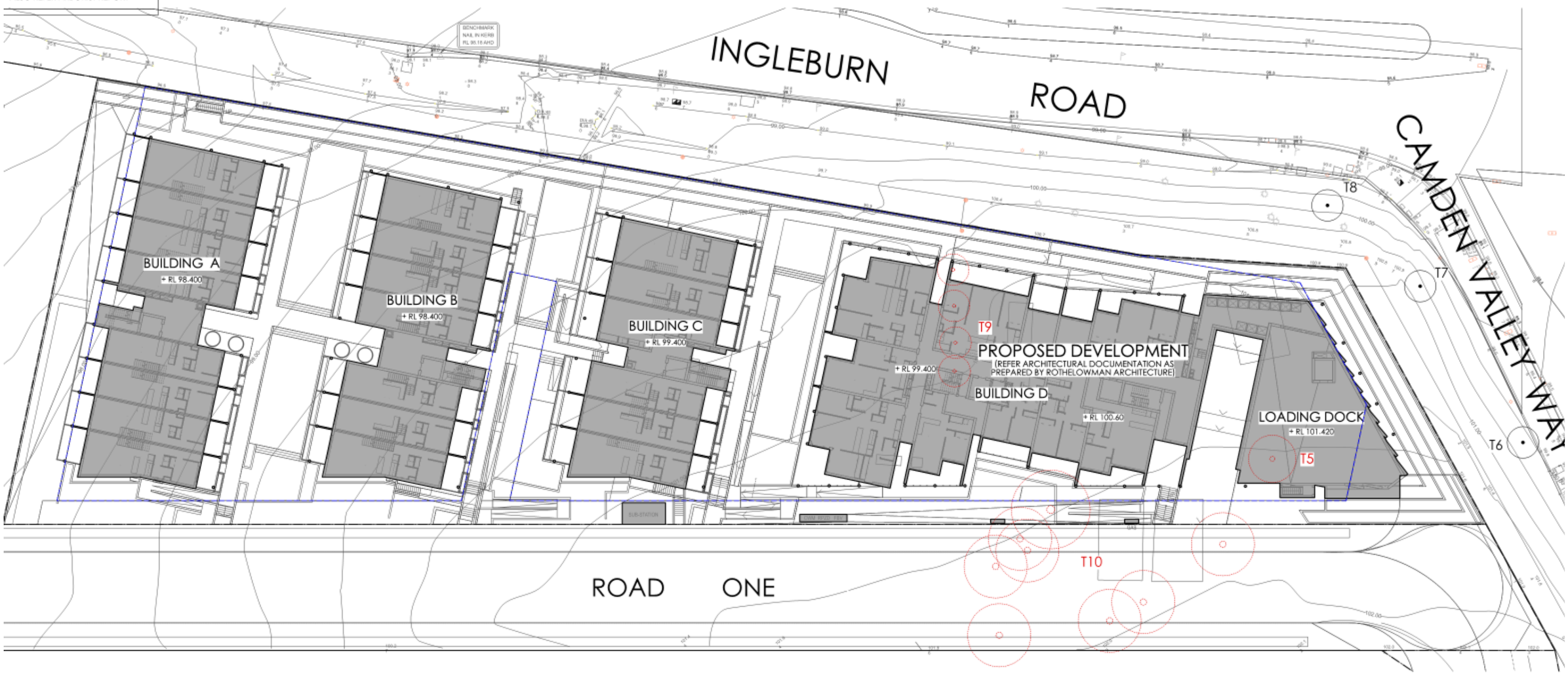
EXSITING LEVELS - SURVEY

CADASTRAL BOUNDARY

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED

NOTE:
ALSO REFER ARBORIST REPORT



DTE:

FER ARCHITECTURAL DOCUMENTATION PREPARED BY ROTHELOWMAN
FER TO CIVIL & STORMWATER DOCUMENTATION PREPARED BY ENSPIRE SOLUTIONS
FER TO ARBORIST REPORT PREPARED BY MONACO DESIGNS

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Client:

TheBathla

rothelowman

Drawing: Proposed Tree Removal Plan

Address: 11 Ingleburn Road, Leppington

Project:

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
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Status

SCALE - 1:250 @A1

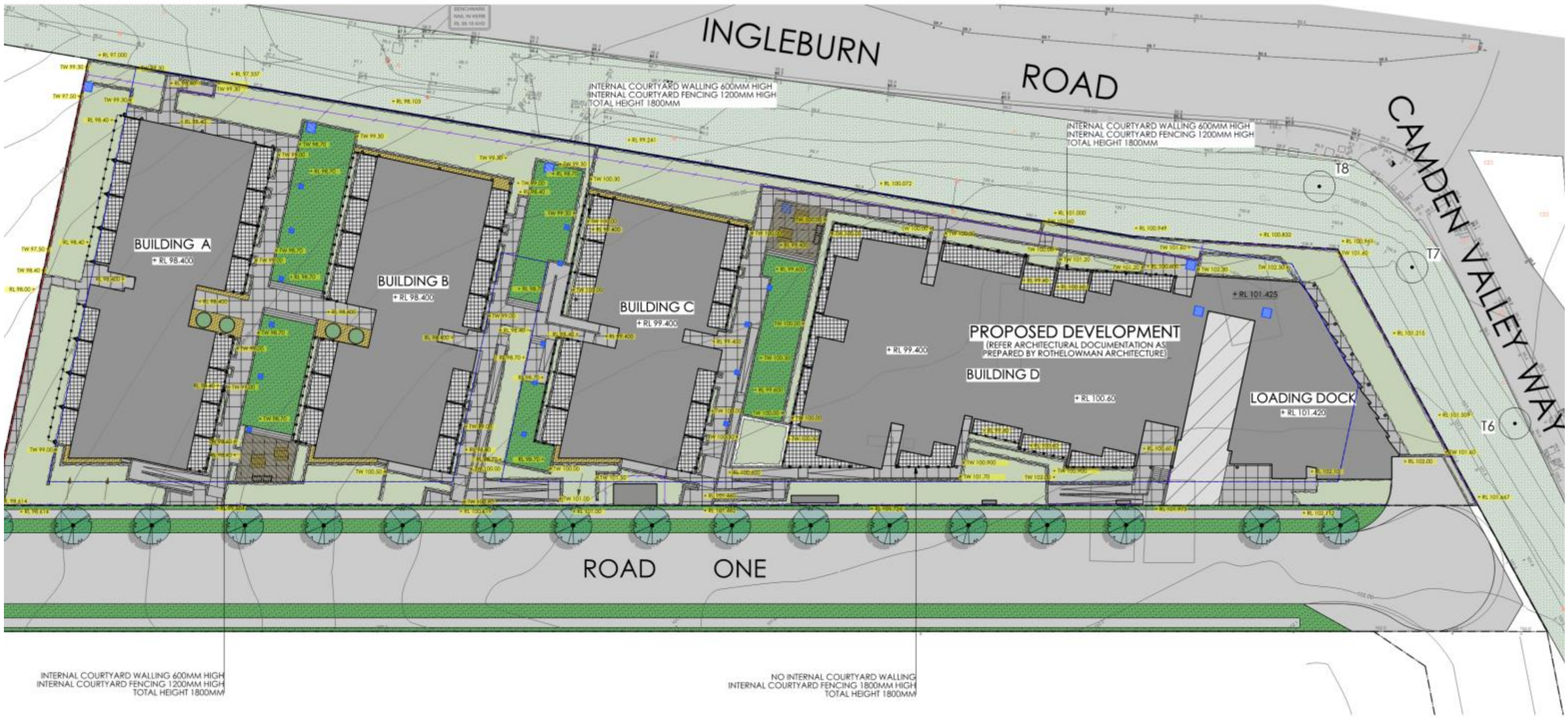
Drawing No.

Ba

PROPOSED TOP OF WALL LEVEL
EXISTING LEVELS - SURVEY
CADASTRAL BOUNDARY
PROPOSED LINE OF BASEMENT
PROPOSED MASONRY RETAINING WALL
PROPOSED COMMUNAL OPEN SPACE PAVED AREA
PROPOSED PRIVATE OPEN SPACE PAVED AREA
PROPOSED BASEMENT PARKING ACCESS DRIVEWAY TO ARCHITECTS DETAIL
PROPOSED LAWN AREA
PROPOSED PLANTING AREA
EXISTING LANDSCAPE BUFFER AREA TO BE RETAINED
PROPOSED PEBBLE MULCHED AREA

REFER TO STORMWATER PLAN BY ENSPIRE SOLUTIONS
PROPOSED BALUSTRADE AS REQUIRED
PROPOSED LAWN EDGING
PROPOSED 1800MM STAINED TIMBER BOUNDARY FENCING
PROPOSED 1200MM PALISADE STYLE BOUNDARY FENCING
PROPOSED INTERNAL COURTYARD FENCING TOTAL HEIGHT 1800MM - INCORPORATES RETAINING WALL BASE IN SOME AREAS
PROPOSED BARBECUE
PROPOSED COMMUNAL AREA SEATING
PROPOSED COMMUNAL AREA PERGOLA

PROPOSED LARGE DECORATIVE POT
EXISTING TREE TO BE RETAINED
PROPOSED STREET TREE AS SPECIFIED IN ACCORDANCE WITH COUNCIL'S SELECTED TREE SPECIES
PROPOSED RAKED GARDEN UP AT MAXIMUM 1:5 GRADE



OTE:
FER ARCHITECTURAL DOCUMENTATION PREPARED BY ROTHELOWMAN
FER TO CIVIL & STORMWATER DOCUMENTATION PREPARED BY ENSPIRE SOLUTIONS
FER TO ARBORIST REPORT PREPARED BY MONACO DESIGNS

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Client:
The Bathla
rothelowman

Drawing: Proposed Landscape Plan
Address: 11 Ingleburn Road, Leppington
Project:

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65 West Street, North Sydney NSW 2060
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Status
SCALE - 1:250 @A1

Ba
Drawing No.


INGLEBURN ROAD
CAMDEN VALLEY WAY
ROAD ONE
BUILDING A
BUILDING B
BUILDING C
PROPOSED DEVELOPMENT
BUILDING D
LOADING DOCK
T6
T7
T8

PLANTING PALETTE

SHRUBS/GROUNDCOVERS

PLANTING INDICATED IN RED ARE IDENTIFIED ON COUNCIL PRESCRIBED TREES AND PREFERRED SPECIES LIST


Grevillea 'Robyn Gordon'


Melaleuca thymifolia


Dianella caerulea


Callistemon 'Captain Cook'


Philodendron 'Xanadu'


Teucrium fruticans


Michelia figo


Themeda australis


Lomandra longifolia


Lomandra 'Tanika'


Liriope 'Evergreen Giant'


Syzygium australe 'Resilience'


Syzygium 'Cascade'


Murraya paniculata


Acmena smithii 'Cherry Surprise'


Westringia fruticosa


Viburnum odoratissimum


Photinia glabra 'Rubens'

Notes:

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Client:

The Bathla

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Drawing: Proposed Planting Palette

Address: 11 Ingleburn Road, Leppington

Project:

A Total Concept Landscape Architects & Swimming Pool Designers
63 Ward Street, North Sydney NSW 2060
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www.atotalconcept.com.au

Status:

SCALE -

Drawing No:

Ba

FEATURE PLANTING PALETTE

PLANTING INDICATED IN RED ARE IDENTIFIED ON COUNCIL'S PRESCRIBED TREES AND PREFERRED SPECIES LIST

SHRUBS/GROUNDCOVERS


Anigozanthos 'Bush Gem'


Doryanthes excelsa


Brunsfelsia latifolia dwarf

PROPOSED STREET TREES


Tristaniopsis laurina


Elaeocarpus reticulatus

FEATURE TREES


Lagerstroemia indica 'Natchez'


Backhousia myrtifolia


Fraxinus Griffithii


Melaleuca linariifolia


Pyrus Capital' (Underpruned)


Cupaniopsis anacardiodes


Brachychiton acerifolius


Angophora costata

Notes:

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Client:

The Bathla

rothelowman

Drawing: Proposed Feature Planting Palette

Address: 11 Ingleburn Road, Leppington

Project:

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
T: (02) 9957 5122 E: design@atotalconcept.com.au
www.atotalconcept.com.au

Status

SCALE -

Drawing No

PROPOSED PERGOLA OVER OUTDOOR SEATING AREA

PROPOSED 1200mm HIGH VERTICAL PALISADE BOUNDARY FENCING & BRICK BLADE WALL WITH LETTERBOXES

PROPOSED 1800mm HIGH BOUNDARY FENCING

PROPOSED VERTICAL BATTEN COURTYARD FENCING

PROPOSED BARBECUE AND OUTDOOR SEATING CONCEPT

BK01
Brick: Mid Grey
Location: Landscape Walls

MF02
Metal Finish: Dark Grey Powdercoat
Location: Window Frames, Balustrades, Fences and Gates

PROPOSED BRICK WALLING, VERTICAL PALISADE FENCING, BARBECUE STRUCTURE AND PERGOLA AND SEATING STRUCTURAL FINISHES

PROPOSED PRIVATE OPEN SPACE WALLING AND SCREENING CONCEPT

LARGE DECORATIVE FEATURE POTS

Notes:

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Client:

The Bathla

rothelowman

Drawing:
Landscape Concept Images

Address:
11 Ingleburn Road, Leppington

Project:

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65 West Street, North Sydney NSW 2060
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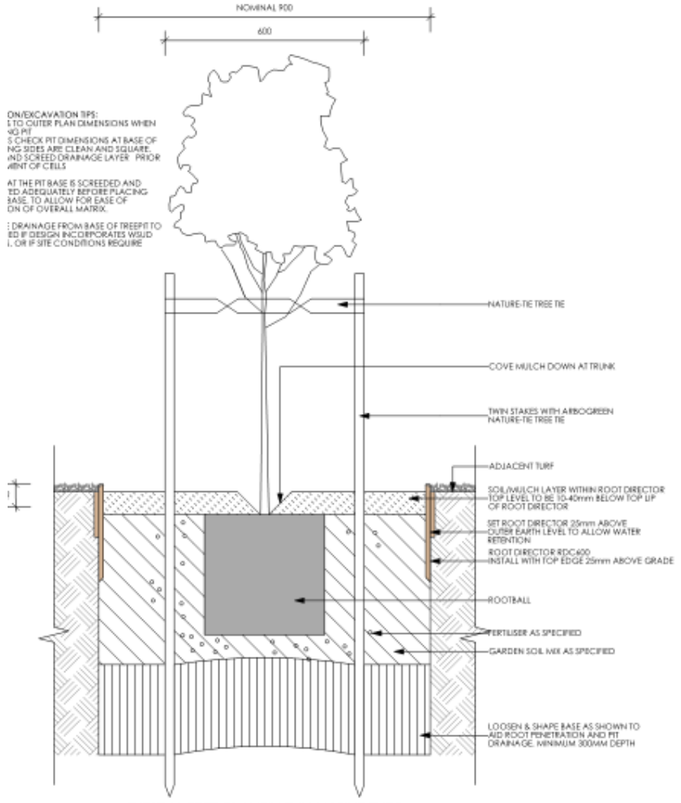
www.atotalconcept.com.au

Status

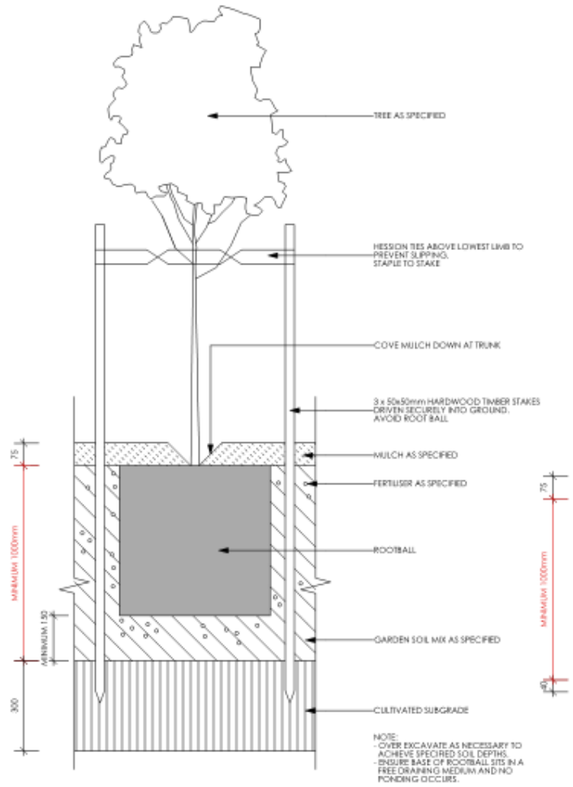
SCALE -

Ba

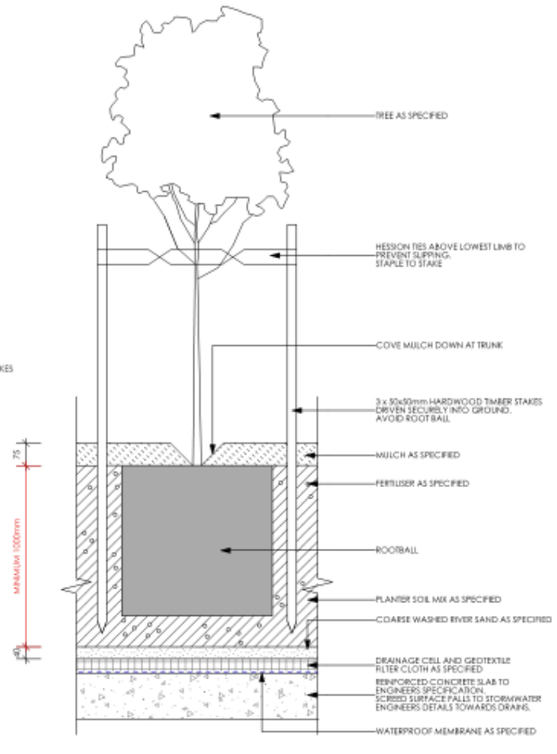
Drawing No.



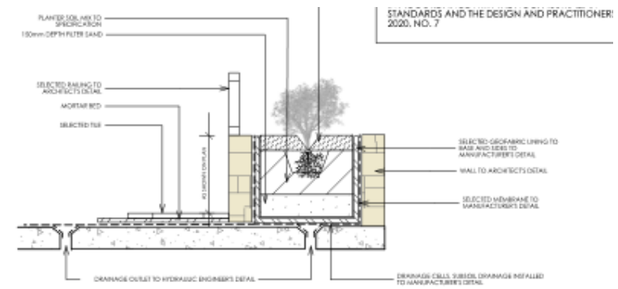
TYPICAL TREE PLANTING IN NATIVE TURF
IN UNDISTURBED GROUND DETAIL
SCALE 1:10



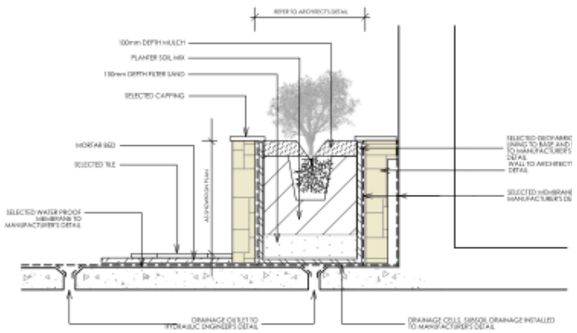
TYPICAL 25-200L TREE PLANTING ON
FILLED OR EXCAVATED GROUND DETAIL
SCALE 1:10



TYPICAL 25-200L TREE PLANTING ON SLAB DETAIL
SCALE 1:10

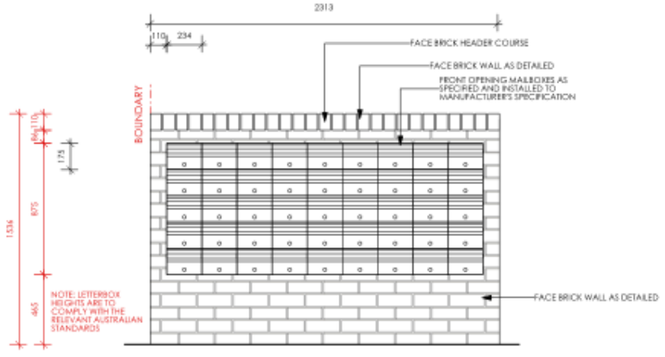


PLANTER BOX DETAIL
SCALE 1:20

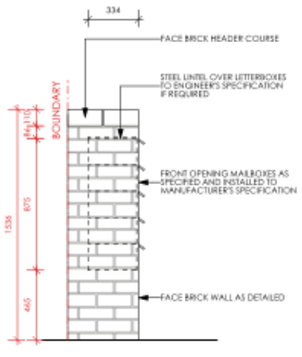


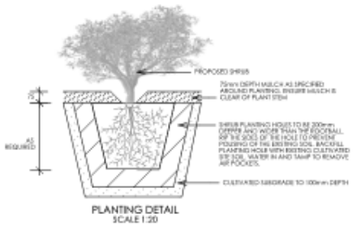
PLANTER BOX AGAINST STRUCTURE DETAIL
SCALE 1:20

ITES:
E LOCATION OF ALL SERVICES BELOW AND ABOVE GROUND HAVE BEEN PROVIDED BY OTHERS
E LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND SERVICES SHALL BE CONFIRMED ON SITE PRIOR
COMMENCEMENT OF WORKS AND PROTECTED AND LEFT UNDISTURBED DURING WORKS.
EET TREE NOTES
ROPOSED STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH STREET TREE SPECIFICATION
NAL LOCATION OF STREET TREES SHALL BE DETERMINED ON SITE. FINAL SET OUT OF STREET TREES SHALL BE IN
CCORDANCE WITH STREET TREE SPECIFICATION BY LIVERPOOL COUNCIL.
LL STREET TREES SHALL BE IN ACCORDANCE WITH AS 2303 TREE STOCK FOR LANDSCAPING

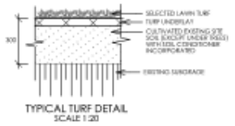


TYPICAL DETAIL - BRICK LETTER BOX ELEVATIONS
SCALE 1:20

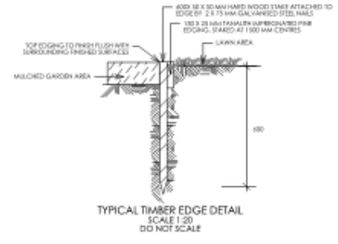




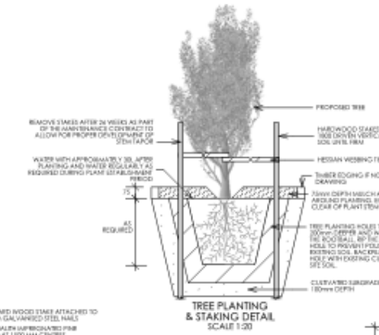
PLANTING DETAIL
SCALE 1:20



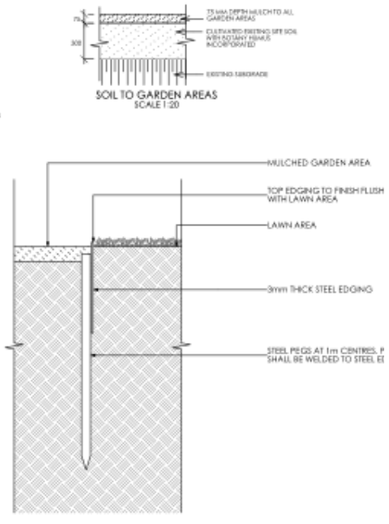
TYPICAL TURF DETAIL
SCALE 1:20



TYPICAL TIMBER EDGE DETAIL
SCALE 1:20
DO NOT SCALE



TREE PLANTING
& STAKING DETAIL
SCALE 1:20



STEEL LAWN EDGE DETAIL
SCALE 1:10

Notes:
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Client:

The Bathla

rothelowman

Drawing: Landscape Details

Address: 11 Ingleburn Road, Leppington

Project:

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
T: (02) 9957 5122 E: design@atotalconcept.com.au
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MAINTENANCE SCHEDULE

TWELVE MONTHS MAINTENANCE SCHEDULE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid suluble fertilise as required												
Cut back perenials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Turfed Area												
Fertilise												
Make good turf as required												
Winter clean up												
Remove dead foliage and pruning as required												

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.
Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor.
Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.
Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.
Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.
Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.
Timber Lawn Edging: 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.
Steel Lawn Edging: 300 x 6mm approved flat galvanised steel bar edging shall be installed, to lines as indicated on plan and staked with approved galvinised steel stakes at maximum 1500mm centres at ends and changes of direction. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.
Stepping Stones: Approved stone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved stone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.
Retaining Walls: Positions, detail and heights of retaining walls shall be by others.
Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.
Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.
Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.
Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to refrim and returf councils nature strip as required.
Native Grasses: Existing native grasses where indicated to be retained shall be progressively weeded to remove exotic species. Where necessary grasses as per Plant Schedule to be installed by Spraygrass (or approved equivalent) and final species selection by supplier to supplement existing native lawns to be retained.
Fencing: Install black chainwire fencing to heights indicated on Plan.
Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.
Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.
Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.
Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenanceys, etc., shall be removed by approved horticultural methods.
(i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year Period.
(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.
(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.
(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.
(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.
(e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.
(f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.
(g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.
(h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorwa during which landscape works are to be implemented.
(i) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

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Client: The Bathla rothelowman

Drawing: Landscape Specification
Address: 11 Ingleburn Road, Leppington
Project:

A Total Concept Landscape Architects & Swimming Pool Designers
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Status
SCALE -

Drawing No.
Ba

CLPP02

CLPP02

SUBJECT: **DA/2021/1941/1 – CONSTRUCTION OF A FOOTBALL TRAINING FACILITY - 186 CAWDOR ROAD, CAWDOR**
FROM: Manager Statutory Planning
EDMS #: 22/410401

DA Number:	2021/1941/1
Development:	Construction and use of a football training facility including site preparation works, dam dewatering, 4 x football training fields, main facility building, storage building, amenities building, associated civil infrastructure including car parking, vehicular access roads, intersection upgrades, onsite detention and water quality treatment, and perimeter and internal landscaping works including revegetation of the riparian corridor and construction of a BBQ area.
Estimated Cost of Development:	$21,149,802
Site Address(es):	186 Cawdor Road, Cawdor
Applicant:	HDC Planning
Owner(s):	Leppington Sports Pty Limited
Number of Submissions:	17 (16 objecting to the development and one raising matters for consideration)
Development Standard Contravention(s):	Nil
Classification:	Nominated integrated development
Recommendation:	Deferred commencement approval
Panel Referral Criteria:	≥10 submissions
Report Prepared By:	Jordan Soldo, Executive Planner

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel's (the Panel's) determination of a development application (DA) for a football training facility at 186 Cawdor Road, Cawdor.

The Panel is to exercise Council's consent authority functions for this DA as, pursuant to the Minister for Planning's Section 9.1 Direction, it is subject to 10 or more submissions by way of objection

SUMMARY OF RECOMMENDATION

That the Panel determine DA/2021/1941/1 for a football training facility pursuant to Section 4.16 of the *Environmental Planning and Assessment Act 1979* by granting

deferred commencement consent subject to the terms and conditions attached to this report.

EXECUTIVE SUMMARY

Council is in receipt of a DA for a football training facility at 186 Cawdor Road, Cawdor.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The DA was publicly exhibited for a period of 28 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 20 January to 16 February 2022 and 17 submissions were received (16 objecting to the development and one raising matters for consideration).

The issues raised in the submissions relate to:

- consistency with the rural character and zone objectives,
- categorisation of land use,
- amenity impacts, and
- suitability of the site.

The development has been assessed against the provisions of Camden Local Environmental Plan 2010 and is consistent with the zone objectives pursuant to clause 2.3 and the land use table. The proposal will maintain the rural landscape character of the land and is unlikely to result in any unreasonable conflict between the site and nearby land uses. The approval of the development will not significantly preclude adjoining rural zoned land from carrying out primary industry related land uses.

The reports and plans submitted with the application demonstrate that the development is properly characterised as a *'recreation facility (outdoor)'*. The components of the development within the training facility building are there to serve the dominant purpose, being the sports fields. Furthermore, the amount of land dedicated to the training facility building is minor in comparison to the amount of land dedicated to the four football training fields.

Supporting plans and reports accompanied the development application that demonstrate that the visual, acoustic and traffic impacts of the development are unlikely to have an adverse impact on the amenity of the area. Conditions are recommended to ensure the development is carried out in accordance with the recommendations of these plans and reports.

Through the assessment of the DA the applicant has provided an amended flood report and plans to remove the loss of flood storage area that the application originally proposed. The development is now consistent with Council's Flood Risk Management Policy as well as the relevant provisions of the Camden Local Environmental Plan 2010 and Camden Development Control Plan 2019.

Based on the assessment, it is recommended that the DA be approved by way of a deferred commencement consent, subject to the terms and conditions attached to this report.

AERIAL PHOTO

Figure 1: Aerial photo with the subject site outlined in red.

THE SITE

The site comprises a single property that is commonly known as 186 Cawdor Road, Cawdor and legally described as Lot 18 in DP 1104103. The site is regular in shape and has an area of approximately 17.63 hectares. The length and width of the site are approximately 565 metres and 310 metres respectively. The site has a fall of approximately 15 metres from the south-east corner to north-west corner

The site has a frontage to Cawdor Road which is an unclassified regional road. The road has one traffic flow lane in each direction and has a sign posted speed limit of 80 km/h. Further south along Cawdor Road is a signalised intersection with Burragorang Road and to the north is a roundabout before continuing into the Camden town centre.

An unnamed tributary of Matahil Creek intersects the western and northern boundaries of the site and is classified as a 4th Order steam under the Strahler stream ordering system. The tributary is also mapped as key fish habitat. The site is mapped as both bush fire and flood prone land.

Two dams of anthropogenic origin are present on the site. The site is generally clear from significant vegetation except for a mix of native and exotic trees and shrubs along the length of the watercourse.

The surrounding area is described as having a rural character. The subject site is predominantly surrounded by undulating grazing land. To the east of the site, on the opposite side of Cawdor Road, are several dwellings and businesses. To the north of

CLPP02

the site is the Camden Roman Catholic Cemetery and to the south-east, the Camden General Cemetery. Both cemeteries are listed items of environmental heritage pursuant to Schedule 5 of the Camden Local Environmental Plan 2010. To the west of the site is Fairview which is identified as a culturally significant place under Section 2.16.9 of the Camden Development Control Plan 2019.

ZONING PLAN

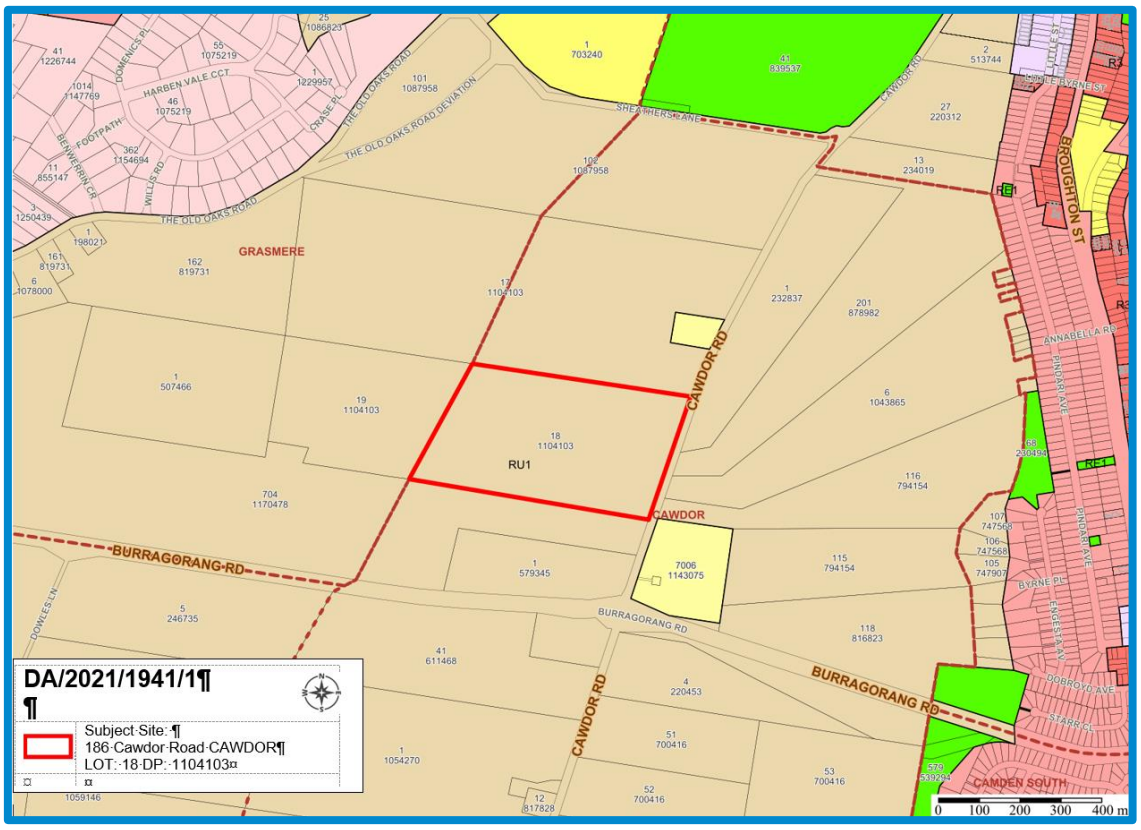

Figure 2: Extract from the Camden Local Environmental Plan 2010 Land Zoning Map with the subject site outlined in red.

HISTORY

There is no relevant development history for this site.

THE PROPOSAL

DA/2021/1941/1 seeks approval for a football training facility.

Specifically, the development involves:

- Construction and use of a football training facility.
- Site preparation works including dam dewatering.
- Construction of four football training fields, a main facility building, storage building and an amenities building.
- Associated civil infrastructure including car parking, vehicular access roads, intersection upgrades, onsite detention and water quality treatment.
- Perimeter and internal landscaping works including revegetation of the riparian corridor and construction of a BBQ area.

The estimated cost of the development is $21,149,802.

Figure 3: 3D render of the proposed training facility building looking from the north-west.

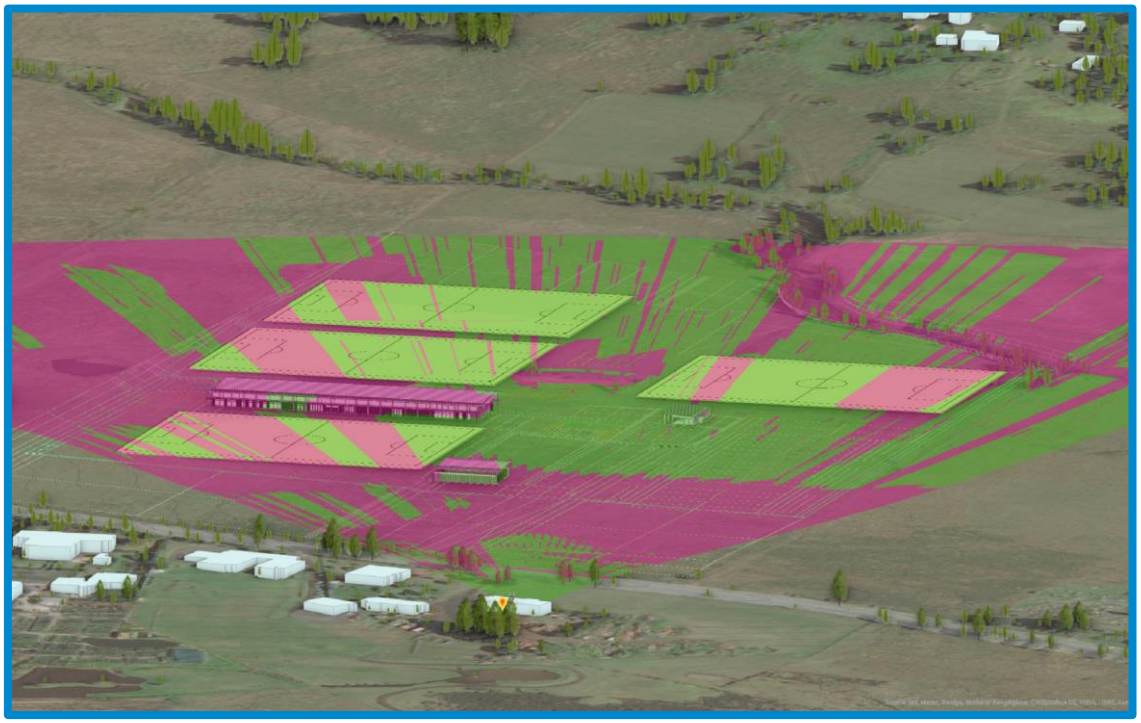

Figure 4: Extract from the visual impact assessment showing areas visible to the observer (green) and areas not visible to the observer (pink).

ASSESSMENT

Environmental Planning and Assessment Act 1979 - Section 4.15(1)

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Transport and Infrastructure) 2021.
- State Environmental Planning Policy (Resilience and Hazards) 2021.
- State Environmental Planning Policy (Industry and Employment) 2021.
- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- Camden Local Environmental Plan 2010.

State Environmental Planning Policy (Transport and Infrastructure) 2021 (Transport and Infrastructure SEPP)

The Transport and Infrastructure SEPP aims to facilitate the effective delivery of infrastructure across the State.

Transport for NSW (TfNSW)

The DA was referred to TfNSW for comment pursuant to Section 2.122 of the Transport and Infrastructure SEPP as at the time of lodgment, pursuant to Schedule 3 of the Transport and Infrastructure SEPP, the development was classified as traffic generating development.

TfNSW reviewed the application and provided several comments to assist with the determination of the application. The comments were general in nature however contained a recommendation that bicycle parking be provided to support and encourage active transport. To address TfNSW's comments, the applicant provided amended plans which also included bicycle parking.

Endeavour Energy

The application was not required to be referred to Endeavour Energy under the Transport and Infrastructure SEPP however the agency received notification of the proposal through the public exhibition process as the Cawdor Zone Substation is 600 metres south of the subject site and within the notification area. Endeavour Energy raised no objections to the development and recommended compliance with a number of technical guidelines and requirements. A condition requiring compliance with Endeavour Energy's technical guidelines and requirements is recommended.

State Environmental Planning Policy (Resilience and Hazards) 2021 (Resilience and Hazards SEPP)

The Resilience and Hazards SEPP also provides a state wide planning approach to the remediation of contaminated land.

Section 4.6 of the Resilience and Hazards SEPP requires the consent authority to consider if the site is contaminated. If the site is contaminated, the consent authority must be satisfied that it is suitable in its contaminated state for the development. If the site requires remediation, the consent authority must be satisfied that it will be remediated before the land is used for the development. Furthermore, the consent authority must consider a preliminary contamination investigation in certain circumstances.

A preliminary contamination assessment including sampling was submitted with the application. The report concludes the site is suitable for the proposed development.

State Environmental Planning Policy (Industry and Employment) 2021 (Industry and Employment SEPP)

The Industry and Employment SEPP aims to ensure that signage is compatible with the desired amenity and visual character of an area, provides effective communication in suitable locations and is of high-quality design and finish.

Section 3.6 of the Industry and Employment SEPP requires the consent authority to be satisfied that signage is consistent with the objectives of the Industry and Employment SEPP and the assessment criteria specified in Schedule 5.

Council staff are satisfied that the signage is consistent with the Industry and Employment SEPP's objectives in that it is compatible with the desired amenity and visual character of the area, will provide effective communication by displaying the development's logo and will be of a high-quality design and finish. Council staff have also considered the Industry and Employment SEPP's Schedule 5 assessment criteria. An assessment table in which the development is considered against the Industry and Employment SEPP is provided as an attachment to this report.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 (Biodiversity and Conservation SEPP)

The Biodiversity and Conservation SEPP aims to protect the environment of the Hawkesbury-Nepean River system by ensuring that the impacts of future land uses are considered in a regional context.

The development is consistent with the aim of the Biodiversity and Conservation SEPP and all of its planning controls. There will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of the development. Appropriate erosion, sediment and water pollution control measures have been proposed as part of the development.

Camden Local Environmental Plan 2010 (Camden LEP)

The Camden LEP aims to make local environmental planning provisions for land in Camden in accordance with the relevant standard environmental planning instrument under Section 3.20 of the *Environmental Planning and Assessment Act 1979*.

Site Zoning

The site is zoned RU1 Primary Production pursuant to Clause 2.2 of the Camden LEP.

Land Use/Development Definitions

The development is characterised as a *'recreation facility (outdoor)'* by the Camden LEP.

Permissibility

The development is permitted with consent in the RU1 Primary Production zone pursuant to Clause 2.6 and the land use table of the Camden LEP.

Planning Controls

An assessment table in which the development is considered against the Camden LEP's planning controls is provided as an attachment to this report.

(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation SEPP)

The development is consistent with the Draft Remediation SEPP in that it is compliant with State Environmental Planning Policy (Resilience and Hazards) 2021.

(a)(iii) the provisions of any development control plan

Camden Development Control Plan 2019 (Camden DCP)

An assessment table in which the development is considered against the Camden DCP is provided as an attachment to this report.

(a)(iiia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that are addressed in the conditions attached to this report.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

As demonstrated by the assessment, the development is unlikely to have any unreasonable adverse impacts on either the natural or built environments, or the social and economic conditions in the locality.

Acoustic Impacts

An acoustic assessment was provided in support of the application. The report identifies nearby receivers which include residential land uses, two cemeteries and a commercial premises.

The assessment concludes that noise emissions to sensitive receivers from the proposed development are in keeping with the guidance from the Noise Guide for Local Government and Environmental Noise Control Manual. It further concludes that the additional noise from traffic generated by the development is predicted to comply with the requirements of the Road Noise Policy.

Council staff have reviewed the report and accept the findings. Relevant conditions have been recommended to address the findings/conclusions of the report including a condition that places a cap on the number of people on site at any one time.

Traffic Impacts

Car Parking Spaces

The traffic and parking impact assessment submitted with the application states that strict compliance with the Camden DCP 2019 parking rates requires the provision of 250 car parking spaces. This is based on a car parking rate of 50 car parking spaces per field for local soccer, football and similar sporting fields, and 50 spaces for the 2,000m^2 of floor area for the training facility building based on office premises parking rate.

The Camden DCP 2019 also states that Council may require a Car Parking and Traffic Impact Assessment Study for recreation uses other than those listed within the table. As the development is not open to the public, the more accurate approach is to rely on the maximum car parking demand calculated in the provided traffic and parking impact assessment. The assessment states that, based on a maximum of 25 players and 27 support staff, the maximum car parking demand is 52 spaces. To allow for an overlap between the 25 players in the morning and the 25 players in the afternoon sessions, the maximum parking demand would be 77 car parking spaces.

The plans submitted with the application identify 270 proposed parking spaces. Whilst the visual impacts and the increased stormwater runoff of the additional hardstand area can be addressed, it is considered that the additional car parking provides no benefit to the development and is not supported. A deferred commencement condition is recommended to require the development to be amended by removing the 220 parking spaces to the north of the entry/exit road and increasing the car park on the southern side of the entry/exit road by 27 spaces so that a total of 77 spaces are provided for the development.

Traffic Generation

A traffic and parking impact assessment was submitted with the application. The assessment found the estimated traffic generation in both the AM and PM peak periods

is 44 trips. The impact of the traffic generation was assessed and it was found that there will be no detrimental impact to the current or future performance of the Cawdor Road / Sheathers Lane and Cawdor Road / Burragorang Road intersections.

Intersection Treatment

The application proposes the construction of an intersection where the proposed driveway intersects with Cawdor Road. Figure 2.25 of *Austroads Guide to Traffic Management (Part 6)* provides warrants for turn treatments on major roads at unsignalised intersections. The turn treatments include Channelised Right Turn (CHR) and Auxiliary Left-turn Lane (AUL) and CHR(s) and AUL(s) (with the (s) referring to a shortened deceleration lane).

Charting the turn volumes and traffic road volumes on this figure shows that the driveway warrants a CHR and AUL(s). The traffic report submits that it is not expected that the traffic generation from the development will be so concentrated within the peak hour that a CHR and AUL(s) is warranted and instead states that a CHR(s) and AUL(s) would be appropriate treatment for the driveway.

Council staff are satisfied with the finding of the report and recommend a deferred commencement condition that requires detailed plans of the intersection upgrade to be submitted to Council's satisfaction prior to the consent being made operative.

Bush Fire Impacts

The subject land is identified as bushfire prone land. As defined by Section 8.3.11 of PBP, the proposed training facility building constitutes a 'public assembly building' with a floor space area greater than 500m^2 and is therefore considered a Special Fire Protection Purpose (SFPP) development.

A bushfire assessment was provided with the application identifies a required Asset Protection Zone of 36m to the south of the training facility building. The assessment also states that the training facility building is to be designed and constructed to comply with BAL-12.5.

The application was referred to the NSW Rural Fire Service as integrated development. The NSW Rural Fire Service reviewed the application and issued General Terms of Approval (GTA) and a Bush Fire Safety Authority (containing bush fire protection related conditions) for the development. Compliance with the Bush Fire Safety Authority is a recommended condition and in doing so any potential bush fire impacts upon the development will be satisfactorily mitigated.

Flooding Impacts

The site is affected by the Nepean River 20%, 5% and 1% Annual Exceedance Probability (AEP) events and the Probable Maximum Flood (PMF).

The submitted documents and plans have demonstrated that the site is compatible with the flood function and behavior of the land. The development will not result in any loss of flood storage in all flood events and there will be no significant impact on flood velocities. No significant hydraulic impacts are expected.

In the event of a flood, an evacuation route to higher ground at the Camden Golf Club (Evacuation Centre for the Camden Sector), which is located above the PMF level, will

remain accessible in all events up to and including the 1 in 500 AEP flood. In the event of a Nepean PMF flood, adequate warning time is available to ensure evacuation can occur before the route is cut off.

Standard flood related conditions are recommended to ensure the development is carried out in accordance with Council's Flood Risk Management Policy and that a flood evacuation plan is prepared for the development.

Servicing

The application was referred to Sydney Water who did not object to the development subject to standard conditions being imposed that require a Section 73 approval prior to the issue of a construction certificate.

The site is unable to be serviced by sewer and all wastewater generated by the approved development must be connected to an on-site sewage management system approved by Council. As such, an 'Approval to Install a Sewage Management System' under Section 68 of the *Local Government Act 1993* must be obtained from Council prior to the issue of a construction certificate.

Furthermore, Endeavour Energy reviewed the proposed and raised no objections to the development and recommended compliance with a number of technical guidelines and requirements. A condition requiring compliance with Endeavour Energy's technical guidelines and requirements is recommended.

(c) the suitability of the site for the development

As demonstrated by the above assessment the site is considered to be suitable for the development.

(d) any submissions made in accordance with this Act or the regulations

The DA was publicly exhibited for a period of 28 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 20 January to 16 February 2022 and 17 submissions were received (16 objecting to the development and one raising matters for consideration).

The following discussion addresses the issues raised in the submissions.

1. *The development is not consistent with objectives of the RU1 Primary Production zone.*

Officer comment:

The development's consistency with the RU1 Primary Production zone objectives is assessed in the Camden Local Environmental Plan 2010 assessment table attached to this report. It is considered that the development is consistent with the zone objectives.

2. *The proposed land use characterisation is incorrect.*

Officer comment:

The reports and plans submitted with the application demonstrate that the development is properly characterised as a recreation facility (outdoor). The place is of a like

character to the examples given within the land use definition and is used for outdoor recreation.

The components of the development within the training facility building are there to serve the dominant purpose, being the sports fields. Furthermore, the amount of land dedicated to the training facility building is minor in comparison to the amount of land dedicated to the four football training fields.

The development is not characterised as a recreation facility (major) as it does not involve a large scale activities and will not be attended by large numbers of people. Furthermore, the development is not characterised as a recreation facility (indoor) as the place is not of a like character to the examples listed within the Camden LEP dictionary (squash court, indoor swimming pool, gymnasium, table tennis centre, health studio, bowling alley, ice rink).

3. *The type, scale and form of the development is not compatible with the rural character of the area*.

Officer comment:

The existing character is that of undulating terrain with occasional structures such as poultry sheds, farm buildings and dwellings. The type, scale and form of the development is not inconsistent with the rural character of the area.

The large setbacks from Cawdor Road combined with a ground level that falls away from Cawdor Road will work to reduce the visual impacts of the development. To ensure adequate screening of the development whilst the canopy landscaping is growing, a condition of consent is recommended that requires a screening hedge to be provided along the eastern boundary.

Furthermore, conditions have been recommended that require the removal of the excess car parking as well as an alternative surface material such as decomposed granite, crushed sandstone or similar.

The approval of the development will not significantly preclude the subject site or adjoining rural zoned land from carrying out primary industry related land uses in the future.

4. *Inconsistencies between the proposed elements of the development and the proposed use of the site and paving the way for future development of the site.*

Officer comment:

To ensure the development is carried out as described within the Statement of Environmental Effects, conditions are recommended that limit the hours of operation and maximum number of patrons.

Furthermore, a condition is recommended that requires the deletion of the car park to the north of the entry/exit road so that the amount of car parking aligns with the maximum number of persons on the site at any-one-time. A further condition of consent is recommended that requires the removal of the playground.

5. *The development is inconsistent with Council's Flood Risk Management Policy.*

Officer comment:

A merits-based assessment of the application has demonstrated that the development is consistent with the aims and objectives of Council's Flood Risk Management Policy and the relevant sections of the Camden Local Environmental Plan 2010 and Camden Development Control Plan 2019.

At the time of lodgement, the proposed development resulted in a reduction of flood storage. The proposal has since been amended and the revised documents and plans have demonstrated that the development will not result in any net loss of flood storage for all flood events. For 20% and 5% AEP events, floor storage will increase by 6.1% and 3.2% respectively. Furthermore, the application has demonstrated that no significant impact on flood levels or velocities.

In the event of a flood, an evacuation route to higher ground at the Camden Golf Club (Evacuation Centre for the Camden Sector), which is located above the PMF level, will remain accessible in all events up to and including the 1 in 500 AEP flood. In the event of a Nepean PMF flood, adequate warning time is available to ensure evacuation can occur before the route is cut off.

6. *The impacts of lighting are not in keeping with the rural character.*

Officer comment:

A condition is recommended that requires the deletion of car parking lighting as the proposal will generally operate during day light hours and the other proposed safer by design measures are adequate.

Illumination of signage is not shown on the provided plans. To ensure lighting is not provided, a condition has been recommended that prohibits illumination of signs.

The training fields are not proposed to be used at night and therefore floodlights are not required or proposed. To ensure lighting is not provided, a condition of consent is recommended that prohibits flood lights.

Finally, a condition of consent is recommended that requires the building lighting to be compliant with AS 4282 and AS 1158.

As such, it is not anticipated that lighting of the site will impact the rural character of the area.

7. *The traffic impacts are underestimated.*

Officer comment:

The traffic volumes surveyed are unlikely to have been significantly affected by the pandemic. The traffic volumes survey was carried out on 4 November 2021 and lockdown restrictions were eased in Sydney on 11 October 2021. Furthermore, the traffic consultant has access to survey data on 26 October 2017 at the intersection of Cawdor Road / Burragorang Road. The volumes gathered in 2021 are higher than the 2017 data. The survey is therefore deemed acceptable for use for modelling purposes.

Furthermore, the traffic and parking impact assessment acknowledges that the existing level of service for the Cawdor Road / Burragorang Road intersection is 'D'. The

assessment found that the intersection will retain the same overall level of service post development.

8. *Lack of detail around the proposed intersection works and whether access to nearby properties will be impacted.*

Officer comment:

It is acknowledged that the driveway servicing the dwelling at 175 Cawdor Road, Cawdor is not shown on the plans however the driveway has been considered during Council's assessment of the application.

In terms of impacts of the intersection upgrade, the plans indicate that two lots will lose right turn access into their driveways. No adverse impacts are expected for either cemetery. The plans also indicate that tree removal on the western side of Cawdor Road is required, with 12 of the 29 trees to be removed to increase the width of the pavement.

The road reserve width required for the intersection upgrades is 13 metres which the current road reserve exceeds at 20 metres. However, following the exhibition period, amended plans were provided that now show a footpath on the western side of Cawdor Road. A boundary adjustment is proposed to increase the width of the road reserve on the western side of Cawdor Road to allow for the construction of the footpath.

The plans and documents provided with the application were of a sufficient level of detail to assess the development. A deferred commencement condition is recommended that requires detailed plans of the intersection that demonstrate compliance with Council's Engineering Specification to be provided to Council's satisfaction prior to the consent being made operative.

9. *Additional landscaping for residential dwellings opposite the development.*

Officer comment:

To ensure adequate screening of the development whilst the canopy landscaping is growing, a condition of consent is recommended that requires a screening hedge to be provided along the eastern boundary.

10. *Noise impacts from PA systems and whistles*.

Officer comment:

The use of PA systems is not proposed. A condition is recommended to prohibit the use of PA systems. With regard to whistles, the acoustic report submitted with the application included an assessment of sports noise, including whistles, against an offensive noise test. The assessment found that the proposed sports noise would not be considered offensive noise.

11. *Environmental impacts from the heat island effect*.

Officer comment:

Synthetic turf is not proposed for the sporting fields. To address the visual impacts of the proposed car park, a condition has been recommended requiring the surface

material of the car park to be a lighter colour such as decomposed granite, crushed sandstone or similar. This will also work to address any potential heat island effect.

In accordance with the Camden DCP 2019, development near Camden Airport must use materials that have a low reflectivity. However, the application proposes significant canopy planting which will assist in reducing the potential heat island effect.

12. *The development will not increase tourism or enhance the visitor economy or provide any benefits to the local community*.

Officer comment:

The development is consistent with the objectives of the applicable environmental planning instruments and development control plan.

13. *The proposal is inconsistent with the vision and strategic planning articulated in Camden Local Strategic Planning Statement and the GSC Western City District Plan.*

Officer comment:

The application has been assessed in accordance with Section 4.15(1) of the Environmental Planning and Assessment Act 1979 and all relevant instruments, plans and policies. The development is consistent with the aims, objectives and controls contained within the relevant documents.

14. *Access to water and sewer.*

Officer comment:

The application was referred to Sydney Water who did not object to the development subject to standard conditions being imposed that require a Section 73 approval prior to the issue of a construction certificate.

The site is unable to be serviced by sewer and all wastewater generated by the approved development must be connected to an on-site sewage management system approved by Council. As such, an 'Approval to Install a Sewage Management System' under Section 68 of the *Local Government Act 1993* must be obtained from Council prior to the issue of a construction certificate.

15. *Impacts on heritage items.*

Officer comment:

A Statement of Heritage Impact (SHI) was submitted with the application that assess the extent to which the proposal would affect the heritage significant of the items. The SHI concluded that the development would engender neutral impact on the heritage significance of the subject site, the heritage items in the vicinity and the surrounding landscapes.

Furthermore, View 12 in the St John's Anglican Church Precinct Conservation Management Plan is defined as the *"View of tower and spire from Cawdor Cemetery (dedicated 1898) south-west of Camden"* and it is not expected that the development will impact this view.

(e) the public interest

The public interest is served through the detailed assessment of this DA under the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, environmental planning instruments, development control plans and policies. Based on the above assessment, the development is consistent with the public interest.

EXTERNAL REFERRALS

The external referrals undertaken for this DA are summarised in the following table:

External Referral	Response
Department of Planning and Environment – Water	No objections and General Terms of Approval issued.
DPI Fisheries	No objections and General Terms of Approval issued.
NSW RFS	No objections and General Terms of Approval and Bush Fire Safety Authority issued.
Transport for NSW	Comments provided which Council have considered during the assessment of the application.
Endeavour Energy	No objections and conditions recommended.
Sydney Water	No objections and conditions recommended.

Conditions that require compliance with the external referral recommendations are recommended.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. The DA is recommended for approval by way of a deferred commencement consent subject to the terms and conditions attached to this report.

RECOMMENDED

That the Panel approve DA/2021/1941/1 for a football training facility at 186 Cawdor Road, Cawdor by way of a deferred commencement consent subject to the terms and conditions attached to this report.

REASONS FOR DETERMINATION

1. The development is consistent with the objectives of the applicable environmental planning instruments, being State Environmental Planning Policy (Transport and Infrastructure) 2021; State Environmental Planning Policy (Resilience and Hazards)

2021; State Environmental Planning Policy (Industry and Employment) 2021; State Environmental Planning Policy (Biodiversity and Conservation) 2021; and Camden Local Environmental Plan 2010.

2. The development is consistent with the objectives of the Camden Development Control Plan 2019.

3. The development is considered to be of an appropriate scale and form for the site and the character of the locality.

4. The development is unlikely to have any unreasonable adverse impacts on the natural or built environment.

5. In consideration of the aforementioned reasons, the development is a suitable and planned use of the site and its approval is in the public interest.

ATTACHMENTS

1. Recommended Conditions
2. Industry and Employment SEPP Assessment Table
3. Camden LEP Assessment Table
4. Camden DCP Assessment Table
5. Combined Public Submissions - *Supporting Document*
6. Architectural Plans

CLPP02

Attachment 1

RECOMMENDED CONDITIONS

Deferred Commencement Consent

This deferred commencement consent shall not operate until the applicant satisfies Council, in accordance with the *Environmental Planning and Assessment Regulation 2021*, in relation to the matters listed in the Schedule A condition, within 2 years of the date of this determination. Upon Council being satisfied as to the matters listed in the Schedule A condition, Council will notify the applicant in writing that the consent has been made operative subject to the conditions listed in Schedule B.

Should Council not be satisfied as to the matters listed in the Schedule A condition within the specified timeframe, this deferred commencement consent will be rendered permanently inoperative.

Schedule A Condition

(1) **Deferred Commencement** - The following matters must be complied with to Council's satisfaction:

a) Civil engineering plans of the Cawdor Road intersection upgrade and shared path are to be provided that demonstrate compliance with Council's Engineering Design and Construction Specifications and demonstrate that no tree removal from the eastern side of Cawdor Road is required. The plans are to include a long-section of Cawdor Road; cross-section details of the critical chainages including drainage swales and include any required work to realign/upgrade the existing swale drains along Cawdor Road.

b) Amended architectural, engineering and landscape plans that comply with Council's Engineering Design and Construction Specifications are required that detail the following amendments:

i. The public car park on the northern side of the entry/exit road must be deleted and replaced with grass. The proposed tree plantings shown in the approved landscape plans are to be retained.

ii. The car park on the southern side of the entry/exit road must be increased in size to accommodate a total of 77 car parking spaces.

iii. The surface of the car park must be decomposed granite, crushed sandstone or a similar earthy tone material.

Schedule B Conditions

1.0 - General Conditions of Consent

The following conditions of consent are general conditions applying to the development.

(1) **General Terms of Approval/Requirements of State Authorities** - The general terms of approval/requirements from state authorities shall be complied with prior to, during, and at the completion of the development.

The general terms of approval/requirements are:

1. General Terms of Approval issued by Department of Planning and Environment – Water, dated 8 June 2022 with reference number IDAS-2022-10046,

2. General Terms of Approval issued by DPI Fisheries, dated 20 January 2022 with reference number IDA22/4,

3. General Terms of Approval issued by NSW RFS, dated 30 May 2022 with reference number DA20220113000211-Original-1, and

4. Development Application and Planning Proposal Review letter issued by Endeavour Energy, dated 10 February 2022.

(2) **Approved Plans and Documents** – The development must be carried out in accordance with the following plans and documents, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Architectural Plans – Project P5941			
A04	Overall Site Plan & Cross Section	Algorry Zappia & Associates Pty Ltd	Issue: G, Date: 08.08.2022
A05	Training Facility Building		Issue: F, Date: 08.08.2022
A05.1	Kitchen Details		Issue: B, Date: 08.08.2022
A05.2	Aquatics Room Details		Issue: A, Date: 08.04.2022
A06	Storage & Amenities Buildings		Issue: F, Date: 08.08.2022
A07	Exterior Buildings Finishes 01		Issue: E, Date: 08.04.2022
A08	Exterior Buildings Finishes 02		Issue: E, Date: 08.04.2022
A09	Exterior Buildings Finishes 03		Issue: E, Date: 08.04.2022
A10	Exterior Buildings Finishes 04		Issue: E, Date: 08.04.2022
Engineering Plans – Project 21217			
DA1101	Cover Page & Drawing Schedule	Sparks & Partners Consulting Engineers	Rev: 3, Date: 05.08.22
DA1201	Specification Sheet		Rev: 2, Date: 06.05.22
DA1401	Road Alignment Plan		Rev: 2, Date: 06.05.22
DA2101	Concept Sediment & Erosion Control Plan		Rev: 2, Date: 06.05.22
DA2701	Concept Sediment & Erosion Control Details		Rev: 2, Date: 06.05.22
DA3101	Concept Bulk Earthworks Cut To Fill Plan		Rev: 2, Date: 06.05.22
DA3201	Concept Bulk Earthworks Contour Plan		Rev: 2, Date: 06.05.22

DA3501	Concept Bulk Earthworks Sections		Rev: 2, Date: 06.05.22
DA4101	Concept Stormwater & Grading Plan Sheet 1		Rev: 5, Date: 05.08.22
DA4102	Concept Stormwater & Grading Plan Sheet 2		Rev: 5, Date: 05.08.22
DA4103	Concept Stormwater & Grading Plan Sheet 3		Rev: 5, Date: 05.08.22
DA4104	Concept Stormwater & Grading Plan Sheet 4		Rev: 5, Date: 05.08.22
DA4301	Concept Proposed Catchment Plan		Rev: 2, Date: 06.05.22
DA4302	Concept Existing Catchment Plan		Rev: 1, Date: 06.05.22
DA4305	Concept Upstream Catchment Plan		Rev: 1, Date: 06.05.22
DA4401	Concept Swale 1 Alignment & Cross Sections		Rev: 1, Date: 05.08.22
DA4601	Concept Typical Sections		Rev: 3, Date: 05.08.22
DA4701	Concept Stormwater Management Details Sheet 1		Rev: 2, Date: 06.05.22
DA4702	Concept Stormwater Management Details Sheet 2		Rev: 1, Date: 06.05.22
DA4801	Concept Longitudinal Road Sections Sheet 1		Rev: 2, Date: 06.05.22
DA4802	Concept Longitudinal Road Sections Sheet 2		Rev: 2, Date: 06.05.22
Landscape Plans – Project 0916SYD			
04	Landscape Design	McGregor Coxall	Rev: 3, Date: 17.05.22
09	Landscape Elements		
10	Material Palette		
11	Planting Palette		
12	Planting Palette		

Document Title	Prepared by	Date
Operation Waste Management Plan (Rev B)	Elephants Foot Recycling Solutions	16 June 2022
Vegetation Management Plan – Riparian Corridor: Macarthur Bulls Football Facility (Stage 1) – Cawdor Rd, Cawdor NSW	CTENVIRONMENTAL	December 2021.
Dam Dewatering Plan for Lot 18, Cawdor Road, Grasmere.	CTENVIRONMENTAL	20 December 2021

These approved plans and documents are subject to any amendments in any plans or documents accepted by Council in satisfaction of the Schedule A condition of this development consent.

(3) **Modified Documents and Plans** - The development shall be modified as follows:

a) The playground is not approved and is to be removed and replaced with grass.

b) The 'Bollard Type Lights' around car parking areas must be removed. No lighting is approved.

c) The maximum depth of water of the two ponds is to be 300mm.

Amended plans or documentation demonstrating compliance must be provided to the certifier and Council prior to the issue of a Construction Certificate.

(4) **National Construction Code – Building Code of Australia (BCA)** - All building work shall be carried out in accordance with the BCA. In this condition, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.

(5) **Shoring and Adequacy of Adjoining Property** - If the approved development involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person having the benefit of the development consent must, at the person's own expense:

a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and

b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the condition not applying.

A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.

(6) **Swimming Pools and Spas** - The swimming pool/spa shall comply with:

a) the *Swimming Pools Act 1992;*
b) the Swimming Pools Regulation 2008;
c) AS 1926.1-2012 'Swimming Pool Safety' Part 1: Safety barriers for swimming pools;
d) AS 3500.2-2003 'Plumbing and drainage – Sanitary plumbing and drainage';
e) AS1926.3 'Water recirculation systems'; and
f) the BCA.

(7) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications.

(8) **Local Traffic Committee Concurrence** - Installation of or changes to regulatory signage, line marking and devices are subject to the concurrence of Council's Local Traffic Committee on local roads, and the Roads and Maritime Services on State roads.

These concurrences (as required) must be obtained prior to the installation of or any changes to regulatory signage, line-marking and devices.

(9) **Landscaping and Embellishment Works on Future Public Land** - Prior to the transfer of land to Council's ownership, all landscaping and embellishment must be inspected and approved by Council.

(10) **Street Tree Establishment and Maintenance Period** - For a period of 12 months commencing from the installation date of the street trees and their protective guards, the applicant will be responsible for their successful establishment.

At the completion of the 12 month establishment and maintenance period all street trees plantings must have signs of healthy and vigorous growth and all protective guards must be in an undamaged, safe and functional condition.

(11) **Safer By Design** - The following safer-by-design features shall be incorporated into the approved development:

a) Store and Electrical Meter Rooms must have doors locked at all times and only accessible by authorised persons.

b) A closed circuit television system (CCTV) which complies with the Australian Standard - Closed Circuit Television System (CCIV) AS:4806:2006 must be implemented to receive, hold or process data for the identification of people involved in anti-social or criminal behaviour. This system should consist of surveillance cameras strategically located in and around the development to provide maximum surveillance coverage of the area, particularly in areas which are difficult to supervise including entry and exit points, car parking areas and stairwells.

c) Warning signs must be strategically posted around the buildings to warn intruders of what security treatments have been implemented to reduce opportunities for crime.

d) The driveway gate must be locked to prevent access outside of hours of operation.

(12) **Noxious Weeds Management** - Weed dispersion must be minimised and weed infestations must be managed during all stages of the development. Any noxious or environmentally invasive weed infestations that occur during or after works must be fully and continuously suppressed and destroyed by appropriate means. New infestations must be reported to Council.

Pursuant to the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*, the applicant must at all times ensure that any machinery, vehicles or other equipment entering or leaving the site are clean and free from any noxious weed material to prevent the spread of all weeds to or from the property.

Earth moved containing noxious weed material must be disposed of at an approved waste management facility and be transported in compliance with the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*.

(13) **Infrastructure in Road and Footpath Areas** – Infrastructure must not be removed and/or reconstructed without prior written approval from Council. Any costs incurred due to the relocation, restoration or reconstruction of pram ramps, footpath, light poles, kerb inlet pits, service provider pits, street trees or other infrastructure in the street footpath area for the proposed development shall be borne by the applicant, and not Council.

Note. The issue of this development consent does not imply concurrence or approval of any required public infrastructure work associated with the development.

(14) **Graffiti Resistant Materials and Finishes** – Graffiti resistant materials and finishes for the front gate and fence must be used where possible.

2.0 - Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

(1) **Performance Bond** - The applicant is to lodge a bond with Council to provide security for works undertaken within the existing public domain in accordance with Council's Development Infrastructure Bonds Policy.

Note. Fees are payable for the lodgement and refund of the bond.

(2) **Structural Engineer's Certificate** - A certificate must be prepared by a practising structural engineer certifying that the building design is capable of withstanding the effects of water and water pressure due to flooding. Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

(3) **Free Flow of Water** - The location and design of the proposed doors must allow free access and escape of floodwaters without causing damage to the building. Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

(4) **Water Resisting Construction** - All external and internal partitions, framework, services and flooring of the Amenities Building and Storage Building must be constructed using flood compatible material. Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

(5) **Electrical Services Pad-Mounted Substation** - In the event that a pad-mounted substation(s) is necessary to service the development, the substation(s) shall be screened with landscaping and located so that they are not visible from the road reserve. Pad-mounted substations must be located outside of flood prone land and above the probable maximum flood and flood planning levels.

(6) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the accredited certifier.

(7) **Driveway Gradients and Design** – The design of all driveways shall comply with AS 2890.1-2004 'Off street car parking' and:

a) the driveway shall comply with Council's Access Driveway Specifications; https://www.camden.nsw.gov.au/assets/pdfs/Development/Preparing-a-DA/Development-Guidelines-and-policies/Access-Driveways-Specifications-and-Drawings.pdf

b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;

c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and

d) a Driveway Crossing Approval (PRA) must be obtained prior to the issue of a Construction Certificate.

Details demonstrating compliance shall be provided to the accredited certifier prior to issue of a Construction Certificate.

(8) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of a Construction Certificate the accredited certifier must:

a) be satisfied that suitable evidence is provided to demonstrate that the products and systems proposed for use in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and

b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as proposed.

(9) **Flood Management Plan** - A flood management plan prepared by a suitably qualified engineer in accordance with Camden Council's Flood Risk Management Policy. Details demonstrating compliance shall be provided to the Council prior to issue of a Construction Certificate.

The plan is to include (but is not limited to):

- An evacuation plan based on the recommendations of the report title "*Flood Impact and Risk Assessment, prepared by Advisian Pty Ltd, dated 21st December 2021*".
- Demonstrate that there are adequate storage areas are available for hazardous materials and valuable goods and equipment at or above the FPL.
- No external storage of material below the 1% AEP flood level which may be hazardous during flood events.

(10) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

A stormwater plan is to be submitted to the certifier prior to the augmentation of the existing drainage system to accommodate drainage from the approved development and to protect other property to the satisfaction of the certifier.

Note. Under the *Roads Act 1993*, only the Roads Authority can approve commencement of works within an existing road reserve.

(11) **Stormwater Detention and Water Quality** - An on-site detention system and water quality system shall be provided for the site and designed in accordance with Council's Engineering Specifications.

A detailed on-site detention and water quality report reflecting the Construction Certificate plans shall be provided to the certifier with the Construction Certificate application.

(12) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book'). Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

(13) **Works in Road Reserves** - Where any works are proposed in a public road reservation, a Road Opening Permit shall be obtained from Council in accordance with Section 138 of the *Roads Act 1993*.

(14) **Garbage Room** - Plans showing the location and details of garbage room(s) and room(s) used for the washing and storage of garbage receptacles shall be provided to the accredited certifier for approval. Garbage room(s) are to be constructed of solid material and finished as a smooth even surface. Floors are to be impervious, coved, graded and drained to an appropriate floor waste connection. Walls are to be smooth impervious surfaces to ensure no moisture, oils or similar material can soak in. Ventilation, pest proofing and a hose tap must be provided. The garbage room shall be connected to the on-site system of sewage management.

(15) **Selection of Mechanical Plant** - An acoustic consultant must be involved in the selection and noise control of all mechanical plant required for the facility to ensure compliance with the criteria in "Table 7" in report *"DA Acoustic Assessment: Football Training Facility 186 Cawdor Road Camden, Prepared by Renzo Tonin, Ref TM221-01F02 (r2), dated 14 December 2022,"* when assessed at the nearest noise affected residence in Cawdor.

(16) **Detailed Landscape Plan** - A detailed landscape plan consistent with the approved concept landscape plan must be prepared in accordance with Appendix B of Camden Development Control Plan 2019. Details demonstrating compliance must be provided to the certifier.

The detailed landscape plan must also include:

- Full species schedule including densities and plant numbers and container size keyed to plan,
- Additional planting along the entirety of the eastern boundary to create a dense landscaped screen, and
- Street tree planting on the western side of Cawdor Road for the length of the eastern boundary of the site.

(17) **Mechanical Ventilation** - Any room or area not provided with natural ventilation in accordance with the relevant requirements of the Building Code of Australia must be provided with a system of mechanical ventilation that complies with the requirements of Australian Standard 1668, Parts 1 & 2. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

(18) **Approval to install – *Local Government Act 1993*** – All wastewater generated by the approved development must be connected to an on-site sewage management system approved by Council. An 'Approval to Install a Sewage Management System' under Section 68 of the *Local Government Act 1993* shall be obtained from Council.

An amended wastewater report is to accompany the application that demonstrates Council's Sewage Management Strategy. The report is to include wastewater generated from the kitchen and demonstrate that disposal of pool water does not impact the disposal of wastewater. The backwash and disposal of water of the proposed pool cannot be directed to the wastewater system.

(19) **Services** – Certificates and/or relevant documents shall be obtained from the following service providers and provided to the certifier:

a) Energy supplier – Evidence demonstrating that satisfactory arrangements have been made with Endeavour Energy to service the approved development.

b) Water and sewerage supplier – Evidence demonstrating that satisfactory arrangements have been made with Sydney Water to service the approved development.

(20) **Fibre-Ready Facilities/Telecommunications Infrastructure** – Documentary evidence must be provided to the certifier demonstrating that satisfactory arrangements have been made for:

a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre-ready facilities are fit for purpose; and

b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the certifier.

(21) **Damages Bond** - The applicant is to lodge a bond with Council to ensure any damage to existing public infrastructure is rectified in accordance with Council's Development Infrastructure Bonds Policy.

Note. A fee is payable for the lodgement of the bond.

(22) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any building work that cost $25,000 or more.

(23) **Food Premises** - The design, construction, fit-out, use and ongoing operation of the food premises and/or food storage area shall comply with all applicable Acts, Regulation, codes and standards including:

a) the *Food Act 2003;*
b) the Food Regulation 2015;
c) Food Standards Australia and New Zealand – Food Standards Code 2003;
d) AS 1668.1-2015 and 1668.2-2012;
e) the BCA; and
f) AS 4674-2004 Design, construction and fit-out of food premises.

Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

(24) **Amended Plans** - The internal layout of the kitchen is to be amended as follows:

a) The proposed cleaner's sink shall be relocated away from where open food is handled in accordance with Cl 4.1.8 Requirements for disposal of wastewater - AS4674-2004 Design construction and fit-out of food premises.

b) Adequate bench space shall be provided for handling of open food. The effective separation of the washing up facilities from the general food handling activities on the central bench is required so that there is no likelihood of contamination of food in accordance with Food Safety Standard 3.2.3 Cl12 (2)(a).

c) The provision of washing up facilities shall be in accordance with Table 4.1 Equipment cleaning and sanitising AS4674-2004 Design construction and fit-out of food premises.

Amended plans prepared by a suitably qualified person and demonstrating full compliance with these requirements must be provided to the accredited certifier with the Construction Certificate application.

(25) **Facilities for Storage and Handling of Dangerous Goods (Pool Chemicals/Gases)** - Facilities for the storage and handling of dangerous goods including swimming and spa pool chemicals and gases shall comply with the requirements of Work Health and Safety Act 2011, Work Health and Safety Regulation 2017 and SafeWork NSW.

Details demonstrating compliance with the requirements shall be submitted to the certifier with the Construction Certificate.

(26) **Public Swimming Pools and Spa** – The design, construction, fit-out and use of the public swimming pool(s) and ice bath(s) and associated facilities shall comply with all applicable Acts, Regulations, Codes and Standards including:

a) Public Health Act 2010,

b) Public Health Regulation 2022, and

c) Public Swimming Pool and Spa Pool Advisory Document – NSW Health 2013.

Details demonstrating compliance shall be provided to the certifier prior to the issue of any Construction Certificate.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

(1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of $20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.

(2) **Notice of Principal Certifier** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:

a) a description of the work to be carried out;

b) the address of the land on which the work is to be carried out;

c) the registered number and date of issue of the relevant development consent;

d) the name and address of the principal certifier, and of the person by whom the principal certifier was appointed;

e) the certifier's registration number, and a statement signed by the certifier consenting to being appointed as principal certifier; and

f) a telephone number on which the principal certifier may be contacted for business purposes.

(3) **Notice of Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:

a) the name and address of the person by whom the notice is being given;

b) a description of the work to be carried out;

c) the address of the land on which the work is to be carried out;

d) the registered number and date of issue of the relevant development consent and construction certificate;

e) a statement signed by or on behalf of the principal certifier (only where no principal certifier is required) to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and

f) the date on which the work is intended to commence.

(4) **Construction Certificate Required** - In accordance with the requirements of the *EP&A Act 1979,* building or subdivision works approved by this consent shall not commence until the following has been satisfied:

a) a Construction Certificate has been issued by a certifier;

b) a principal certifier has been appointed by the person having benefit of the development consent;

c) if Council is not the principal certifier, Council is notified of the appointed principal certifier at least two (2) days before building work commences;

d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and

e) the principal certifier is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.

(5) **Sign of Principal Certifier and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:

a) that unauthorised entry to the work site is prohibited,

b) the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and

c) the name, address and telephone number of the principal certifier for the work.

The sign must be maintained while the work is being carried out and removed when the work has been completed.

(6) **Site is to be Secured** - The site shall be secured and fenced.

(7) **Sydney Water Approval** – The approved construction certificate plans must also be approved by Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of the development. Go to www.sydneywater.com/tapin to apply.

A copy of the approval receipt from Sydney Water must be submitted to the principal certifier.

(8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.

(9) **Dilapidation Report – Council Property** - A dilapidation report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the site shall be prepared. The report must be submitted to the principal certifier and Council at least 2 days prior to the commencement of works.

Should any public property or the environment sustain damage during the course of and as a result of construction, or if the construction works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the

damage or remove the risk. The costs incurred will be deducted from the applicant's damages bond.

(10) **Traffic Management Plan** - A traffic management plan shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. The plan must be submitted to the principal certifier.

(11) **Construction Management Plan** - A construction management plan that includes dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the principal certifier.

(12) **Environmental Management Plan** - An environmental management plan (EMP) prepared in accordance with Council's Engineering Design Specification shall be provided to the principal certifier.

The EMP shall address the manner in which site operations are to be conducted and monitored to ensure that adjoining land uses and the natural environment are not unacceptably impacted upon by the proposal. The EMP shall include but not be necessarily limited to the following measures:

a) measures to control noise emissions from the site;

b) measures to suppress odours and dust emissions;

c) soil and sediment control measures;

d) measures to control air emissions that includes odour;

e) measures and procedures for the removal of hazardous materials that includes waste and their disposal;

f) any other recognised environmental impact;

g) work, health and safety; and

h) community consultation.

(13) **Protection of Existing Street Trees** - No existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation shall be disturbed, relocated, removed or damaged during earthworks, demolition, excavation (including any driveway installation), construction, maintenance and/or establishment works applicable to this consent, without Council agreement and/or consent.

The protection methods for existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation during all works approved by this development consent shall be installed in accordance with AS 4970-2009 Protection of Trees on Development Sites.

(14) **Protection of Trees to be Retained** - Protection of trees to be retained shall be in accordance with Council's Engineering Specifications. The area beneath the canopies of the tree(s) to be retained shall be fenced. Tree protection signage is required to be attached to each tree protection zone, and displayed in a prominent position.

(15) **Protection of Adjoining Bushland and/or Waterfront Areas** – To limit the potential for damage to the adjoining bushland areas and/or waterfront areas, the boundaries to these areas must be fenced prior to the commencement of any earthworks, demolition, excavation or construction works. As well as the fencing prior to any earthworks commencing, other protection measures must be completed in accordance with the standards as specified in AS 4970.

The fencing must be kept in place until the completion of development and maintenance works and be marked by appropriate signage notifying all site visitors that the subject trees and vegetation areas are protected. The fencing should be a minimum of a 1.8 metres high chain link or welded mesh fencing.

(16) **De-Watering Activities** – Measures must be taken consistent with *National Parks and Wildlife Act 1974* to ensure that any fauna inhabiting the water body, or surrounding vegetation, are treated humanely and relocated before development activities commence. a qualified ecologist or wildlife carer must be present throughout de-watering activities to relocate fauna or take fauna into care where appropriate (i.e. juvenile or nocturnal fauna). Nesting animals must be left in situ until young have fledged and/or left the nest.

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

(1) **Work Hours** - All work (including delivery of materials) shall be:

- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
- not carried out on Sundays or public holidays,

unless approved in writing by Council.

(2) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.

(3) **Site Management** - The following practices are to be implemented during construction:

a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;

b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;

c) waste shall not be burnt or buried on site or any other properties, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at a licenced waste disposal facility;

d) a waste storage area shall be located on the site;

e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);

f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:

i) be a standard flushing toilet connected to a public sewer; or

ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or

iii) be a temporary chemical closet approved under the *Local Government Act 1993*.

(4) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the proposed floor level of the Training Facility Building is at or above RL 71.5 metres AHD, shall be provided to the principal certifier prior to construction proceeding above that level.

(5) **Building Height** - A survey report prepared by a registered land surveyor confirming that the building height complies with the approved plans or as specified by the development consent, shall be provided to the principal certifier prior to the development proceeding beyond frame stage.

(6) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.

(7) **Traffic Management Plan Implementation** - All traffic management procedures and systems identified in the approved traffic management plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.

(8) **Site Signage** - A sign shall be erected at all entrances to the site and be maintained until the development has been completed. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:

"WARNING UP TO $8,000 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."

The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.

(9) **Vehicles Leaving the Site** - The construction supervisor must ensure that:

- all vehicles transporting material from the site cover such material so as to minimise sediment transfer;
- the wheels of vehicles leaving the site:

- do not track soil and other waste material onto any public road adjoining the site; and
- fully traverse the site's stabilised access point.

(10) **Fill Compaction** - All fill must be compacted in accordance with Camden Council's current Engineering Design Specifications.

(11) **De-Watering Plan** – The dams existing on the site are to be dewatered in accordance with the approved dewatering plan.

(12) **Vegetation Management Plan** - A monitoring report on the progress of the implementation of the vegetation management plan (VMP) shall be provided to Council upon completion of the primary planting and then at 6 monthly intervals until the end of the 2 year minimum maintenance period, or as otherwise specified in the approved VMP. A final report shall be provided to Council upon completion of the maintenance period.

(13) **Construction Waste Management Plan** - Construction waste management must be undertaken in accordance with the approved *"Construction Waste Management Plan, Leppington Sports Club Lot 18 DP 1104103 Cawdor Road Grasmere, dated 14 December 2021"* (or similar plan). The plan must be kept on site for compliance until the completion of all works.

(14) **Removal of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014 (refer to: www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm)

Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping dockets shall be retained and supplied to Council upon request.

(15) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.

(16) **Noise During Work** - Noise levels emitted during works must comply with:

(a) Construction period of 4 weeks and under:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).

(b) Construction period greater than 4 weeks and not exceeding 26 weeks:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).

(c) Construction period greater than 26 weeks:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 5 dB(A).

Alternatively, noise levels emitted during works shall be restricted to comply with the NSW Environment Protection Authority Interim Construction Noise Guidelines.

(17) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.

(18) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.

(19) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Council officers on request and be provided to the Council at the completion of the development.

(20) **Fill Material (VENM)** - Prior to the importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be provided to and approved by the principal certifier.

The validation report and associated sampling location plan must:

a) be prepared by a person with experience in the geotechnical aspects of earthworks; and

b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics; and

c) be prepared in accordance with;

Virgin Excavated Natural Material (VENM):

i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity;" and

ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW."

d) confirm that the fill material;

i) provides no unacceptable risk to human health and the environment;

ii) is free of contaminants;

iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");

iv) is suitable for its intended purpose and land use; and

v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

e) less than 6000m^3 - 3 sampling locations; and

f) greater than 6000m^3 - 3 sampling locations with 1 extra location for each additional 2000m^3 or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for contamination and salinity must be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m^3)
Virgin Excavated Natural Material	1 (see Note)	1000 or part thereof

Note – Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

(21) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.

(22) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc.) be encountered during any stage of works (including earthworks, site preparation or construction works, etc.), such works shall cease immediately until a certified contaminated land consultant has be contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

(23) **Salinity Management Plan** - All approved development that includes earthworks, imported fill, landscaping, buildings and associated infrastructure must be carried out or constructed in accordance with the management strategies as contained within the approved salinity management plan within “Section 4.6 – Salinity Management Plan” of report “Salinity Assessment and Stage 1 Environmental Investigation at 186 Cawdor Road Cawdor, prepared by Ground Technologies, dated 18 October 2021”.

(24) **Relics Discovery During Works** – If any relic surviving from the past is uncovered during the work that could have historical significance (but is not an aboriginal object):

- all work must stop immediately in that area;
- Heritage NSW must be advised of the discovery in writing in accordance with Section 146 of the *Heritage Act 1977,* and
- any requirements of Heritage NSW must be implemented.

(25) **Aboriginal Objects Discovered During Works** – If any Aboriginal object (including evidence of habitation or remains) is discovered during the work:

- all excavation or disturbance of the area must stop immediately in that area,
- Heritage NSW must be advised of the discovery in writing in accordance with Section 89A of the *National Parks and Wildlife Act 1974,* and
- any requirements of Heritage NSW must be implemented.

(26) **Wastewater from Swimming Pools and Spas** – All swimming pool wastewater shall be disposed of as follows:

Sand Filters

a) Where a Sydney Water sewer is available – wastewater shall be drained or pumped to the sewer; or

Where a Sydney Water sewer is not available (such as rural areas) – wastewater shall be disposed of as follows:

i. discharging to a rubble pit measured 600mm wide x 600mm deep x 3m long, located not less than 3m from any structure or property boundary; or

ii. discharging to a tail out drain to disperse the water over a large grassed area or paddock, provided that the land fall does not direct water to buildings on the subject or adjoining properties, or create a nuisance to an adjoining property owner, and subject to subclauses iii) and iv) below:

iii. wastewater shall not be discharged to a septic tank or an on-site sewage management installation or disposal area; and

iv. wastewater shall not be discharged into a reserve, watercourse, easement or storm-water drainage system or otherwise adversely impact upon an adjoining property.

Cartridge Filters

Cartridge filters do not need to be connected to Sydney Water sewer or in rural properties to a rubble pit or tail out drain. However, when the cartridge needs cleaning it is to be hosed out in a location that does not adversely impact upon any effluent disposal area and adjoining properties, and must not cause water to enter a waterway, the stormwater system or roadway.

5.0 - Prior to Issue of an Occupation Certificate

An Occupation Certificate shall be obtained prior to any use or occupation of the development. The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

(1) **Mechanical Exhaust System** - A Certificate of Compliance prepared by a suitably qualified engineer confirming that the mechanical exhaust systems have been designed, constructed and installed in accordance with the relevant requirements of Clause F4.12 of the BCA and AS1668 Parts 1 and 2, shall be provided to the principal certifier. Certification shall be provided that the air handling system as installed has been tested and complies with the approved plans and specifications, including ventilation requirements and fire precautions.

(2) **Fire Safety Certificates** - A Fire Safety Certificate shall be provided to the principal certifier in accordance with the requirements of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.

(3) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.

(4) **Driveway Crossing Construction** – A footpath crossing (where required) and a driveway crossing shall be constructed in accordance with this development consent and the driveway crossing approval prior to use or occupation of the development.

(5) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the principal certifier:

a) Energy supplier – A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development;

b) Water supplier – A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

The assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to Sydney Water mains. Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator (WSC). Go to www.sydneywater.com.au/section73 or phone 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

(6) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of an Occupation Certificate principal certifier must:

a) be satisfied that suitable evidence is provided to demonstrate that the products and systems used in the construction of external walls, including finishes and

claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and

b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as built.

(7) **Positive Covenant – OSD / On Site Retention / Water Quality Facility** - A positive covenant shall be created under Section 88E of the *Conveyancing Act 1919* burdening the owner(s) with a requirement to maintain the on-site detention, water quality facility and on-site retention/re-use facilities on the property, prior to the issue of an Occupation Certificate.

The terms of the Section 88E instrument with positive covenant shall include the following:

a) the Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipeline s, trench barriers and other structures;

b) the proprietor shall have the facilities inspected annually by a competent person;

c) the Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order the facilities; and

d) The registered proprietor shall indemnify the Council and any adjoining landowners against damage to their land arising from the failure of any component of the OSD and OSR, or failure to clean, maintain and repair the OSD and OSR.

The proprietor or successor shall bear all costs associated in the preparation of the subject Section 88E instrument. Proof of registration with NSW Land Registry Services shall be provided to and approved by the principal certifier prior to the issue of an Occupation Certificate.

(8) **Stormwater – Plan of Management (POM)** - The registered proprietor of the land shall prepare a Plan of Management (POM) for the on-site detention facilities. The POM shall set out all design and operational parameters for the detention facilities including design levels, hydrology and hydraulics, inspection and maintenance requirements, and time intervals for such inspection and maintenance. The POM shall be provided to the principal certifier for approval.

(9) **Flood Management Plan** - A certificate of compliance prepared by a suitably qualified engineer shall be provided to the principal certifier stating that all aspects of the flood risk management plan have been completed and/or implemented in accordance with the approved Plan.

(10) **Completion of Road Works** - All approved road, footpath and/or drainage works, including vehicle crossings, have been completed in the road reserve in accordance with the *Roads Act* Approval and plans, and any required widening of the road reserve is carried out.

(11) **Reinstate Verge** - The applicant shall construct and/or reconstruct the unpaved verge area with grass, species and installations approved by Council.

(12) **Defects and Liability Bond –** The applicant is to lodge a bond with Council to cover any defects and liabilities of any new public infrastructure in accordance with Council's Development Infrastructure Bonds Policy.

Note. Fees are payable for the lodgement and refund of the bond.

(13) **Waste Management Plan** - The principal certifier shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.

(14) **Waste Collection Contract** - The building owner shall ensure that there is a contract with a licensed contractor for the removal of all waste. A copy of the contract is to be held on the premises at all times.

(15) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plan and conditions of this development consent.

(16) **Inspection of Existing Street Trees** – All existing street trees must be inspected by Council to ensure that they are undamaged and in a healthy condition.

(17) **Operation of On-Site Sewerage Management** - An 'Approval to Operate' a Sewage Management System' under Section 68 of the *Local Government Act 1993* shall be obtained from Council.

(18) **Food Premises Notification** - Council shall be notified that the premises is being used for the preparation, manufacture or storage of food for sale, or food intended for sale. A 'Notification of Food Premises' form can be found on Council's website.

(19) **Public Swimming Pool/Spa Pool** - The occupier of the premises shall provide written Notification to Council of the Public Swimming Pool prior to commencement of operation. Council is to conduct an inspection of the completed facility prior to commencement of operation."

A "Notification of Public Swimming Pool" form can be found on Council's website.

6.0 - Ongoing Use

The following conditions of consent are operational conditions applying to the development.

(1) **Manoeuvring of Vehicles** - All vehicles shall enter and exit the site in a forward direction.

(2) **Removal of Graffiti** - The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within 48 hours of its application.

(3) **Hours of Operation** - The property is only to be open for business and used for the purpose approved within the following hours:

Day	Hours of Operation
Monday – Friday	8:30am – 5:00pm.
Saturday, Sunday and Public Holidays	Closed.

Despite the above, the facility may operate on up to six weekends a calendar year between 8:30am – 5:00pm. A register shall be kept of the weekends that the facility operates on and shall be made available to Council upon request.

(4) **Restriction of people (patrons) on-site** - The occupation and use of the facility is restricted to a maximum of 77 persons (this includes players and support staff).

(5) **Storage or Hazardous Goods** - Dangerous and hazardous goods shall be stored in accordance with NSW WorkCover Authority requirements, dependant on the quantities stored. Any flammable or combustible liquids shall be stored in accordance with AS 1940 'The Storage and Handling of Flammable and Combustible Liquids'.

Hazardous and/or industrial waste arising from the use shall be removed and/or transported in accordance with the requirements of the EPA and the NSW WorkCover Authority.

(6) **Loading to Occur on Site** - All loading and unloading operations are to be carried out wholly within the building/site. The loading dock (if provided) shall be used for loading and unloading operations in connection with the approved use.

(7) **Parking Areas to be Kept Clear** - At all times, the loading docks, car parking spaces, driveways and footpaths shall be kept clear of goods and shall not be used for storage purposes.

(8) **Approved Signage Maintenance** - The approved sign(s) shall be maintained in a presentable and satisfactory state of repair. Where illumination has been approved, the level of illumination and/or lighting intensity used to illuminate the sign/s shall comply with AS 1158 and AS 4282.

(9) **Signage** - No consent is given or implied for any form of illumination or floodlighting to any sign.

(10) **Floodlights** – No consent is given or implied for any form of flood lighting or lighting of training fields.

(11) **Driveways to be Maintained** - All access crossings and driveways shall be maintained in good order for the life of the development.

(12) **Amenity** - The approved development shall be conducted and patrons controlled at all times so that no interference occurs to the amenity of the area, the footpath, adjoining occupations or residential/business premises.

(13) **Offensive Noise and Noise Compliance** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997*. Noise must also comply with the NSW Noise Policy for Industry 2017.

(14) **No Waste to Be Stored Outside of the Site** – No waste is to be placed on any public land (eg. footpaths, roadways, plazas, reserves, etc.) or any other properties at any time.

(15) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plan.

(16) **Landscaping Maintenance Establishment Period** - Commencing from the date of practical completion, the applicant will have the responsibility to establish and maintain all hard and soft landscaping elements associated with this consent.

The 12 month maintenance and establishment period includes the applicant's responsibility for the establishment, care and repair of all landscaping elements including all street tree installations, plantings, lawn and hardscape elements including paths, walls, bins, seats, BBQs, shelters, playground equipment and soft fall treatments.

The date of practical completion is taken to mean completion of all civil works, soil preparation and treatment and initial weed control, and completion of all planting, turf installation, street tree installation and mulching.

At the completion of the 12 month landscaping maintenance and establishment period, all hard and soft landscaping elements (including any nature strip and road verge areas, street trees, street tree protective guards and bollards, etc) shall be in an undamaged, safe and functional condition and all plantings have signs of healthy and vigorous growth.

At the completion of the maintenance and establishment period, the landscaping works shall comply with the approved landscape plans and all improvements be in full working order.

(17) **Public Address Systems** - The use of a public address system on the site is not permitted.

(18) **Pollution Control** - The use and operation of the premises shall not give rise to the discharge (by air, water or land) of any pollutant which may degrade the environment or be prejudicial to its inhabitants, in accordance with the requirements of the *Protection of the Environment Operations Act 1997*.

The use shall operate in accordance with the following:

a) all pollution control devices (Including drainage systems, sumps and traps) shall be regularly maintained.

(19) **Medical Waste** - Waste disposal containers with securely fitting lids shall be kept on the property for the storage of any clinical and related waste prior to the final disposal of the material at a facility approved by the EPA. Waste disposal containers for sharps must comply with AS 3816.

(20) **Public Swimming Pool/Spa Pool** - The public swimming pool/spa pool/splash park shall be operated and maintained in accordance with the Public Health Regulation 2012 and NSW Health Guidelines.

(21) **Swimming Pool Water Health Standards** - To maintain hygienic conditions, the swimming pool/spa must be maintained in a clean and healthy condition at all times. For this purpose the following health standards must be maintained:

a) Chlorination without Cyanurate Sun Stabiliser
Free chlorine concentration must be maintained within the following range:

Outdoor swimming pools - not less than 1mg per litre;

Indoor swimming pools - water temperature 26 degrees C or below, not less than 1.5mg per litre;

water temperature above 26 degrees C not less than 2mg per litre;

Note – Cyanurate compounds must not be used in the disinfecting of indoor swimming pools and spa water.

b) Chlorination with Cyanurate (Sun Stabiliser Added)
Free residual chlorine concentration must be not less than 3mg per litre.
The Cyanurate concentration must be maintained within the range 25 to 50mg per litre;

c) pH must be maintained within the range of 7.5 and 8.1;

d) Reserve Alkalinity

Where sodium or calcium hypochloride is used, must be not less than 60mg per litre; and

e) Sodium hypochloride – liquid chlorine
Calcium hypochloride - granulated chlorine

Note – The above information is supplied by the NSW Department of Health.

(22) **Wastewater Treatment Devices** - All wastewater treatment devices (including drainage systems, sumps, traps and pumps) shall be regularly maintained in good working order to ensure that they remain effective. A maintenance schedule shall be developed and incorporated into a Plan of Management (PoM) and kept on-site at all times for staff to comply with. All liquid and solid wastes collected from the treatment device shall be disposed of in accordance with relevant environmental protection and waste control legislation.

State Environmental Planning Policy (Industry and Employment) 2021 (Industry and Employment SEPP) Assessment Table

Section	Assessment	Compliance?
Part 3.1, Aims, objectives etc A consent authority must not grant development consent to an application to display signage unless the consent authority is satisfied that the signage: • is compatible with the desired amenity and visual character of an area, and • provides effective communication in suitable locations, and • is of high quality design and finish.	Proposed signage includes four building identification signs. One sign is integrated into the entry gate which is 0.68m^2 in area and will be setback 19.5 metres from the road reserve. The other three signs are integrated into the building façade with one each on the south, north and western elevations. Each of the building façade signs are approximately 3.3m^2 in area and are setback a minimum of 220 metres from Cawdor Road. The signs will complement the development, be compatible with the desired amenity and visual character of the area and commensurate with the use of the site and the scale of the proposed buildings. The signage will provide effective communication and will be of a high-quality design and finish.	Yes.
Schedule 5 Assessment criteria - Character of the area • Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located? • Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	The sign will complement the development, be compatible with the desired amenity and visual character of the area and commensurate with the use of the site and the scale of the proposed buildings.	Yes.
Schedule 5 Assessment criteria - Special areas • Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	The proposed signage will not detract from the amenity or visual quality of nearby heritage items, residences or the broader rural landscape.	Yes.
Schedule 5 Assessment criteria - Views and vistas • Does the proposal obscure or compromise important views? • Does the proposal dominate the skyline and reduce the quality of vistas? • Does the proposal respect the viewing rights of other advertisers?	The signs are integrated into either the front fence or the building façade and will not obscure or compromise any views across the rural landscape or to/from heritage items. The sign will not be located within the visual catchment of any important views. The signs will not detract from the rights of any other advertisers.	Yes.

State Environmental Planning Policy (Industry and Employment) 2021 (Industry and Employment SEPP) Assessment Table

Section	Assessment	Compliance?
Schedule 5 Assessment criteria - Streetscape, setting or landscape • Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape? • Does the proposal contribute to the visual interest of the streetscape, setting or landscape? • Does the proposal reduce clutter by rationalising and simplifying existing advertising? • Does the proposal screen unsightliness? • Does the proposal protrude above buildings, structures or tree canopies in the area or locality? • Does the proposal require ongoing vegetation management?	The proposed signage includes four building identification signs. One sign is integrated into the entry gate which is 0.68m^2 in area and will be setback 19.5 metres from the road reserve. The other three signs are integrated into the building façade with one each on the south, north and western elevations. Each of the building façade signs are approximately 3.3m^2 in area and are setback a minimum of 220 metres from Cawdor Road. The signage will complement the development, be compatible with the desired amenity and visual character of the nearby heritage items, residences and the broader rural landscape. The signs will be commensurate with the use of the site and the scale of the proposed buildings. The sign on the entry gate will contribute some visual interest to the streetscape. The signs are integrated into the entry gate and building facade will not protrude above buildings, structures or tree canopies in the area or locality. The signs will not require ongoing vegetation management.	Yes.
Schedule 5 Assessment criteria - Site and building • Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located? • Does the proposal respect important features of the site or building, or both? • Does the proposal show innovation and imagination in its relationship to the site or building, or both?	The proposed signage includes four building identification signs. One sign is integrated into the entry gate which is 0.68m^2 in area and will be setback 19.5 metres from the road reserve. The other three signs are integrated into the building façade with one each on the south, north and western elevations. Each of the building façade signs are approximately 3.3m^2 in area and are setback a minimum of 220 metres from Cawdor Road. The signage will complement the development, be compatible with the desired amenity and visual character of the nearby heritage items, residences and the broader rural landscape. The signs will be commensurate with the use of the site and the scale of the proposed buildings.	Yes.

State Environmental Planning Policy (Industry and Employment) 2021 (Industry and Employment SEPP) Assessment Table

Section	Assessment	Compliance?
	The sign represents an adequate degree of innovation and imagination in its relationship to the site and buildings.	
Schedule 5 Assessment criteria - Associated devices and logos with advertisements and advertising structures • Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	The signs will not incorporate any safety devices, platforms, lighting devices or logos.	Not applicable.
Schedule 5 Assessment criteria - Illumination • Would illumination result in unacceptable glare? • Would illumination affect safety for pedestrians, vehicles or aircraft? • Would illumination detract from the amenity of any residence or other form of accommodation? • Can the intensity of the illumination be adjusted, if necessary? • Is the illumination subject to a curfew?	The signs will not be illuminated.	Not applicable.
Schedule 5 Assessment criteria - Safety • Would the proposal reduce the safety for any public road? • Would the proposal reduce the safety for pedestrians or bicyclists? • Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	In consideration of the location of the signs on the site, orientation, scale and lack of illumination and moving elements, it is not considered that it will reduce safety for motorists, pedestrians or bicyclists. The sign will not obscure sightlines.	Yes.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
2.3 Zone objectives and land use table The land use table for each zone sets out what development is permitted without consent, permitted with consent and prohibited. The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone. The zone objectives for this site are: • To encourage sustainable primary industry production by maintaining and enhancing the natural resource base. • To encourage diversity in primary industry enterprises and systems appropriate for the area. • To minimise the fragmentation and alienation of resource lands. • To minimise conflict between land uses within this zone and land uses within adjoining zones. • To permit non-agricultural uses (including tourism-related uses) that are compatible with the agricultural, environmental and conservation values of the land. • To maintain the rural landscape character of the land.	The proposed development is categorised as a *'recreation facility (outdoor)'* and is permitted with consent in the zone. The development is consistent with the relevant objectives of the zone as it proposes a non-agricultural use that is compatible with the agricultural, environmental and conservation values of the land. The proposal will maintain the rural landscape character of the land and is unlikely to result in any unreasonable conflict between the site and nearby land uses. The approval of the development will not significantly preclude adjoining sites from carrying out primary industry related land uses.	Yes.
4.3 Height of buildings Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map. The maximum building height for this site is 9.5m.	The maximum building height is 9.49 metres at the north-western corner of the training facility building.	Yes.
5.10 Heritage conservation The consent authority may, before granting consent to any development— (a) on land on which a heritage item is located, or (b) on land that is within a heritage conservation area, or (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed	The development is nearby two heritage items of local significance that are listed within Schedule 5 of the Camden LEP 2010. The Roman Catholic Cemetery (item number I83) is located to the north and the Camden District Cemetery (item number I84) to the south-east. A Statement of Heritage Impact (SHI) was submitted with the application that assess the extent to which the proposal would affect the heritage significant of the items.	Yes.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
development would affect the heritage significance of the heritage item or heritage conservation area concerned.	The SHI concluded that the development would engender neutral impact on the heritage significance of the subject site, the heritage items in the vicinity and the surrounding landscapes. Council officers accept this report subject to a recommended condition of consent that requires the car park surface to be decomposed granite, crushed sandstone or similar earth toned colour material.	
5.21 Flood planning Development consent must not be granted to development on land at or below the flood planning level unless the consent authority is satisfied the development: (a) is compatible with the flood function and behaviour on the land, and (b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and (c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and (d) incorporates appropriate measures to manage risk to life in the event of a flood, and (e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses. In deciding whether to grant development consent on land to which this clause applies, the consent authority must consider the following matters: (a) the impact of the development on projected changes to flood behaviour as a result of climate change, (b) the intended design and scale of buildings resulting from the development, (c) whether the development	The site is affected by the Nepean River 20%, 5% and 1% AEP events and the Probable Maximum Flood (PMF). The submitted documents and plans have demonstrated that the site is compatible with the flood function and behavior of the land. The development will not result in any loss of flood storage in all flood events and there will be no significant impact on flood velocities. No significant hydraulic impacts are expected. The development is unlikely to result in any adverse impacts on the environment. In fact, the revegetation of the riparian corridor will further strengthen the stability of the riparian corridor and will result positive environmental impacts in that regard. In the event of a flood, an evacuation route to higher ground at the Camden Golf Club (Evacuation Centre for the Camden Sector), which is located above the PMF level, will remain accessible in all events up to and including the 1 in 500 AEP flood. In the event of a Nepean PMF flood, adequate warning time is available to ensure evacuation can occur before the route is cut off. Standard flood related conditions are recommended to ensure the development is carried out in accordance with Council's Flood Risk Management Policy and that a flood evacuation plan is prepared for the development. As such, Council is satisfied the development meets the required matters of this section.	Yes.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood, (d) the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion.		
7.4 Earthworks Before granting development consent for earthworks the consent authority must consider the following matters: (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality, (b) the effect of the proposed development on the likely future use or redevelopment of the land, (c) the quality of the fill or the soil to be excavated, or both, (d) the effect of the proposed development on the existing and likely amenity of adjoining properties, (e) the source of any fill material and the destination of any excavated material, (f) the likelihood of disturbing relics, (g) the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.	The application proposes approximately 76,000m^3 of cut and 53,000m^3 of fill resulting a net cut 23,000m^3. Earthworks are required to allow the construction of level playing fields and to ensure the impact on flood behaviour is minimised. No net loss in flood storage is proposed in the Nepean 20%, 5% and 1% AEP or the Probably Maximum Flood. The proposed land forming will not have any significant impact on the aesthetic quality or amenity of the area and will not preclude redevelopment of land for other future uses. It is unlikely that any relics will be disturbed however unexpected finds conditions have been recommended to ensure work is stopped and Heritage NSW is advised should any relics be encountered. Standard conditions are recommended to ensure that appropriate erosion and sediment control measures are implemented prior to the commencement of works. The application has also demonstrated that compliant stormwater quality and quantity infrastructure will be provided for the site. Furthermore, the proposed revegetation of the riparian corridor will assist in controlling sediment and soil stability.	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
1. Introduction		
1.2 Notification and Advertising Requirements Notification and advertising requirements are now listed in Part 3.0 of the Community Participation Plan 2021 (CPP). Advertising is where Council, in addition to writing to those people required to be notified, publishes notice of the application on Council's website advising of the lodgement of a development application. Advertising is for a minimum of 14 days unless otherwise specified by legislation or Environmental Planning Instruments.	The application was publicly exhibited for a period of 28 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 20 January to 16 February 2022 and 17 submissions were received (16 objecting to the development and one raising matters for consideration). The issues raised have been considered in the main body of this report.	Yes.
2. General Land Use Controls		
2.1 Earthworks Building work should be designed to respond to the natural topography of the site wherever possible, minimising the extent of cut and fill.	Earthworks are required to allow the construction of level playing fields and to ensure the impact on flood behaviour is minimised. No net loss in flood storage is proposed in the Nepean 20%, 5% and 1% AEP or the Probably Maximum Flood. The proposed land forming will not have any significant impact on the aesthetic quality or amenity of the area.	Yes.
Building work must be designed to ensure minimal cut and fill is required for its construction phase.	The proposed earthworks will provide level building pads for the construction of the proposed buildings.	Yes.
All land forming operations should involve the use of clean fill (also known as Virgin Excavated Natural Material or 'VENM'). The VENM must also meet the same salinity characteristics of the receiving land. Council may consider alternatives to VENM on merit.	No importation of fill is proposed as the site will have a net cut of approximately 23,000m^3 of earth. However, a standard condition is recommended, requiring the use of VENM material in the event that clean fill is required to be transported to the subject site.	Yes.
2.2 Salinity Management Groundwater recharge is to be minimised.	Groundwater recharge will be minimised through the collection of runoff and redirection into bioretention facilities. Roof runoff will be directed to rainwater tanks and will be used to playing field irrigation.	Yes.
All development, where saline and sodic soils are identified, must incorporate soil conservation measures to minimise soil erosion and siltation during construction and following completion of development.	A salinity assessment was provided with the application that identified areas of moderate and severely aggressive soils. The assessment includes a salinity management plan. A condition of consent is recommended requiring compliance with the SMP during construction and following completion of the development.	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
All sediment and erosion controls are to be installed prior to the commencement of any works and maintained throughout the course of construction until disturbed areas have been revegetated/ established.	Standard conditions are recommended to ensure that appropriate erosion and sediment control measures are implemented prior to the commencement of works.	Yes.
Where salinity is identified on the site and a salinity report is prepared the report must also contain a Salinity Management Plan having regard to the following issues and construction requirements from Australian Standards contained in the Camden DCP.	A salinity assessment was provided with the application that identified areas of moderate and severely aggressive soils. The assessment includes a salinity management plan. A condition of consent has been recommended that requires compliance with the SMP during construction and following completion of the development.	Yes.
2.3 Water Management All development must demonstrate compliance with the relevant provisions of Council's Engineering Specifications including requirements for detention, drainage and water sensitive urban design.	The application has demonstrated that stormwater quality and quantity can be provided in accordance with Council's Engineering Specifications. Furthermore, a standard condition of consent is recommended requiring all works to be carried out in accordance with Council's Engineering Specifications.	Yes.
2.4 Trees and Vegetation Council must not grant approval for tree removal unless it has taken into consideration the subsections contained in this DCP.	The site is clear of any significant trees or vegetation with the exception several native and exotic trees and shrubs along the riparian corridor. No tree removal within the site is proposed. The application has identified that approximately 12 street trees on the western side of Cawdor Road will require removal to deliver the intersection upgrades. A condition is recommended to ensure adequate street tree replacement planting is provided.	Yes.
2.5 Environmentally Sensitive Land A development application lodged for land shown on the Environmentally Sensitive Land Map as being affected by any of the categories identified in the legend must be accompanied by information that adequately addresses the following matters:	The land is not affected by any categories shown on the Environmentally Sensitive Land Map.	Not applicable.
2.6 Riparian Corridors Controlled activities carried out in, on or under waterfront land are regulated by the Water Management Act 2000. The Department of Industry - Water administers the Water Management Act 2000 and is required to assess the impact of any proposed controlled activity to ensure that no more than minimal harm will be done to waterfront land as a consequence of carrying out the controlled activity.	There is an un-named tributary to Matahil Creek at the rear of the lot that intersects with the western and northern boundaries of the site. The tributary is identified as a watercourse and a portion of the proposed works are proposed on waterfront land. The application was referred to NRAR (now Department of Planning and Environment Water) as nominated integrated development. GTAs have been issued and a condition of consent has been recommended that requires compliance with the GTAs.	Yes.
2.7 Bush Fire Risk Management		

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
Development on land identified as bushfire prone on Council's Bush Fire Prone Land Map must address the bush fire protection measures in the NSW RFS publication *Planning for Bush Fire Protection (PBP).*	The subject land is identified as bushfire prone land. As defined by Section 8.3.11 of PBP, the proposed training facility building constitutes a 'public assembly building' with a floor space area greater than 500m^2 and is therefore considered a Special Fire Protection Purpose (SFPP) development. A bushfire assessment was provided with the application which identifies a required Asset Protection Zone of 36m to the south of the training facility building. The assessment also states that the training facility building is to be designed and constructed to comply with BAL-12.5. The application was referred to the NSW Rural Fire Service as integrated development. The NSW Rural Fire Service reviewed the application and issued General Terms of Approval (GTA) and a Bush Fire Safety Authority (containing bush fire protection related conditions) for the development. Compliance with the Bush Fire Safety Authority is a recommended condition and in doing so any potential bush fire impacts upon the development will be satisfactorily mitigated.	Yes.
Asset protection zones, fire trails and perimeter roads are not permitted on land that is considered or zoned environmentally sensitive.	A bushfire assessment was provided with the application which identifies a required Asset Protection Zone of 36m to the south of the training facility building. No APZs are required on environmentally sensitive land.	
2.8 Flood Hazard Management Development on flood prone land must comply with Council's Engineering Design Specifications and Flood Risk Management Policy.	The site is affected by the Nepean River 20%, 5% and 1% AEP events and the Probable Maximum Flood (PMF). The submitted documents and plans have demonstrated that the site is compatible with the flood function and behaviour of the land. The development will not result in any loss of flood storage in all flood events and there will be no significant impact on flood velocities. No significant hydraulic impacts are expected. The development is unlikely to result in any adverse impacts on the environment. In fact, the revegetation of the riparian corridor will further strengthen the stability of the riparian corridor and will result positive environmental impacts in that regard. In the event of a flood, an evacuation route to higher ground at the Camden Golf Club (Evacuation Centre for the Camden Sector), which is located above the PMF level, will remain accessible in all events up to and including the 1 in 500 AEP flood. In the event	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
	of a Nepean PMF flood, adequate warning time is available to ensure evacuation can occur before the route is cut off. Standard flood related conditions are recommended to ensure the development is carried out in accordance with Council's Flood Risk Management Policy and that a flood evacuation plan is prepared for the development.	
2.9 Contaminated and Potentially Contaminated Land Management An assessment is to be made by the applicant under SEPP No. 55 – Remediation of Land (or equivalent) as to whether the subject land is contaminated prior to the submission of a development application.	A preliminary contamination assessment including sampling was submitted with the application. The report concludes the site is suitable for the proposed development. Council officers accept the finding and a standard condition relating to unexpected finds has been recommended.	Yes.
2.10 Development near Camden Airport Buildings or structures located within the area affected by the Camden Airport OLS or PANS-OPS contained in the Camden Airport Master Plan must use materials that have low reflectivity.	The proposed building materials and colours are of low reflectivity.	Yes.
2.11 Development affected by the Western Sydney Airport The WSA must be notified of all development applications buildings, structures or activities that will penetrate the Western Sydney Airport OLS and / or PANS-OPS.	The proposed buildings are below the OLS and PANS-OPS.	Not applicable.
2.12 Acoustic Amenity Acoustic reports (where required) must be prepared by a suitably qualified consultant. As a minimum an acoustic report must: identify receivers; determine background noise levels (where required); establish noise criteria; provide predicted noise levels (including relevant assumptions); assess potential impacts; and consider reasonable and feasible mitigation measures.	An acoustic assessment was provided in support of the application. The report identifies nearby receivers which include residential land uses, two cemeteries and a commercial premises. The assessment concludes that noise emissions to sensitive receivers from the proposed development are in keeping with the guidance from the Noise Guide for Local Government and Environmental Noise Control Manual. It further concludes that the additional noise from traffic generated by the development is predicted to comply with the requirements of the Road Noise Policy. The report also includes an assessment of sports noise, including whistles, against the offensive noise test. The assessment found that the proposed sports noise would not be considered offensive noise. Council staff have reviewed the report and	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
	accept its findings. Relevant conditions have been recommended to address the findings/conclusions of the report including a condition that places a cap on the number of people on site at any one time.	
Noise attenuation measures must not adversely impact upon passive surveillance, active street frontages and energy efficiency.	No significant noise attenuation measures are required or proposed.	Yes.
2.14 Waste Management A Waste Management Plan (WMP) must be submitted for all new development, including demolitions, construction and the ongoing (or change of) use.	A construction WMP was submitted with the application that outlines how waste will be managed. An ongoing use WMP was also submitted that details the operation requirements. Waste is to be stored in the dedicated waste room and collected by a private waste contractor. Relevant conditions of consent have been recommended to ensure waste is handled in accordance with the two waste management plans.	Yes.
2.16 Environmental Heritage Development applications must identify any areas of Aboriginal heritage value that are within or adjoining the area of the proposed development, including any areas within the development site that are to be retained and protected.	An AHIMS search did not identify any areas of Aboriginal heritage values within the site or adjoining areas. A standard unexpected finds condition has been recommended to ensure work stops and Heritage NSW is notified in the event that any items are found.	Yes.
Council requires a HIS to be provided with a development application where, in the opinion of Council, the heritage significance of a heritage item or Culturally Significant Place could be affected	The development is nearby two heritage items of local significance that are listed within Schedule 5 of the Camden LEP 2010. The Roman Catholic Cemetery (item number I83) is located to the north and the Camden District Cemetery (item number I84) to the south-east. To the west of the site is Fairview which is identified as a culturally significant place under Section 2.16.9 of the Camden Development Control Plan 2019. A Statement of Heritage Impact (SHI) was submitted with the application that assesses the extent to which the proposal would affect the heritage significance of the items. The SHI concludes that the development would engender neutral impact on the heritage significance of the subject site, the heritage items in the vicinity and the surrounding landscapes. Council officers accept this report subject to a recommended condition of consent that requires the car park surface to be decomposed granite, crushed sandstone or similar earth tone colour material.	Yes.
2.17 Signage		

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
The location, quantity, type, colour, design and size of all signage must not detract from the amenity and character of the land or building to which it relates.	Proposed signage includes four building identification signs. Three are proposed on the training facility building and one is proposed on the front fence. Council staff are satisfied that the signage is consistent with the Industry and Employment SEPP's objectives in that it is compatible with the desired amenity and visual character of the area, will provide effective communication by displaying the development's name and logo and will be of a high-quality design and finish. Council staff have also considered the Industry and Employment SEPP's Schedule 5 assessment criteria and are satisfied that the signage is consistent with it.	Yes.
All signage must be consistent with the scale of the building or the property on which it is located.	The signage is minor and subdued in comparison to the scale of the proposal and does not detract from the amenity or character of the land.	Yes.
All signage must remain within the property boundary except in the case of a sign attached to an awning over the footpath.	All signage is proposed within the property boundary.	Yes.
2.17.5 Residential, Rural and Environmental Zones		
Only one business identification sign with a maximum area of 0.7m^2 must be permitted for an approved or exempt land use.	The application proposes four business identification signs. One sign is integrated into the entry gate which is 0.68m^2 in area and will be setback 19.5 metres from the road reserve. The other three signs are integrated into the building façade with one each on the south, north and western elevations. No signage is proposed on the eastern elevation which addresses Cawdor Road. Each sign is approximately 3.3m^2 in area and is setback a minimum of 220 metres from Cawdor Road. As such, the proposal does not comply with the numerical requirements of this control. However, Council staff consider the variation to the supportable for the following reasons: • The signage complies with the underlying objectives of the control in that the signage is unlikely to detract from the visual and physical amenity of the rural character of the area and unlikely to result in any adverse impacts on adjoining residences. • Whilst there are four signs proposed, only one sign is proposed on each of the elevations of the development (one on the front fence, one of each side of the	No, variation supported.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
	building and one on the rear of the building). This will reduce the opportunity to see more than one sign at any one time. • The setbacks of the building from each boundary are such that the size of the signage on the building is unlikely to result in any adverse impacts on the amenity or character of the area.	
Illuminated signs are not permitted.	Illumination of signage is not shown on the provided plans. A condition has been recommended that prohibits illumination of signs.	Yes.
2.18 Traffic Management and Off-Street Parking Local Soccer, Football and Similar Sporting Fields: 50 car parking spaces per field. Other Recreation Uses Council may require a Car Parking and Traffic Impact Assessment Study for recreation uses other than those listed above. Office Premises and Business Premises 1 car parking space per 40m² of GFA. Developments must also accommodate: • 1 bicycle space per 25 car parking spaces in excess of the first 25 car parking spaces; and • 1 motorcycle space per 50 car parking spaces in excess of the first 50 car parking spaces.	The traffic and parking impact assessment submitted with the application states that strict compliance with the Camden DCP 2019 parking rates requires the provision of 250 car parking spaces. This is based on a car parking rate of 50 car parking spaces per field for local soccer, football, and similar sporting fields, and 50 spaces for the 2,000m² of floor area for the training facility building based on office premises parking rate. The Camden DCP 2019 also states that Council may require a Car Parking and Traffic Impact Assessment Study for recreation uses other than those listed within the table. As the development is not open to the public the more accurate approach is to rely on the maximum car parking demand calculated in the provided traffic and parking impact assessment. The assessment states that, based on a maximum of 25 players and 27 support staff, the maximum car parking demand is 52 spaces. To allow for an overlap between the 25 players in the morning and the 25 players in the afternoon, the maximum parking demand would be 77 car parking spaces. The plans submitted with the application identify 270 proposed parking spaces. Whilst the visual impacts and the increased stormwater runoff of additional hardstand area can be addressed, the additional car parking provides no benefit to the development and is not supported. A condition is recommended to require the development to be amended by removing the 220 parking spaces to the north of the entry/exit road and increasing the car park on the southern side of the entry/exit road by 27 spaces so that a total of 77 spaces are provided for the development. In relation to bicycle and motorcycle parking, adequate spaces have been provided.	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
	As such, the development complies with this control as the minimum number of car parking spaces are provided in accordance with the parking assessment and the minimum number of bicycle and motorcycle spaces have been provided.	
Taxi, private vehicle and coach drop-off/set-down areas should be provided for larger developments in a convenient off-street location close to pedestrian entrances, with consideration given to the design of the front of the building, safely and interruption to traffic.	A coach set down area has been provided within the site.	Yes.
Garbage storage and collection areas should be conveniently located and designed so as not to cause unacceptable on-street conflicts.	A bin storage and collection location has been located in close proximity to the entry/exit driveway.	Yes.
The design of parking areas should take into account the likely visual impact of these areas in the context of the surrounding development and streetscape.	Given the proximity to the two nearby heritage items and culturally significant place, a condition of consent has been recommended that requires the car park surface to be decomposed granite, crushed sandstone or similar earth tone coloured material.	Yes.
The planting of trees and shrubs can improve the appearance of car parks considerably and enhance user amenity through sun control.	Trees have been provided throughout the site including dense parking around the car park. The trees will both improve the appearance of the car park and enhance user amenity by providing shade.	Yes.
2.19 Landscape Design A landscape plan is to be submitted for all development that, in Council's opinion, will significantly alter the existing and intended landscape character of the land.	A satisfactory concept landscape plan has been provided with the development application. Council staff have reviewed the landscape plan and are satisfied with the proposed landscaping including species selection. A standard condition is recommended to ensure a detailed landscape plan is prepared prior to the issue of a construction certificate.	Yes.
6. Specific Land Use		
6.2.1 Landscape Setting and Land Use Conflict Natural features of the site, such as trees and other vegetation, rock outcrops, cliffs, ledges, Indigenous species and vegetation communities should be retained where appropriate; and must be enhanced with a revegetation strategy for the site.	There is an un-named tributary to Matahil Creek at the rear of the lot that intersects with the western and northern boundaries of the site. The application proposes to revegetate the riparian corridor with appropriate native species which will result in a positive outcome for the stream as well as the broader area. .	Yes.
Landscaping is to enhance the visual setting and accentuate the design qualities of the built form. Landscaping	The design incorporates a range of landscaping elements including linear gardens, ponds, riparian planting, screen planting and	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
solutions are to be used to create a screening effect for visually obtrusive land uses or building elements.	canopy planting to enhance the visual setting of the proposal and respond to the proposed building form.	
Landscaping should encourage the development of a tree canopy to soften the built environment and to encourage the continuity of the landscape pattern.	The application proposes canopy planting throughout the site which will soften the built form.	Yes.
Proposed development must demonstrate consideration of existing rural operations and surrounding land uses and impacts on the proposed development.	The application has considered the surrounding rural and residential land uses and is unlikely to result in land use conflict.	Yes.
Buffers or other measures must be implemented to ensure that residences or other sensitive receiving environments are not adversely affected by noise, odour, chemicals, or the like.	The assessment concludes that noise emissions to sensitive receivers from the proposed development are in keeping with the guidance from the Noise Guide for Local Government and Environmental Noise Control Manual. It further concludes that the additional noise from traffic generated by the development is predicted to comply with the requirements of the Road Noise Policy.	Yes.
Where there is potential for the proposed rural industry / agricultural use to generate noise and/or odour impacts, a noise and/or odour impact assessment must be carried out by a suitably experienced and qualified person(s) and provided with the development application.	The assessment concludes that noise emissions to sensitive receivers from the proposed development are in keeping with the guidance from the Noise Guide for Local Government and Environmental Noise Control Manual. It further concludes that the additional noise from traffic generated by the development is predicted to comply with the requirements of the Road Noise Policy. The development is not expected to result in any odour impacts.	Yes.
6.2.8 Support Infrastructure A dam fill plan must be prepared by a suitably qualified person and should indicate the extent of filling, original and final contours, and depth of filling in maximum 0.5m increments. The dam fill plan must accompany a report prepared by a suitably qualified engineer, detailing the type of fill material used, the compaction levels achieved, and classification in accordance with the provisions of AS 1289, Methods of testing soils for engineering purposes Soil strength and consolidation tests.	A dam dewatering plan was provided with the application. Furthermore, conditions of consent are recommended to ensure any filling is compacted in accordance with Council's Engineering Design Specifications.	Yes.

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.

Building Designers & Structural Engineers

PROPOSED CENTRE OF EXCELLENCE FACILITY

Lot 18, DP1104103
Cawdor Road, CAMDEN

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ABN 43 064 952 692

DRAWING SCHEDULE

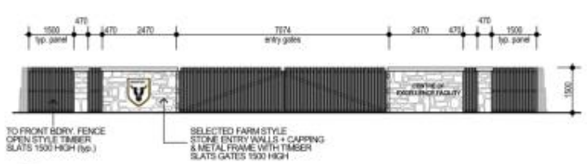
SHEET No.	SHEET NAME
A01	SITE LOCATION MAP
A02	SITE ANALYSIS
A03	SITE SURVEY PLAN
A04	OVERALL SITE PLAN & CROSS SECTION
A05	TRAINING FACILITY BUILDING
A05.1	KITCHEN DETAILS
A05.2	AQUATICS ROOM DETAILS
A06	STORAGE & AMENITIES BUILDINGS
A07	EXTERIOR BUILDINGS FINISHES 01
A08	EXTERIOR BUILDINGS FINISHES 02
A09	EXTERIOR BUILDINGS FINISHES 03
A10	EXTERIOR BUILDINGS FINISHES 04
A11	EXTERIOR BUILDINGS FINISHES 05

E ISSUED FOR DA		08.04.2022
Drawn: NZ/JLM	Checked: CZ	Date: MAR. 202
Activity Type: DA	Job #: 1228-21	Project #: P5941

LOOKING TO THE NORTH
SITE CROSS SECTION
Scale 1:500

DESIGN DATA TABLE

SITE AREA		17.63 Ha.
BUILDINGS ONSITE		FOOTPRINT AREAS
- PLAYER TRAINING FACILITY		2,000m²
- STORAGE BUILDING		389.76m²
- PUBLIC AMENITIES		170.00m²
TOTAL AREAS		**2,559.76m²**
PARKING DATA		No. OF CAR SPACES
- PLAYER TRAINING FACILITY	1 per 40m²	50
- TRAINING & PLAYING FIELDS (4)	50 per field	200
ONSITE PARKING SPACES REQ'D.		250
ONSITE PARKING SPACES PROV.		**270**



ENTRY GATES & WALLS
Scale 1:100

OVERALL SITE PLAN
Scale 1:1000

NOTE:
FOR ALL HYDRAULIC INFORMATION, DESIGN SURFACE LEVELS, PITS & CIVIL REFER TO DRAWINGS BY: **SPARKS + PARTNERS** CONSULTING ENGINEERS - PROJECT No.21217.

NOTE:
FOR ALL LANDSCAPE DESIGN & PLANTING INFORMATION, REFER TO DOCUMENTATION BY: **McGREGOR COXALL**

NOTE:
FOR ALL TRAFFIC & CARPARKING AS PER TRAFFIC REPORT PROVIDED BY: **McLAREN TRAFFIC ENGINEERING & ROAD SAFETY CONSULTANTS** REF. 210627.01DB-19

Description	Date	Drawn	Issued
ISSUED FOR CONSULTANTS	01.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	13.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	14.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	21.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	08.04.2022	NZ/JLM	NZ
ISSUED FOR DA.	06.05.2022	NZ/JLM	NZ
ISSUED FOR DA.	08.08.2022	NZ/JLM	NZ

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6) Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

North Point

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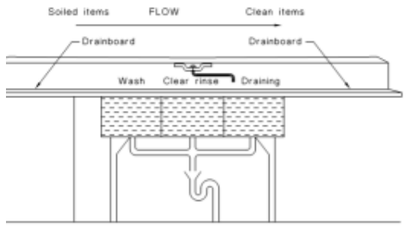
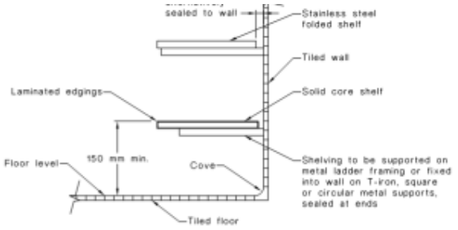
DA	1228-21	AS SHOW

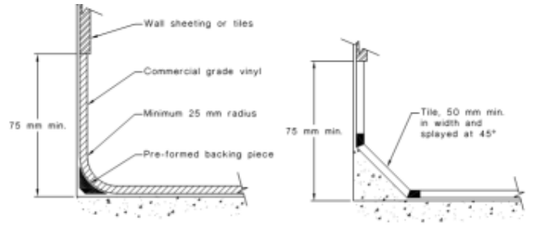


TYPICAL SINK DETAIL

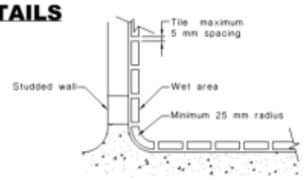
NOTE ALL FITTINGS & FIXTURES TO BE IN ACCORDANCE WITH A.S. 4674-2004

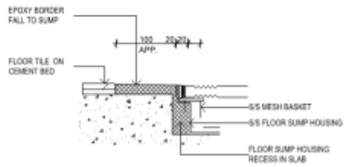


TYPICAL SHELVING



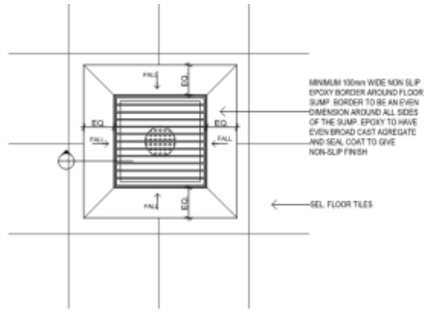
TYPICAL COVING DETAILS





FLOOR WASTE DETAIL

Scale 1:5



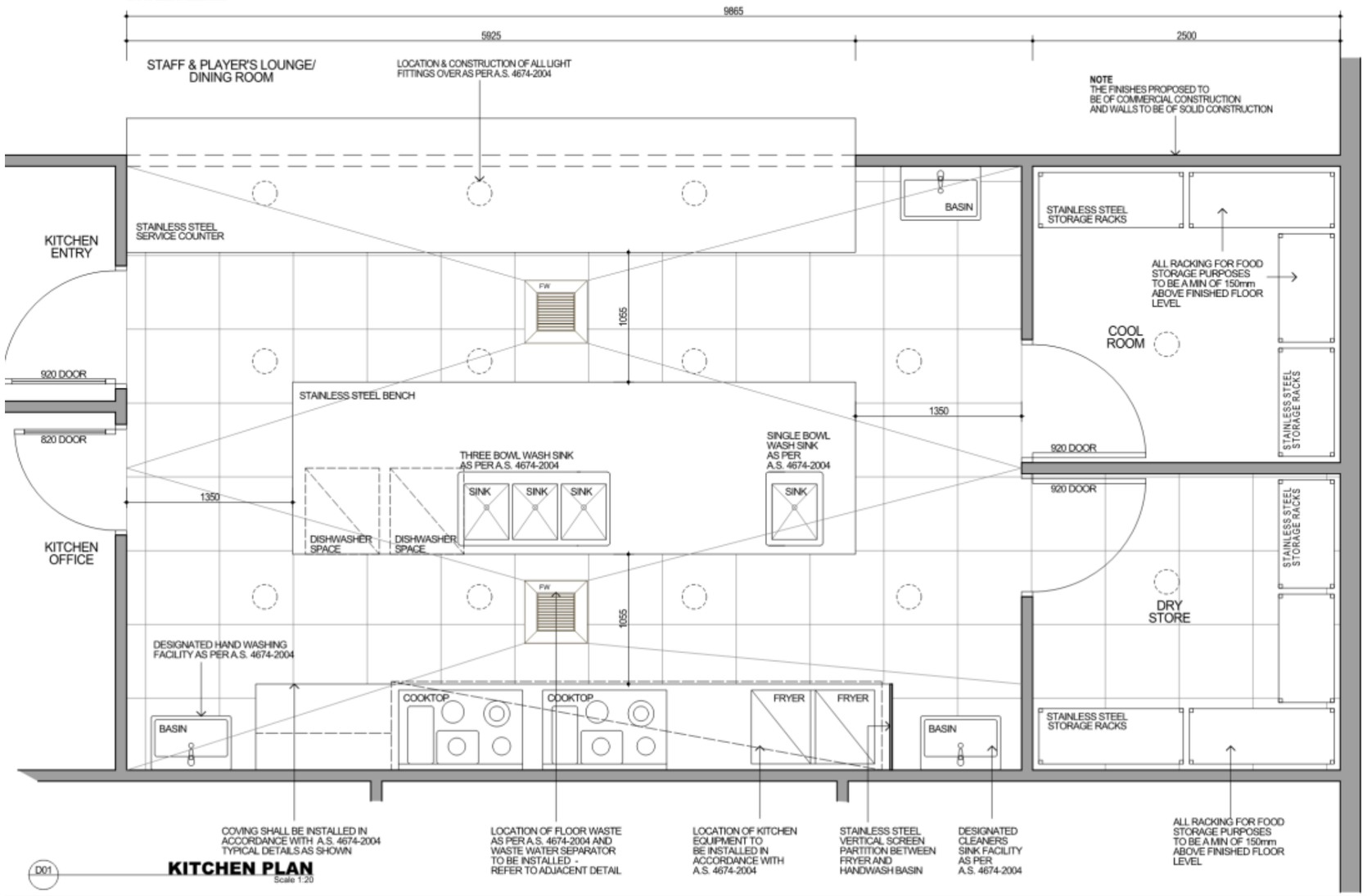
FLOOR WASTE PLAN

Scale 1:10

NOTE
AN EXTRACTION SYSTEM SHALL BE PROVIDED WHERE THERE IS ANY DISHWASHER OR OTHER WASHING AND SANITISING EQUIPMENT THAT VENTS STEAM INTO THE AREA TO THE EXTENT THAT THERE IS, OR IS LIKELY TO BE, CONDENSATION COLLECTING ON WALLS & CEILINGS

NOTE
ARTIFICIAL LIGHTING SHALL COMPLY WITH A.S. 1680.1 & A.S./N.Z.S. 1680.2.4

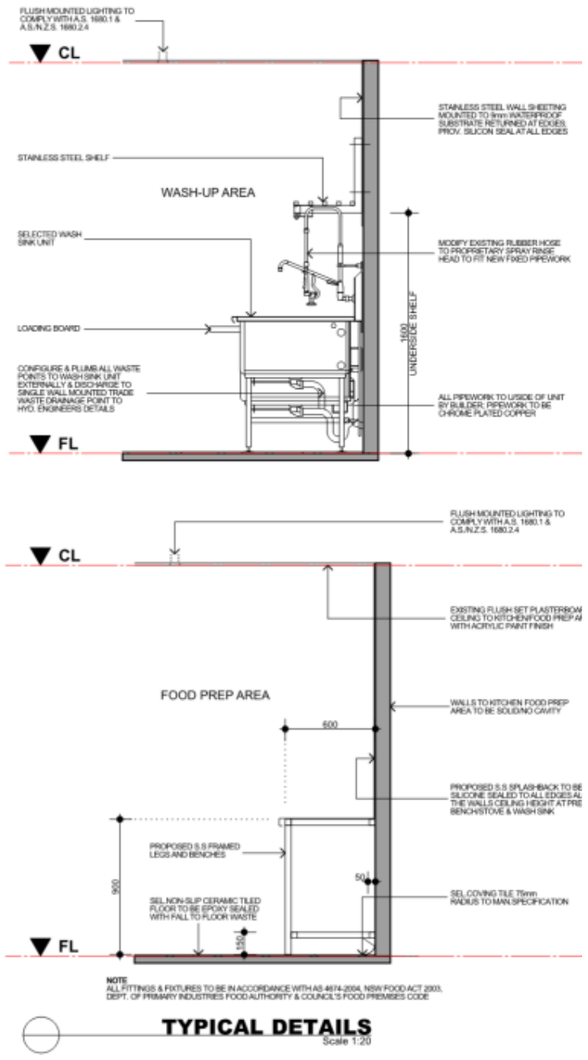
NOTE
INSTALLATION AND LOCATION OF MECHANICAL VENTILATION & FILTRATION SYSTEMS SHALL COMPLY WITH BCA & A.S. 1668.2 & A.S./N.Z.S. 1668.1



D01

KITCHEN PLAN

Scale 1:20



NOTE
ALL FITTINGS & FIXTURES TO BE IN ACCOREDANCE WITH AS.4674-2004, NSW FOOD ACT 2003, DEPT. OF PRIMARY INDUSTRIES FOOD AUTHORITY & COUNCIL'S FOOD PREMISES CODE

TYPICAL DETAILS

Scale 1:20

Description	Date	Drawn	Issued
ISSUED FOR DA.	08.04.2022	NZ/JLM	NZ
ISSUED FOR DA.	08.08.2022	NZ/JLM	NZ

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7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

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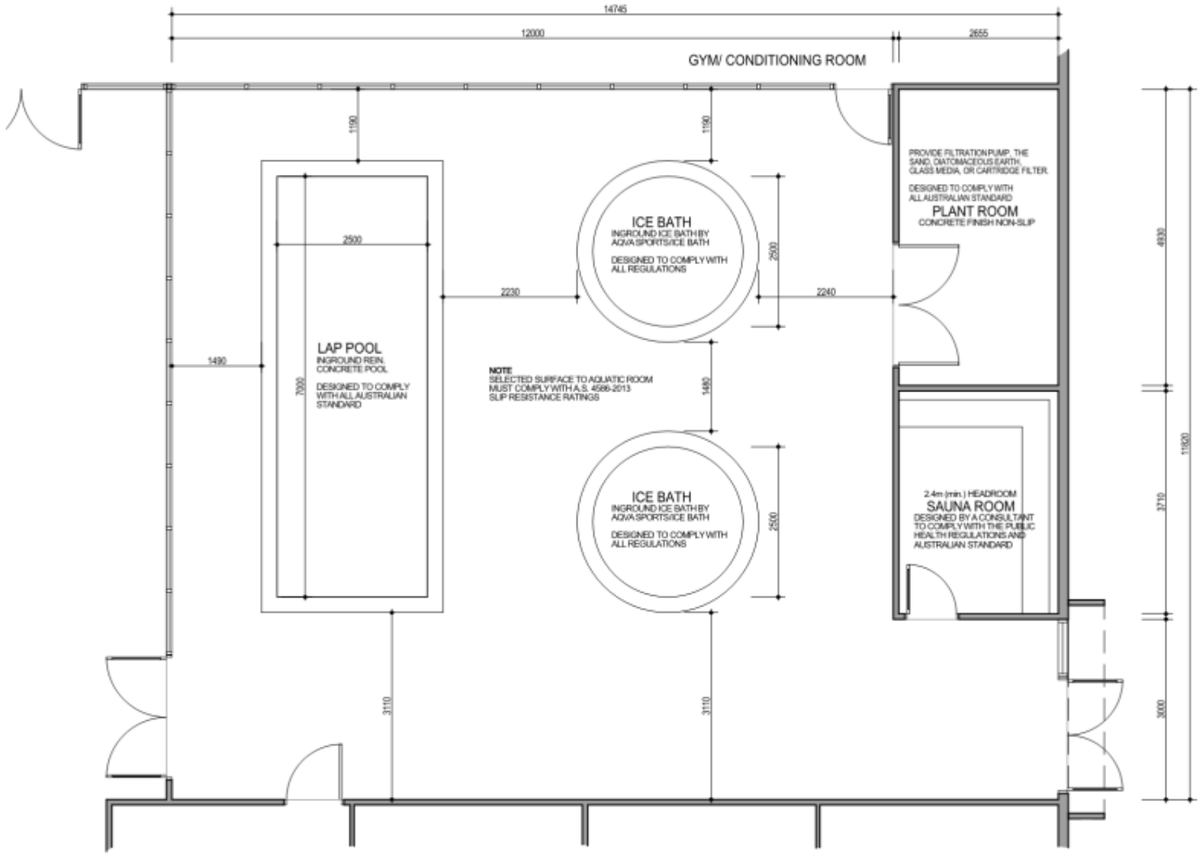
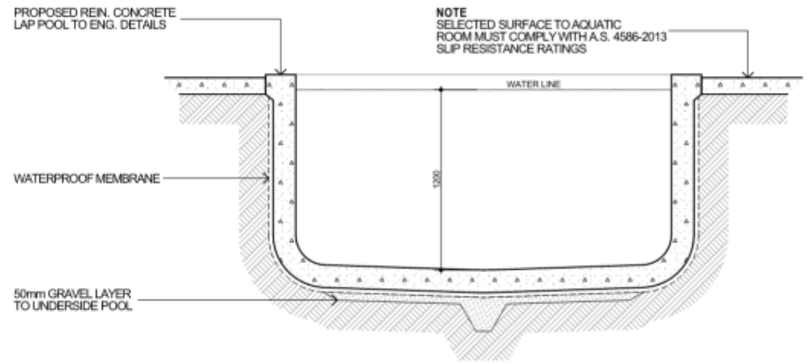


D02 **AQUATICS ROOM DETAILS**
Scale 1:50

NOTE
ALL DETAILS OF LAP POOL, ICE BATHS & SALINA ROOM TO COMPLY WITH THE PUBLIC HEALTH ACT, PUBLIC HEALTH REGULATION AND NSW HEALTH'S 'PUBLIC SWIMMING POOL AND SPA POOL ADVISORY DOCUMENT'.



LAP POOL SECTION
Scale 1:20

Table 7.6: Minimum maintenance requirements of swimming pools and spa pools

Plant	Maintenance
Balance tank	Balance tanks need to be cleaned annually to remove any debris, mud and organic matter. Balance tanks, which do not drain to waste, need to be pumped out.
Foot valve	If fitted, the foot valve should be serviced annually.
Supply (filtered) water inlets	Pool supply water inlets and surrounding tiles should be checked after each shut down for damage and compliance with the specifications. It is important to check the diameter of the supply return inlet because obstructions will reduce flow rates (increase turnover times). Reduced flow rate could lead to poor water quality.
Return (soiled) water outlets	Outlet screens should be cleaned daily. Gutters, wet deck outlets and skimmer boxes should be inspected weekly. Similar to supply fittings (inlets), any obstruction will increase turnover times and may lead to poor water quality. More particularly, blocked screens will starve the filter plant and pumps of water.
Cleaning filters: backwashing	The filter should be backwashed on a regular basis or when indicated by loss of head gauges (if fitted) or a reduction in the rate of flow measured by a flow meter. Waiting for an observable flow reduction will be too late. Pool filters should be backwashed weekly regardless of head loss because the entrapped oxidised body fats and sun screens are not detained but only restricted from travelling through the filter bed. They may build up with little evidence of head loss but will ultimately penetrate the filter bed. Preferably, backwashing should continue until the water runs clear (or only slightly cloudy). In a closed system (where the backwash effluent is not visible) a reduction in the head loss after each backwash should indicate adequate cleaning of the filter(s). If the pressure level is increasing after each backwash, a longer backwash time may be required. Head loss should always reduce after backwashing. A filter which does not show reduction should be investigated.
Cleaning filters: sand inspection and maintenance	Inspect condition of filter yearly. If the sand is unclean (indicated by the presence of mud, grease or alum balls) it is usually recommended to replace the dirty sand layer with clean sand. Sand may need to be visually inspected every 5 years depending on filter performance.
Cleaning filters: ultrafine filters (UFF)	UFF media should be replaced when backwashing is undertaken. The media should be re-generated weekly. If the pool is implicated in a *Cryptosporidium* outbreak the filter should be backwashed immediately.
In line filters or strainers	The main hair and lint strainer should be checked daily and cleaned when required.
Pool suctions	All pool suctions should be checked every three months.
Suction cleaning	The frequency of suction cleaning to remove large contaminants depends upon the bather loads and usage conditions of the pool. A plan of management should be developed accordingly. Under normal operating conditions, suction cleaning may be required two or three times a week or once per week when the pool is not heavily loaded. Large items such as rubber bands, hair clips and leaves should be removed with a net. It is recommended that larger pools use an automatic pool cleaner each night.
Automatic control probes	The pH and oxidation-reduction potential (ORP) probes need to be calibrated and serviced to remove any scale that has developed. They should be inspected, cleaned and calibrated at minimum six monthly intervals. Electrical inspection should be conducted yearly by a licensed electrician.
Main circulation pumps and motors	The main circulation pumps and pump motors should be serviced annually and checked regularly. All maintenance should be in accordance with the manufacturer's specification. Ideally multiple spare pumps should be available in case of a failure.
Chlorine pump/ chlorinator	The chemical dosing system including any pumps (chlorinator) should be serviced annually and chlorine pumps with an oil reservoir checked weekly. Upgrading to a larger capacity output system to cope with superchlorination needs due to *Cryptosporidium* contamination should be considered.
Cleaning	Daily cleaning of any dirty water marks (biofilm) around the water line is recommended to prevent the harbourage of any pathogenic micro-organisms. Regular superchlorination or oxidation is recommended to remove any biofilms within pipes, fittings and filters.
Electrical	Electrical inspection should be performed annually by a licensed electrician experienced with swimming pools.

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6) Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

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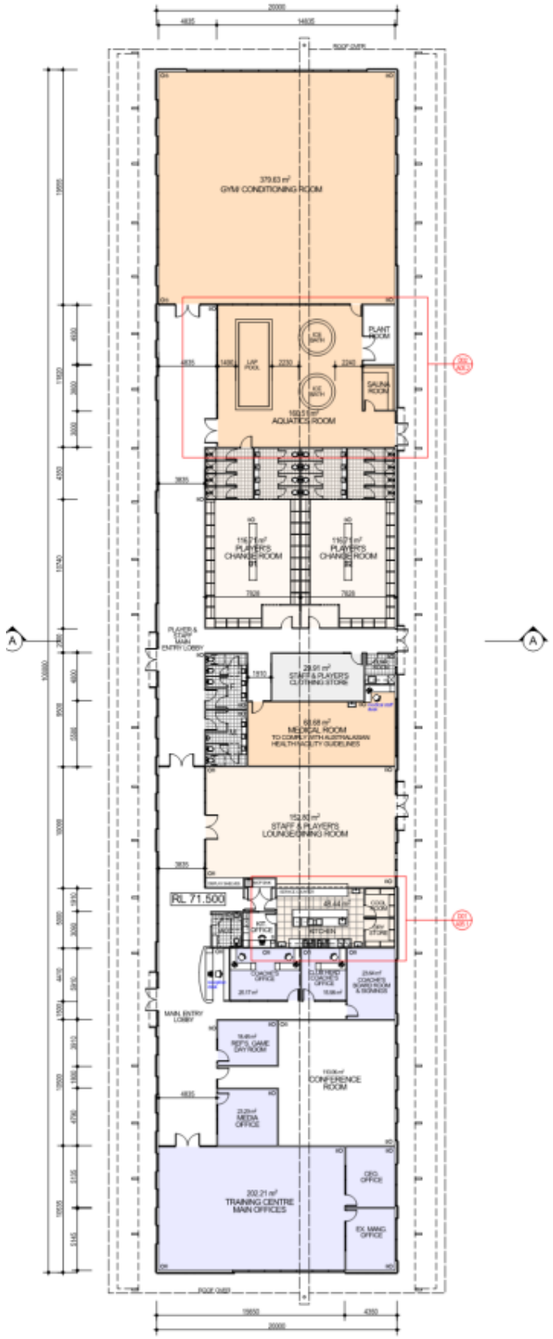
Activity Type	Job #	Scale @ A1
DA	1228-21	AS SHOW

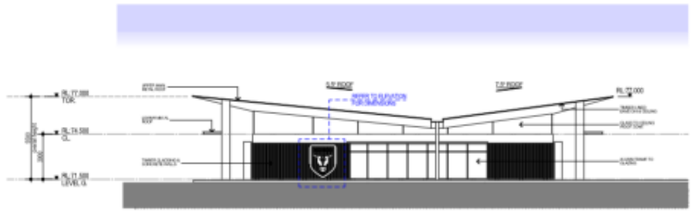
FOOTBALL TRAINING FACILITY BUILDING



GROUND FLOOR PLAN
Scale 1:250

B○ COMMUNAL BINS AS PER COUNCIL'S LETTER 5.1(e) ADDITIONAL DETAILS LOCATION OF COMMUNAL BINS

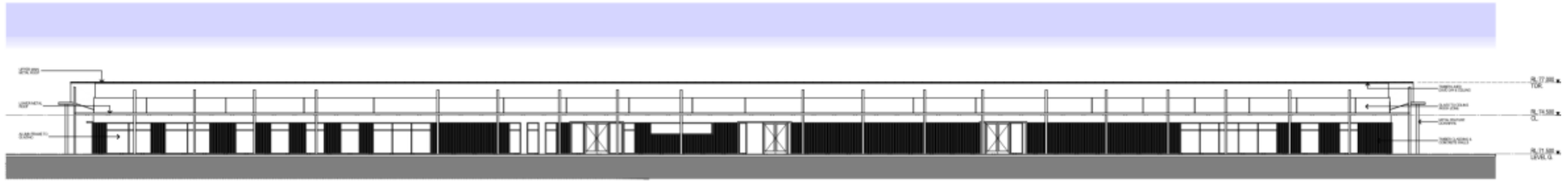
SITE MAP



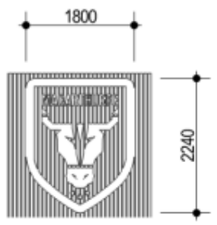
SOUTH ELEVATION
Scale 1:200

NORTH ELEVATION
Scale 1:200

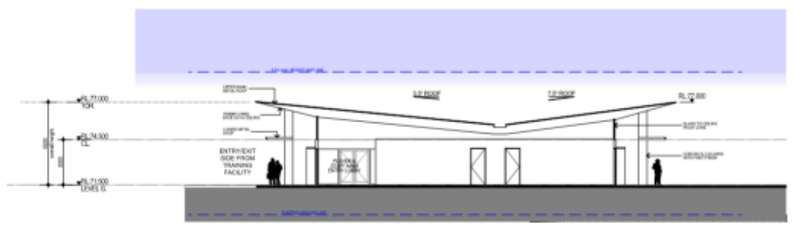
NORTH WEST ELEVATION
Scale 1:200



NORTH EAST ELEVATION
Scale 1:200



SIGNAGE ELEVATION
Scale 1:50



SECTION A
Scale 1:200

Description	Date	Drawn	Issued
ISSUED FOR CONSULTANTS	01.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	13.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	14.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	21.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	08.04.2022	NZ/JLM	NZ
ISSUED FOR DA.	08.08.2022	NZ/JLM	NZ

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North Point

Client: MACARTHUR FC

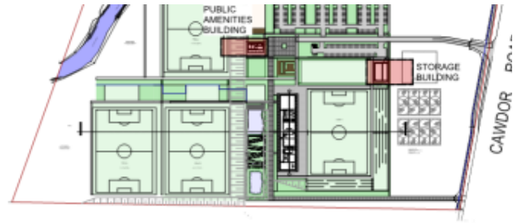
ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871

Project
PROPOSED CENTRE OF EXCELLENCE FACILITY
Lot 18, DP1104103
Cawdor Road, CAMDEN

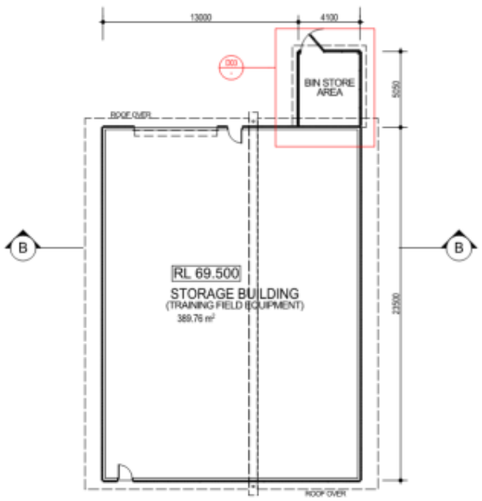
Client
Macarthur FC Limited

Drawn	Checked	Date
NZ/JLM	CZ	MAR. 202
Activity Type	Job #	Scale @ A1
DA	1228-21	AS SHOW

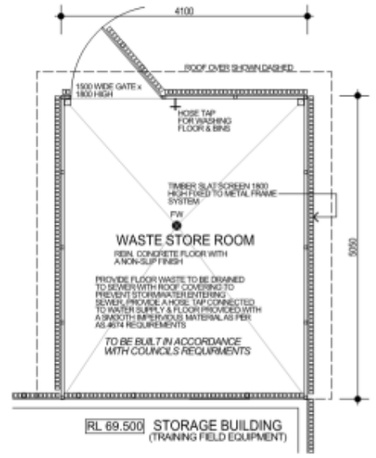
FIELD EQUIPMENT STORAGE BUILDING



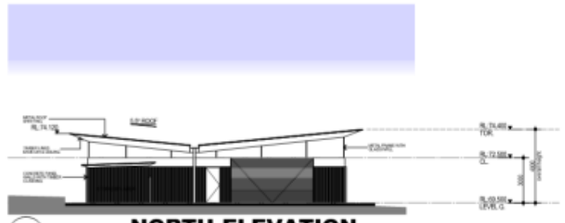
SITE MAP



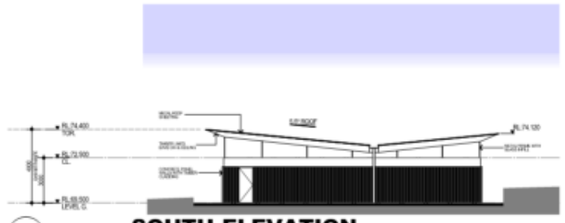
FLOOR PLAN
Scale 1:200



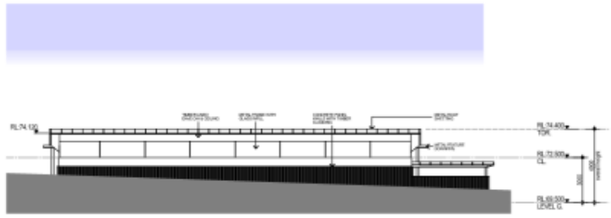
D03 BIN STORE PLAN
Scale 1:50



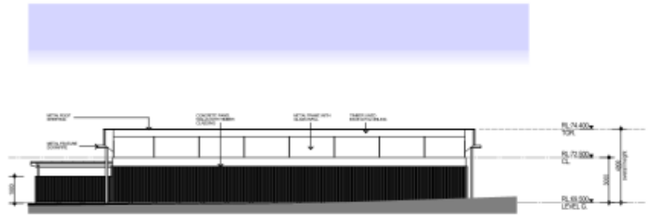
NORTH ELEVATION
Scale 1:200



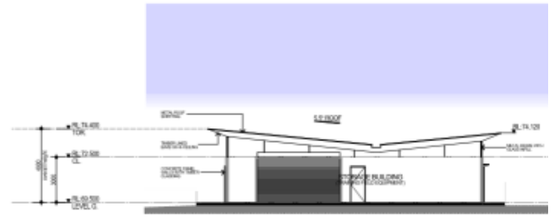
SOUTH ELEVATION
Scale 1:200



EAST ELEVATION
Scale 1:200

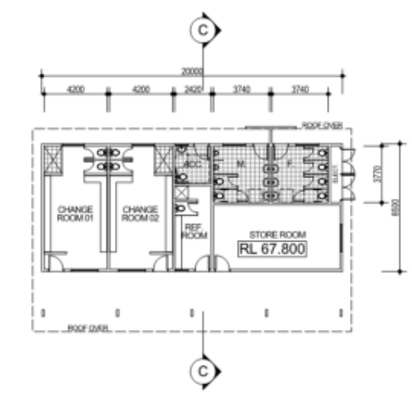


WEST ELEVATION
Scale 1:200

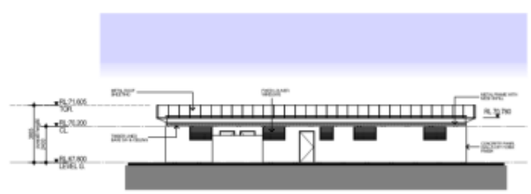


SECTION B
Scale 1:200

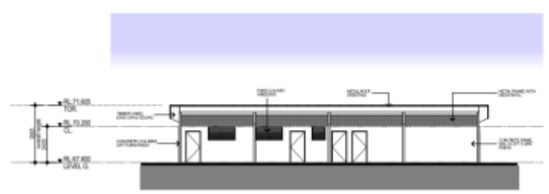
AMENITIES BUILDING



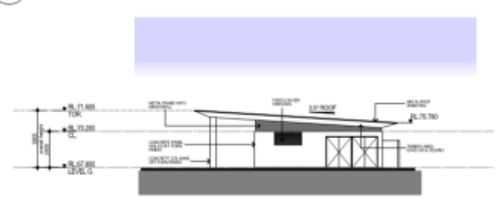
FLOOR PLAN
Scale 1:200



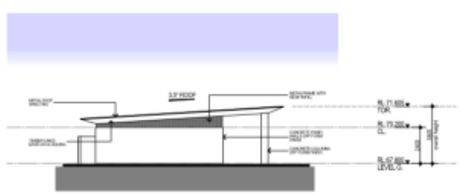
NORTH ELEVATION
Scale 1:200



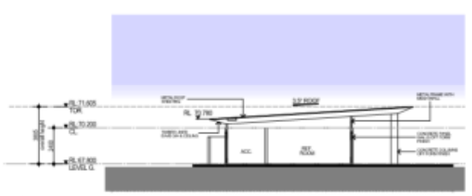
SOUTH ELEVATION
Scale 1:200



EAST ELEVATION
Scale 1:200



WEST ELEVATION
Scale 1:200



SECTION C
Scale 1:200

Description	Date	Drawn	Issued
ISSUED FOR CONSULTANTS	01.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	13.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	14.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	21.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	06.04.2022	NZ/JLM	NZ
ISSUED FOR DA.	06.08.2022	NZ/JLM	NZ

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Project
PROPOSED CENTRE OF EXCELLENCE FACILITY
Lot 18, DP1104103
Cawdor Road, CAMDEN

Client
Macarthur FC Limited

Drawn	Checked	Date
NZ/JLM	CZ	MAR. 202
Activity Type	Job #	Scale @ A1
DA	1228-21	AS SHOW

CODE REFERENCE	1	2	3	4	5	6
SPEC DESCEIPTION	METAL ROOF SHEETING WIDE COVER CONCEALED FIXED METAL ROOFING WITH RIBS. AS PER MANUFACTURER'S DETAILS: BLUESCOPE LYSAGHT/ KLIP-LOK 700 HI-STRENGTH	OFF-FORM CONCRETE CLASS 2 FINISH	FACADE BATTEN SYSTEM WALL CLADDING ALUMINIUM PROFILE BATTENS, PRE-MOUNTED STEEL FIXING CLIPS TO SELECTED MANUFACTURER'S DETAILS.	GLAZING ASSEMBLY 01 FACADE GLAZING ALUMINIUM FRAMED GLAZING SYSTEM FOR DOORS & WINDOWS	CEILING SOFFIT FURRING CHANNEL SYSTEM CLADDING SHEETING FIXED TO CONCEALED FURRING CHANNEL SYSTEM. TO SELECTED MANUFACTURER'S DETAILS.	BOX GUTTER, SUNSCREENS & AWNING ROOF ALUMINIUM METAL SYSTEM
MATERIAL COLOUR	COLOUR: SURFMIST	COLOUR: STANDARD GREY	COLOUR: BATTEN FINISH WOODGRAIN	COLOUR: DULUX POWDERCOAT SURFMIST	COLOUR: NATURAL FINISH WOODGRAIN	COLOUR: DULUX POWDERCOAT MONUMENT

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ISSUED FOR DA.	13.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	14.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	21.12.2021	NZ/JLM	NZ
ISSUED FOR DA.	08.04.2022	NZ/JLM	NZ

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		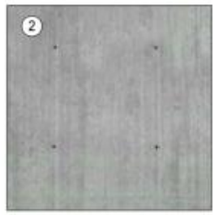				
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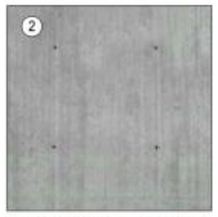
Client
Macarthur FC Limited

Drawn	Checked	Date
NZ/JLM	CZ	MAR. 202
Activity Type	Job #	Scale @ A1
DA	1228-21	AS SHOW

CODE REFERENCE	1	2	3	4	5	6
						
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Client
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Drawn	Checked	Date
NZ/JLM	CZ	MAR. 202
Activity Type	Job #	Scale @ A1
DA	1226-21	AS SHOW

PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

LOCALITY PLAN

NOT TO SCALE - COURTESY OF NEAR MAPS

DRAWING SCHEDULE

DATE	AMENDMENT	INIT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2
05.08.22	DA ISSUE	DD	3

DEVELOPMENT APPLICATIO

PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE CIVIL SERVICES

ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

DRAWING TITLE: CIVIL DESIGN COVER PAGE & DRAWING SCHEDULE

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | CHECKED: | SCALE: NTS | SIZE: A1

SURVEY

1. LEVELS BASED ON SURVEY PREPARED BY:
R.S.CANERI PTY LTD, 20981_DETAIL & 26.05.2021

APPROVAL AUTHORITY

1. CIVIL DESIGN IS SUBJECT TO APPROVAL FROM THE FOLLOWING AUTHORITIES:
   1.1. CAMDEN COUNCIL
   1.2. NATIONAL RESOURCES ACCESS REGULATOR (NRAR)

STORMWATER DESIGN CRITERIA

1. DESIGN CRITERIA.
   1.1. PIPED DRAINAGE - 1:10YR ARI
   1.2. OVERLAND FLOWS - GAP FLOW BETWEEN 1:10YR ARI & 1:100YR ARI

DESIGN GUIDES

1. CAMDEN COUNCIL ENGINEERING DESIGN SPECIFICATION, 2020
2. CAMDEN COUNCIL DEVELOPMENT CONTROL PLAN, 2019
3. AS1428.1:2009 DESIGN FOR ACCESS AND MOBILITY, PART 1: GENERAL REQUIREMENTS FOR ACCESS - NEW BUILDING WORK
4. AS2890.1:2004: PARKING FACILITIES, PART 1: OFF-STREET CAR PARKING
5. AS3500.3:2018 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE

DEVELOPMENT APPLICATION (DA) STAGE

1. DOCUMENTS ARE PROVIDED FOR DA APPROVAL PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION
2. STORMWATER DESIGN SHOWN IS CONCEPTUAL ONLY AND SUBJECT TO FINAL DESIGN AT CONSTRUCTION CERTIFICATE STAGE.
3. FINISHED LEVELS SHOWN ARE CONCEPTUAL ONLY AND SUBJECT TO DETAILED DESIGN AT CONSTRUCTION CERTIFICATE STAGE. FINAL FINISHED LEVELS TO BE ±0.5m FROM LEVELS SHOWN

SAFETY IN DESIGN

1. CONTRACTOR SHALL ENSURE ALL ACCESS TO THE TANKS & CHAMBERS ARE COMPLETE WITH RELEVANT CONFINED SPACE SIGNAGE.
2. ALL PERSONNEL REQUIRED TO INSPECT AND MAINTAIN SERVICES WITHIN THESE AREAS SHALL BE TRAINED IN ACCORDANCE WITH WHS/OH&S REQUIREMENTS.
3. REFER TO RELEVANT SAFETY IN DESIGN REPORT FOR CONSTRUCTION RISK MATRIX

SITE WORKS - GENERAL

1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH LOCAL COUNCIL, AUSTRALIAN AND AUTHORITY STANDARDS.
2. ALL TRENCHING WORKS ARE TO BE RESTORED TO ORIGINAL CONDITION.
3. THE INTEGRITY OF ALL EXISTING AND NEW SERVICES IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTS, STRUCTURAL ENGINEERS AND OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO THE ENGINEER FOR CLARIFICATION.
5. THE ENGINEER SHALL BE GIVEN A MIN. OF 48 HOURS NOTICE FOR ALL STORMWATER DRAINAGE AND PAVEMENT INSPECTIONS. CONCRETE SHALL NOT BE DELIVERED UNTIL ENGINEERS APPROVAL IS OBTAINED.

SITE WORKS - ACCESS AND SAFETY

1. ALL WORKS ARE TO BE UNDERTAKEN IN A SAFE MANNER IN ACCORDANCE WITH ALL STATUTORY AND INDUSTRIAL RELATION REQUIREMENTS.
2. ACCESS TO ADJACENT BUILDINGS AND PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
3. WHERE NECESSARY SAFE PASSAGE SHALL BE PROVIDED FOR VEHICLES AND PEDESTRIANS THROUGH OR ADJACENT TO THE SITE.

FINISHED LEVELS

1. LEVELS BASED ON SITE SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY LEVELS PRIOR TO CONSTRUCTION COMMENCEMENT, ANY DISCREPANCIES SHALL BE NOTIFIED TO THE ENGINEER OR SUPERINTENDENT FOR CLARIFICATION
2. CARPARK & SERVICE AREA LAYOUT AND GRADES TO COMPLY WITH AS2890.
3. DRIVEWAY LAYOUT AND DESIGN TO COMPLY WITH APPROVAL AUTHORITY ACCESS DRIVEWAY DESIGN AND CONSTRUCTION SPECIFICATION.
4. ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT LEVELS U.N.O. ON PLAN.
5. PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF 1V:3H.
6. ALL FOOTPATHS ARE TO FALL AWAY FROM THE BUILDING AT 2.5% NOMINAL GRADE.
7. ALL PAVEMENTS ARE TO BE SET AT 50mm BELOW THE FINISHED FLOOR LEVEL OF THE WAREHOUSE AND OFFICE AREAS U.N.O

SEDIMENT AND EROSION CONTROL

1. THE CONTRACTOR SHALL INSTIGATE ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH COUNCIL AND THE "BLUE BOOK" (MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION, PRODUCED BY THE DEPARTMENT OF HOUSING). THESE MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED.
2. THE SEDIMENT & EROSION CONTROL PLAN PRESENTS CONCEPTS ONLY, THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE ESTABLISHMENT & MANAGEMENT OF A DETAILED SCHEME MEETING COUNCIL'S DESIGN, AND ALL OTHER REGULATORY AUTHORITY REQUIREMENTS.
3. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
   a. INSTALL ALL TEMPORARY SEDIMENT FENCES AND BARRIER FENCES. WHERE FENCES ARE ADJACENT TO EACH OTHER THE SEDIMENT FENCE CAN BE INCORPORATED INTO THE BARRIER FENCE.
   b. CONSTRUCT TEMPORARY STABILISED SITE ACCESS. INCLUDING SHAKE DOWN AND WASH PAD.
   c. INSTALL SEDIMENT CONTROL MEASURES AS OUTLINED ON THESE SEDIMENT AND CONTROL PLANS (ONCE APPROVED)
4. THE CONTRACTOR SHALL UNDERTAKE SITE DEVELOPMENT WORKS SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF MINIMUM WORKABLE SIZE.
5. AT ALL TIMES AND IN PARTICULAR DURING WINDY AND DRY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL. TACIFIERS MAY BE USED TO CONTROL DUST DURING EXTENDED PERIODS OF DRY WEATHER.
6. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
7. WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN STABILISED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED OUT.
8. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE STABILISED / REHABILITATED.
9. THE CONTRACTOR SHALL ALLOW FOR THE ESTABLISHMENT OF ANY OTHER EROSION PROTECTION MEASURES (IF APPLICABLE).
10. THE CONTRACTOR SHALL REGULARLY INSPECT (MINIMUM TWICE PER WEEK) ALL EROSION AND SEDIMENT CONTROL MEASURES TO ENSURE THEY ARE OPERATING EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN REGULARLY AND AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
11. ACCEPTABLE RECEPTORS SHALL BE USED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER. WASTE FROM THESE RECEPTORS SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITY REQUIREMENTS. PAY ALL FEES AND PROVIDE EVIDENCE OF SAFE DISPOSAL.

SEDIMENT BASIN ASSESSMENT

ASSESSMENT AS PER SECTION 4.4, SECTION 6.3.2 (D) AND APPENDIX A OF THE BLUE BOOK.

ASSESSMENT OF EROSION HAZARD
R-FACTOR - 2,000 MAP 10, APPENDIX B
SITE GRADIENT - (14.95/420.2) 3.55%
SITE CLASSED AS LOW EROSION HAZARD BASED ON A-LINE IN FIGURE 4.6 - THEREFORE BASIC MEASURES CAN BE IMPLEMENTED.

ASSESSMENT OF EXPORT SOIL VOLUME
R = 2023
K = 0.075
LS = 1.22
P = 1.2
C = 1
A = 22.2 T/Ha/YR
DENSITY OF SEDIMENT = 1.9 T/m³
SITE AREA = 11.7Ha
SOIL VOLUME = 1368m³/YR > 150CU.M/YR WHICH IS THE TRIGGER VALUE FOR A SEDIMENT BASIN

STORMWATER

1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING AUSTRALIAN STANDARDS AS2032, AS3500 AND AS3725 AS A MINIMUM.
2. ALL PIPES LESS THAN OR EQUAL TO Ø300mm IN SIZE ARE TO BE SOLVENT WELD-JOINTED uPVC CLASS SN6 U.N.O.
3. ALL PIPES Ø375mm OR GREATER IN SIZE ARE TO BE MIN. CLASS 2 REINFORCED CONCRETE PIPE (RCP) WITH SPIGGOT AND SOCKETED JOINT OR VANTAGE PIPE PLUS (VPIPE+) FIBRE REINFORCED CONCRETE (FRC) WITH VANTAGE PIPE PLUS JOINT U.N.O.
4. ALL PIPES ARE TO BE LAID AT MIN. 1.0% GRADE U.N.O.
5. PIPE BEDDING IS TO BE HS2 UNDER ROADS AND TRAFFICKED AREAS AND SHALL BE H2 IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS U.N.O.
6. ALL PIPE BENDS AND JUNCTIONS ARE TO BE MADE WITH EITHER PURPOSE MADE FITTINGS OR STORMWATER DRAINAGE PITS.
7. MINIMUM COVER FROM THE OBVERT OF THE STORMWATER PIPE OF 300mm IS TO BE PROVIDED IN LANDSCAPED AREAS AND 300mm IN VEHICULAR TRAFFICKED AREAS U.N.O.
8. WHERE MINIMUM COVER CANNOT BE ACHIEVED, CONCRETE ENCASEMENT OF THE AFFECTED PIPE MAY BE UNDERTAKEN WITH 20MPa CONCRETE WITH A MIN. COVER OF 150mm TO ALL SIDES OF THE PIPE. THE CONTRACTOR SHALL CONFIRM THIS REQUIREMENT WITH THE ENGINEER OR SUPERINTENDENT.
9. LAID PIPELINES ARE TO HAVE THE FOLLOWING CONSTRUCTED TOLERANCES:
   a. HORIZONTAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT.
   b. VERTICAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT.
10. ALL DRAINAGE PITS ARE TO BE CAST IN-SITU. PRECAST DRAINAGE PITS MAY BE USED WITH APPROVAL FROM THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PRECAST PIT INSTALLATION WORK METHOD STATEMENT FOR ASSESSMENT BY THE ENGINEER FOR APPROVAL.
11. DRAINAGE PIT COVERS ARE TO BE EITHER GALVANISED STEEL OR CAST IRON CLASS 'B' IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS AND CLASS 'D' IN ALL VEHICULAR TRAFFICKED AREAS U.N.O.
12. DRAINAGE PIT COVERS ARE TO BE 'HEELSAFE' TYPE IN ALL PEDESTRIAN TRAFFICKED AREAS U.N.O.
13. EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED PRIOR TO COMMENCING WORKS ON SITE.
14. PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
15. DOWN PIPES CONNECTED DIRECT TO PIPES TO BE CONNECTED AT 45° TO THE FLOW DIRECTION WITH A CLEANING EYE PROVIDED AT GROUND LEVEL.

DESIGN SUMMARY (CAMDEN)

1. WSUD REQUIREMENTS:
LOCAL GOVERNING AUTHORITY = CAMDEN COUNCIL

AS PER COUNCIL'S ENGINEERING DESIGN SPECIFICATION (2020) AND COUNCIL'S DEVELOPMENT CONTROL PLAN (2015) THE FOLLOWING POLLUTANT REDUCTION TARGETS ARE TO BE ACHIEVED:
- TOTAL SUSPENDED SOLIDS = 85%
- TOTAL PHOSPHORUS = 65%
- TOTAL NITROGEN = 45%
- TOTAL GROSS POLLUTANTS = 90%

MODELING OF ALL WSUD TREATMENT MEASURES HAS BEEN CONDUCTED USING THE MODELING PROGRAM MUSIC. USING THE DESIGN PARAMETERS FROM THE NSW DRAFT MUSIC MODELING GUIDELINES THE FOLLOWING REDUCTION TARGETS HAVE BEEN ACHIEVED:
- TOTAL SUSPENDED SOLIDS = 88.06%
- TOTAL PHOSPHORUS = 69.49%
- TOTAL NITROGEN = 46.75%
- TOTAL GROSS POLLUTANTS = 100%

REFER TO THE ACCOMPANYING STORMWATER MANAGEMENT REPORT FOR FURTHER INFORMATION.

NOT TO SCALE

NORTH POINT

NOTES

DATE	AMENDMENT	INT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2

DATE	AMENDMENT	INT	REV

STRUCTURAL -
MECHANICAL -
ELECTRICAL -
CIVIL

CLIENT
LEPPINGTON SPORTS CLUB

BUILDER

PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES

DEVELOPMENT APPLICATIO

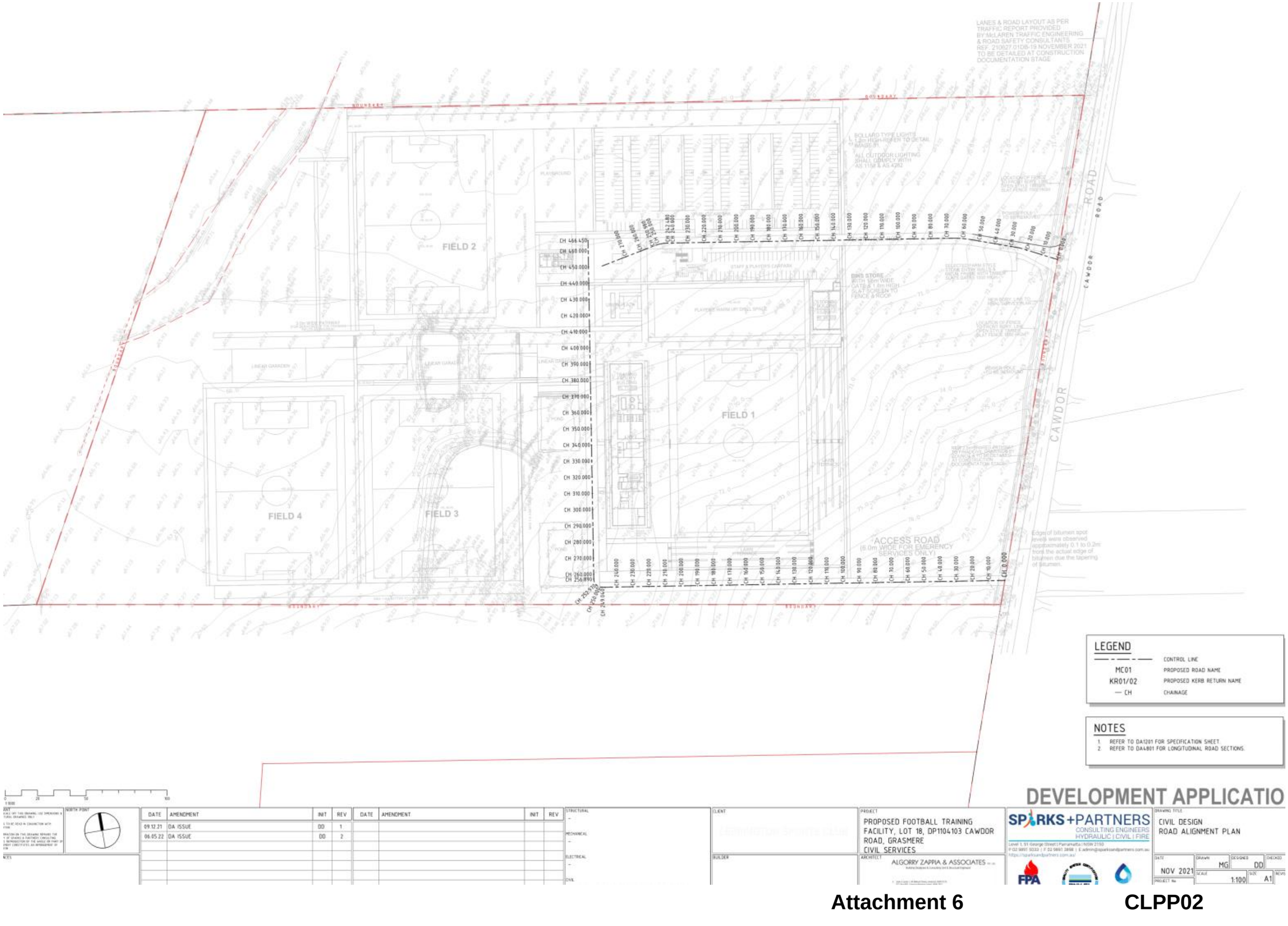
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
Level 1, 91 George Street | Parramatta | NSW 2150
P 02 9891 5033 | F 02 9891 2898 | E admin@sparksandpartners.com.au
https://sparksandpartners.com.au/

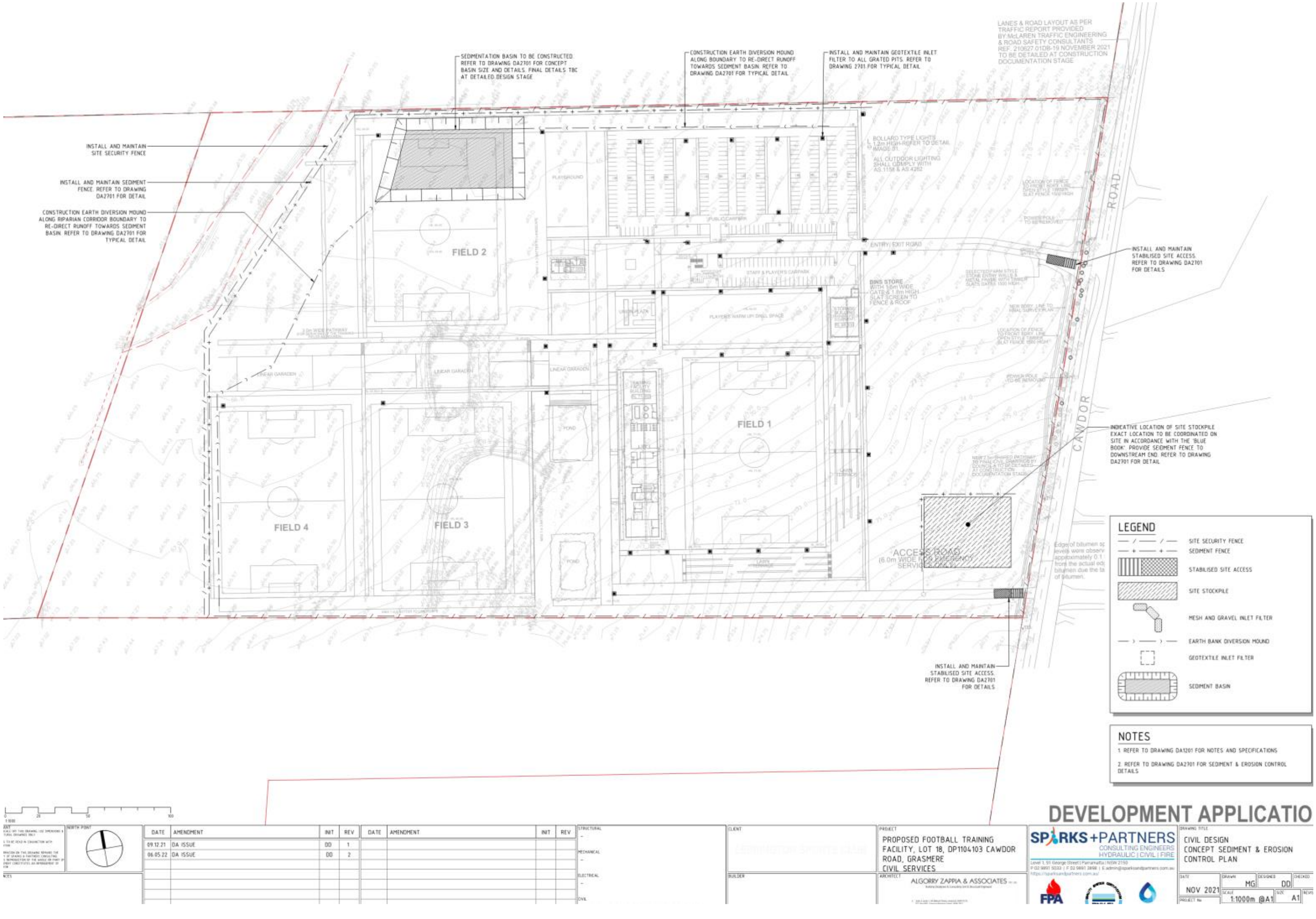
DRAWING TITLE
CIVIL DESIGN
SPECIFICATION SHEET

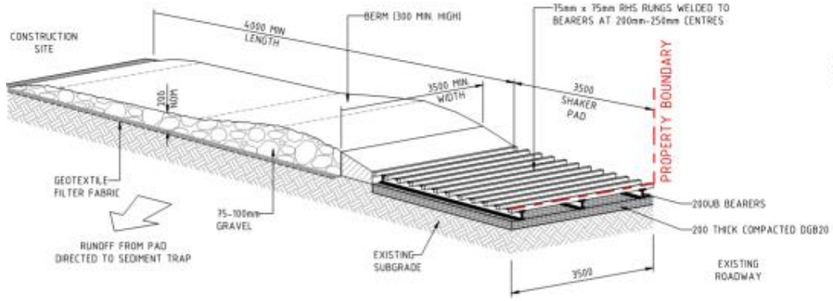
DATE	DRAWN	DESIGNED	CHECKED
NOV 2021	MG	DD	

SCALE	SIZE	REVN
NTS	A1	

PROJECT No


LANES & ROAD LAYOUT AS PER TRAFFIC REPORT PROVIDED BY McLAREN TRAFFIC ENGINEERING & ROAD SAFETY CONSULTANTS REF: 210927.01DB-19 NOVEMBER 2021 TO BE DETAILED AT CONSTRUCTION DOCUMENTATION STAGE
BOLLARD TYPE LIGHTS L.T.2m HIGH-REFER TO DETAIL IMAGE 91
ALL OUTDOOR LIGHTING SHALL COMPLY WITH AS 1158 & AS 4282
BINS STORE WITH 10m WIDE GATE & 1.8m HIGH SLAT SCREEN TO FENCE & ROOF
FIELD 1
FIELD 2
FIELD 3
FIELD 4
ACCESS ROAD (8.0m WIDE FOR EMERGENCY SERVICES ONLY)
CAWDOR ROAD
Edge of bitumen spot levels were observed approximately 0.1 to 0.2m from the actual edge of bitumen due the tapering of bitumen.
LEGEND
CONTROL LINE
MC01 PROPOSED ROAD NAME
KR01/02 PROPOSED KERB RETURN NAME
— CH CHAINAGE
NOTES
1. REFER TO DA1201 FOR SPECIFICATION SHEET.
2. REFER TO DA4801 FOR LONGITUDINAL ROAD SECTIONS.
DEVELOPMENT APPLICATIO
DATE AMENDMENT INT REV
09.12.21 DA ISSUE DD 1
06.05.22 DA ISSUE DD 2
STRUCTURAL
MECHANICAL
ELECTRICAL
CIVIL
CLIENT
PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES
BUILDER
ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
DRAWING TITLE
CIVIL DESIGN
ROAD ALIGNMENT PLAN
DATE NOV 2021
DRAWN MG
DESIGNED DD
SCALE 1:100
SIZE A1


SEDIMENTATION BASIN TO BE CONSTRUCTED. REFER TO DRAWING DA2701 FOR CONCEPT BASIN SIZE AND DETAILS. FINAL DETAILS TBC AT DETAILED DESIGN STAGE
CONSTRUCTION EARTH DIVERSION MOUND ALONG BOUNDARY TO RE-DIRECT RUNOFF TOWARDS SEDIMENT BASIN. REFER TO DRAWING DA2701 FOR TYPICAL DETAIL
INSTALL AND MAINTAIN GEOTEXTILE INLET FILTER TO ALL GRATED PITS. REFER TO DRAWING 2701 FOR TYPICAL DETAIL
LANES & ROAD LAYOUT AS PER TRAFFIC REPORT PROVIDED BY McLAREN TRAFFIC ENGINEERING & ROAD SAFETY CONSULTANTS REF. 210527.01DB-19 NOVEMBER 2021 TO BE DETAILED AT CONSTRUCTION DOCUMENTATION STAGE
INSTALL AND MAINTAIN SITE SECURITY FENCE
INSTALL AND MAINTAIN SEDIMENT FENCE. REFER TO DRAWING DA2701 FOR DETAIL
CONSTRUCTION EARTH DIVERSION MOUND ALONG RIPARIAN CORRIDOR BOUNDARY TO RE-DIRECT RUNOFF TOWARDS SEDIMENT BASIN. REFER TO DRAWING DA2701 FOR TYPICAL DETAIL
BOLLARD TYPE LIGHTS 1.2m HIGH-REFER TO DETAIL IMAGE 81
ALL OUTDOOR LIGHTING SHALL COMPLY WITH AS 1158 & AS 4282
FIELD 1
FIELD 2
FIELD 3
FIELD 4
PLAYGROUND
PUBLIC CARPARK
STAFF & PLAYER'S CARPARK
ENTRY/ EXIT ROAD
BINS STORE WITH 18m WIDE GATE & 1.8m HIGH SLAT SCREEN TO FENCE & ROOF
PLAYERS' WARM UP/ DRILL SPACE
LINEAR GARDEN
POND
CAWDOR ROAD
INSTALL AND MAINTAIN STABILISED SITE ACCESS. REFER TO DRAWING DA2701 FOR DETAILS
INDICATIVE LOCATION OF SITE STOCKPILE EXACT LOCATION TO BE COORDINATED ON SITE IN ACCORDANCE WITH THE 'BLUE BOOK'. PROVIDE SEDIMENT FENCE TO DOWNSTREAM END. REFER TO DRAWING DA2701 FOR DETAIL
ACCESS ROAD (6.0m WIDE FOR EMERGENCY SERVICES)
INSTALL AND MAINTAIN STABILISED SITE ACCESS. REFER TO DRAWING DA2701 FOR DETAILS
LEGEND
SITE SECURITY FENCE
SEDIMENT FENCE
STABILISED SITE ACCESS
SITE STOCKPILE
MESH AND GRAVEL INLET FILTER
EARTH BANK DIVERSION MOUND
GEOTEXTILE INLET FILTER
SEDIMENT BASIN
NOTES
1. REFER TO DRAWING DA1201 FOR NOTES AND SPECIFICATIONS
2. REFER TO DRAWING DA2701 FOR SEDIMENT & EROSION CONTROL DETAILS
DEVELOPMENT APPLICATIO
DATE AMENDMENT INT REV
09.12.21 DA ISSUE 00 1
06.05.22 DA ISSUE 00 2
PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES
ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
DRAWING TITLE
CIVIL DESIGN
CONCEPT SEDIMENT & EROSION CONTROL PLAN
DATE NOV 2021
DRAWN MG
DESIGNED DD
SCALE 1:1000m @A1
SIZE A1

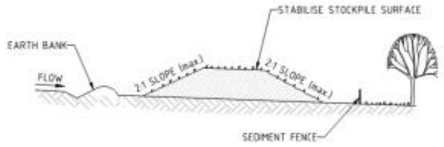


STABILISED SITE ACCESS WITH SHAKER PAD

NOT TO SCALE

MAINTENANCE

- THE TEMPORARY ACCESS SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
- THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- INSTALL BARRIER ON EITHER SIDE OF SHAKER PAD TO ENSURE VEHICLES ARE GUIDED ON TO THE PAD.
- INVERT OF SHAKER PAD TO BE DRAINED VIA AGRICULTURAL PIPE WRAPPED IN GEOTEXTILE FABRIC.

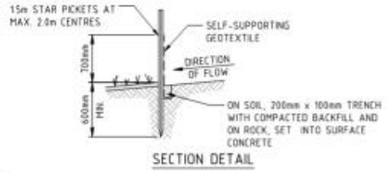


STOCKPILE

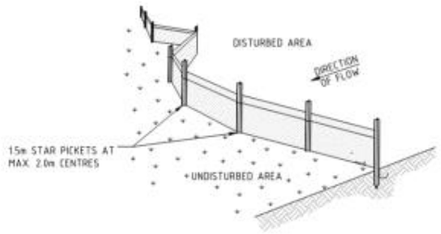
NOT TO SCALE

NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. 4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.



SECTION DETAIL



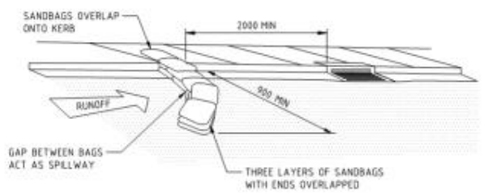
PLAN

SEDIMENT FENCE

NOT TO SCALE

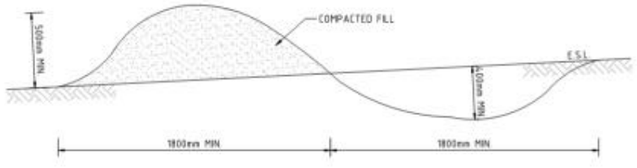
NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50L/s IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.0m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



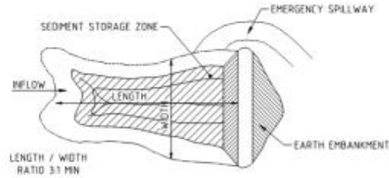
SEDIMENT TRAP FOR KERB INLET (ON GRADE - SANDBAG)

NOT TO SCALE



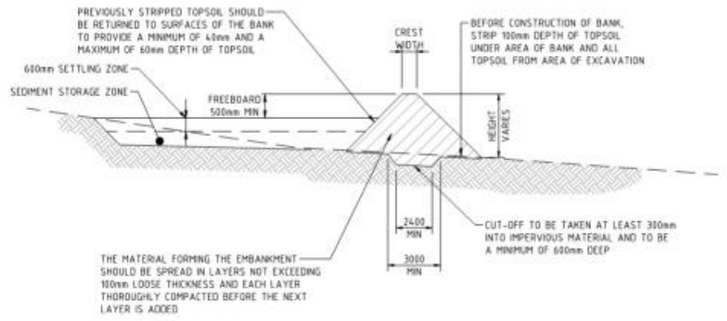
DIVERSION BANK

NOT TO SCALE



SEDIMENT BASIN WET (TYPICAL) CROSS PLAN - TYPE D AND F SOILS

NTS



SEDIMENT BASIN WET (TYPICAL) CROSS SECTION - TYPE D AND F SOILS

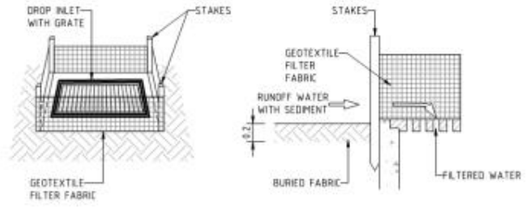
NTS

CONSTRUCTION NOTES:

1. REMOVE ALL VEGETATION AND TOPSOIL FROM UNDER THE DAM WALL AND FROM WITHIN THE STORAGE AREA.
2. CONSTRUCT A CUT-OFF TRENCH 500mm DEEP AND 1200mm WIDE ALONG THE CENTERLINE OF THE EMBANKMENT EXTENDING TO A POINT ON THE GULLY WALL LEVEL WITH THE RISER CREST.
3. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIAL WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO 95% STANDARD PROCTOR DENSITY.
4. SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD, ROCK, LARGE STONE OR FOREIGN MATERIAL.
5. PREPARE THE SITE UNDER THE EMBANKMENT BY RIPPING TO AT LEAST 100mm TO HELP BOND COMPACTED FILL TO THE EXISTING SUBSTRATE.
6. SPREAD THE FILL IN 100mm TO 150mm LAYERS AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP.
7. CONSTRUCT THE EMERGENCY SPILLWAY.
8. REHABILITATE THE STRUCTURE FOLLOWING THE SWMP.

SEDIMENT BASIN NOTES:

SEDIMENT BASIN CATCHMENT AREA	= 14.96Ha
REQUIRED SETTLING ZONE	= 3064m³
REQUIRED STORAGE ZONE	= 1532m³
REQUIRED BASIN VOLUME	= 4596m³
BASE DIMENSION	= 75.6m (L) x 35.6m (W)
TOP DIMENSION	= 90m (L) x 50m (W)
MAX SIDE SLOPE	= 1V:4H
BASIN STORAGE VOLUME PROVIDED	= 5120m³
DESIGN STORM	= 85th PERCENTILE



GEOTEXTILE INLET FILTER DROP INLET SEDIMENT TRAP

NOT TO SCALE

NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.0m LONG STAR PICKETS INTO GROUND AT THE FOUR CORNERS OF PIT WALLS. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

AS SHOWN

NORTH POINT

DATE	AMENDMENT	INT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2

DATE	AMENDMENT	INT	REV

STRUCTURAL
MECHANICAL
ELECTRICAL
CIVIL

CLIENT

PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

BUILDER

ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE

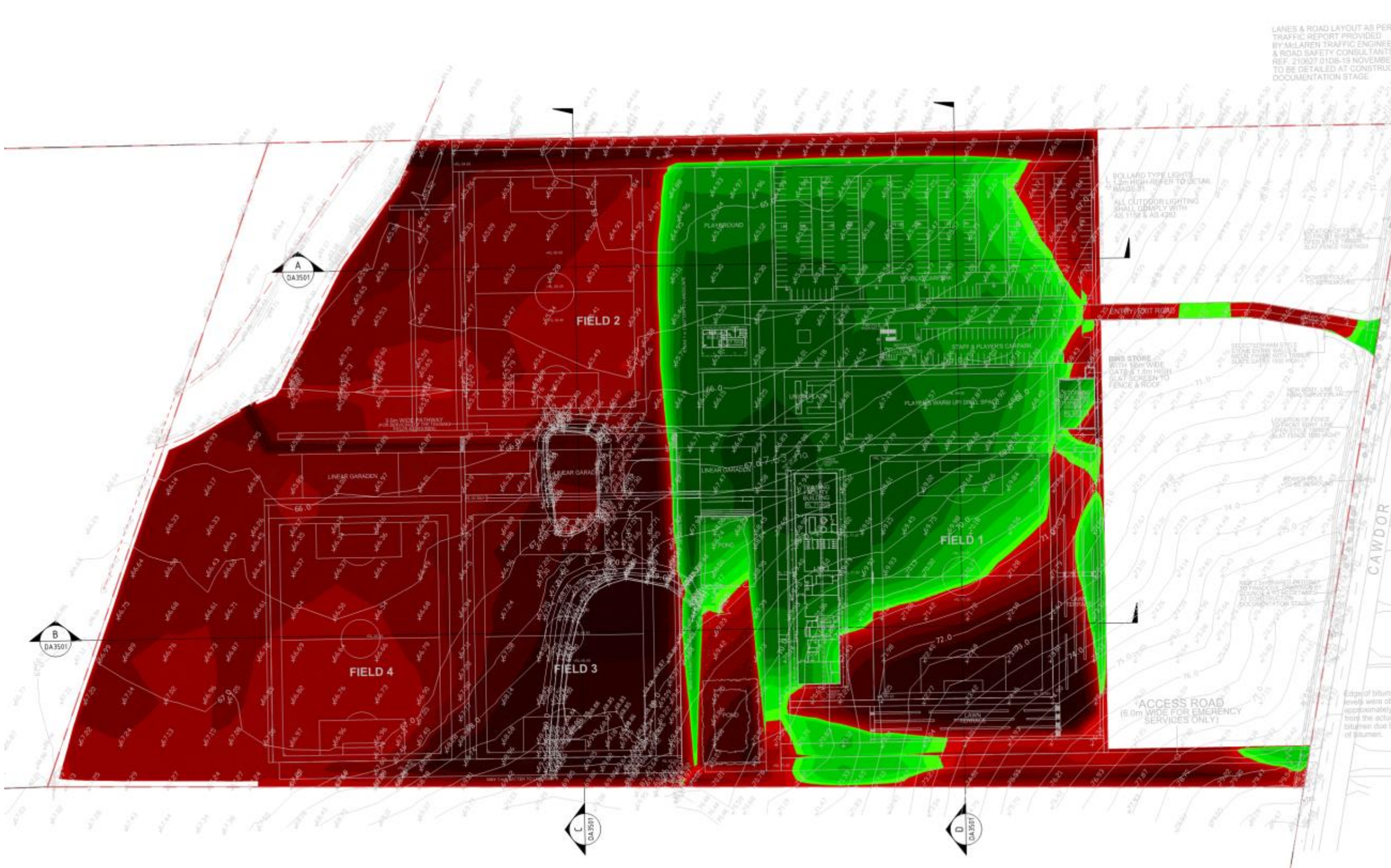
DEVELOPMENT APPLICATIO

DRAWING TITLE
CIVIL DESIGN
CONCEPT SEDIMENT & EROSION CONTROL DETAILS

DATE	DRAWN	DESIGNED	CHECKED
NOV 2021	MG	DD	

SCALE AS SHOWN | SIZE A1 | REVS

PROJECT No



LEGEND

CUT:		FILL:	
-5.0 TO -2.5m		0.0 TO 0.1m	
-2.5 TO -1.5m		0.1 TO 0.25m	
-1.5 TO -1.0m		0.25 TO 0.5m	
-1.0 TO -0.75m		0.5 TO 0.75m	
-0.75 TO -0.5m		0.75 TO 1.0m	
-0.5 TO -0.25m		1.0 TO 1.5m	
-0.25 TO -0.1m		1.5 TO 2.5m	
-0.1 TO 0.0m		2.5 TO 5.0m	

BULK EARTHWORKS NOTES

1. BULK EARTHWORKS ARE TO BE TO BE UNDERTAKEN IN ACCORDANCE WITH AS3798-2007, GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
2. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT FOR SPECIFIC SITE CONDITIONS AND WORKS METHODOLOGY.
3. CUT TO FILL DEPTHS SHOWN ARE BASED ON LEVELS AND PAVEMENT THICKNESS' IN COMPARISON TO SURVEY REFERENCED IN DA1201 RESULTING IN THE FOLLOWING CUT TO FILL VOLUMES:

   CUT = 76,057m³
   FILL = 53,095m³
   TOTAL CUT = 22,962m³

4. VOLUMES DETAILED ABOVE DO NOT TAKE INTO ACCOUNT BULKING & COMPACTION OF THE MATERIAL, TEMPORARY SEDIMENT BASIN, TRENCHING OF STORMWATER PIPE, FIELD SUBSURFACE DESIGN OR STRUCTURAL FOOTINGS.
4. STRIPPING OF THE FOLLOWING SURFACES HAS BEEN TAKEN INTO ACCOUNT IN THE ABOVE VOLUME CALCULATIONS:
   - EXISTING VEGETATION = 100mm
5. VOLUMES SHOWN ABOVE ARE BASED ON THE A UNIFORM 200mm FINISHED SURFACE SET DOWN ACROSS THE SITE. THIS APPROACH HAS BEEN ADOPTED BECAUSE SPECIFIC PAVEMENT THICKNESS FOR BUILDING PADS, TRAFFICABLE AREAS, PEDESTRIAN WALKWAYS AND THE PLAYING FIELDS ARE UNKNOWN. A SET DOWN OF 200mm PROVIDES AN APPROXIMATE AVERAGE SET DOWN ACROSS ALL AREAS OF THE SITE.
6. THE CONTRACTOR SHALL VERIFY LEVELS PRIOR TO CONSTRUCTION COMMENCEMENT. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE ENGINEER OR SUPERINTENDENT FOR CLARIFICATION.
7. REFER TO C3201 FOR BULK EARTHWORKS CONTOUR PLAN
8. REFER TO C3501 FOR BULK EARTHWORKS SECTIONS

DEVELOPMENT APPLICATIO

DATE	AMENDMENT	INT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2

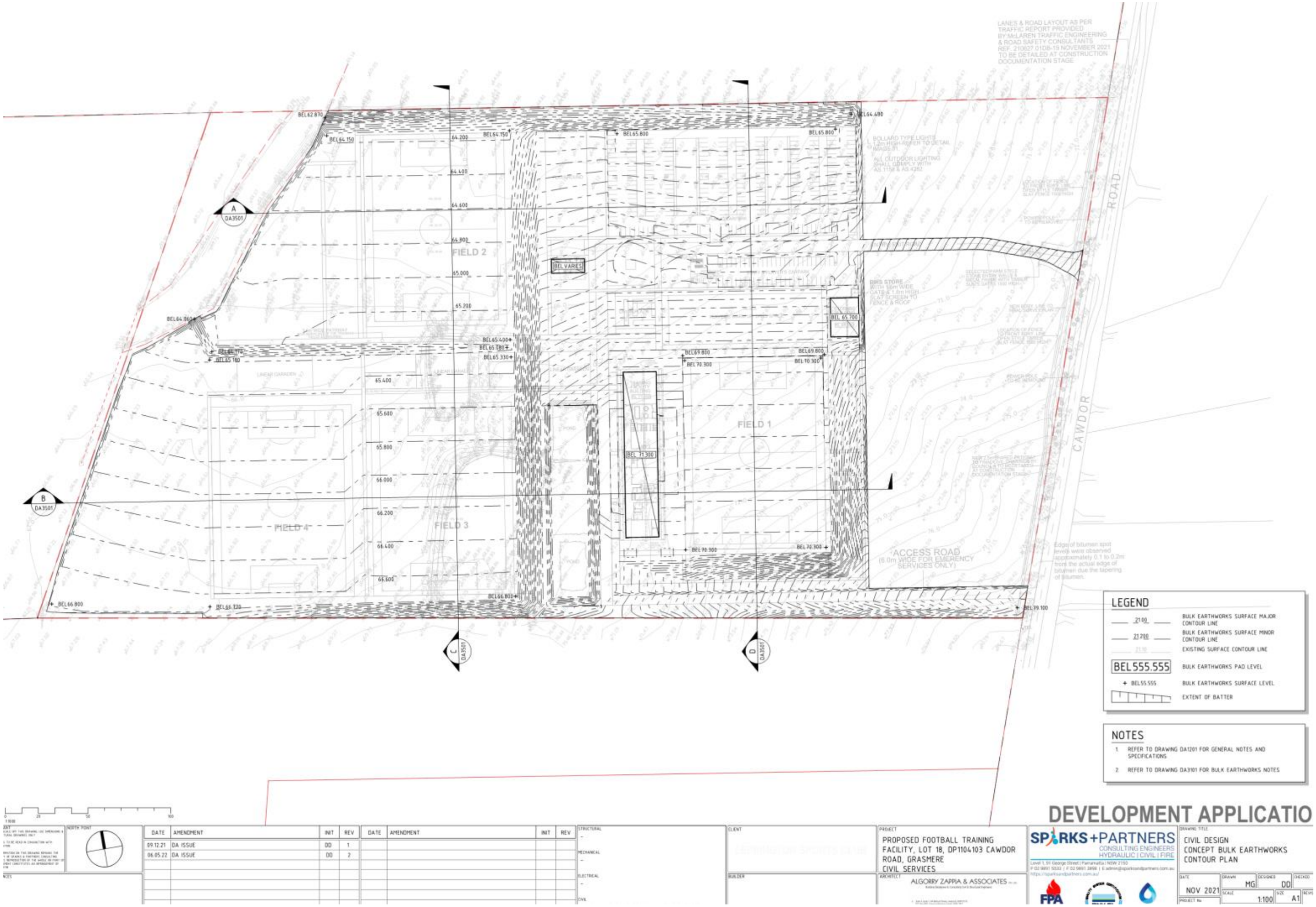
PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

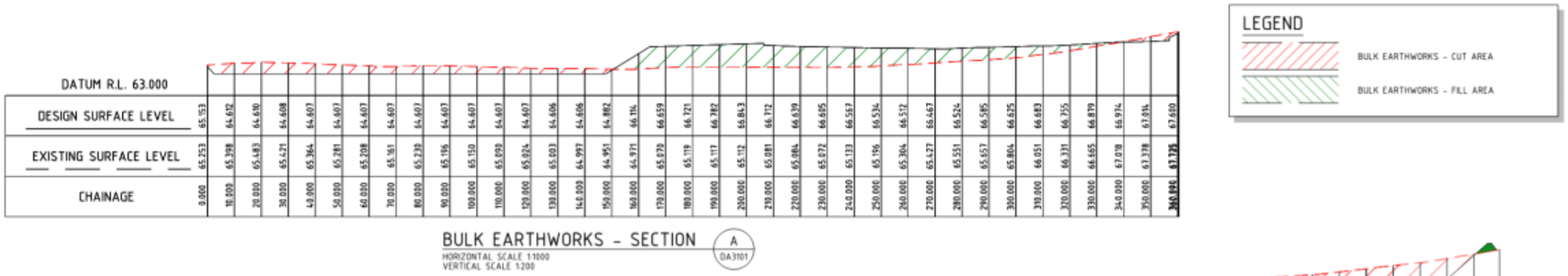
ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

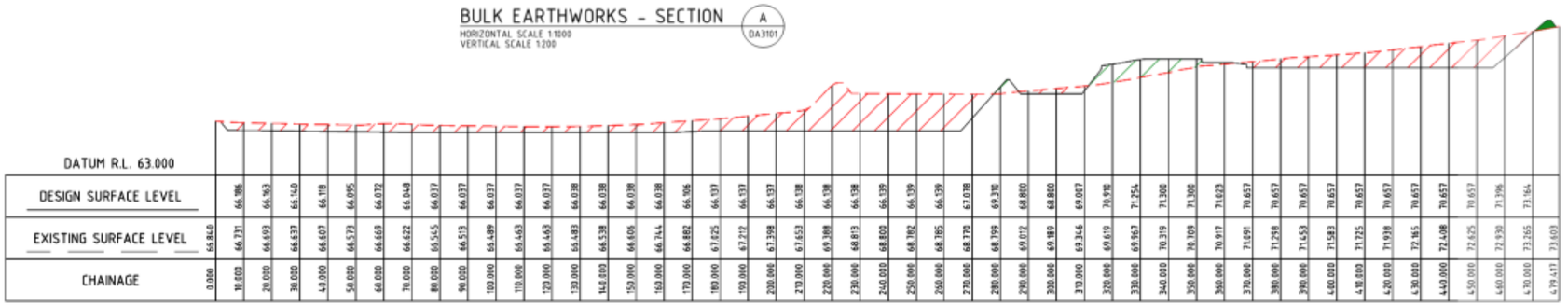
DRAWING TITLE: CIVIL DESIGN
CONCEPT BULK EARTHWORKS CUT TO FILL PLAN

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | SCALE: 1:1000m @A1 | SIZE: A1

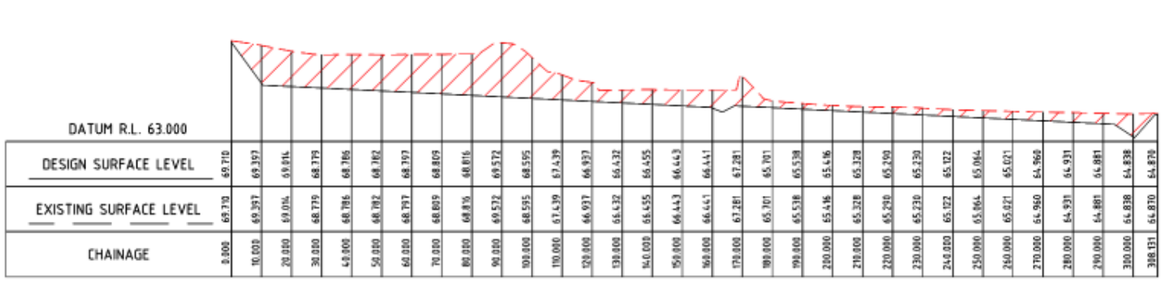

LANES & ROAD LAYOUT AS PER TRAFFIC REPORT PROVIDED BY McLAREN TRAFFIC ENGINEERING & ROAD SAFETY CONSULTANTS REF. 210927.01DS-19 NOVEMBER 2021 TO BE DETAILED AT CONSTRUCTION DOCUMENTATION STAGE
BOLLARD TYPE LIGHTS L.T.2m HIGH-REFER TO DETAIL IMAGE 01
ALL OUTDOOR LIGHTING SHALL COMPLY WITH AS 1158 & AS 4282
BBS STORE WITH 10m WIDE GATES & 1.8m HIGH SLAT SCREEN TO FENCE & ROOF
CAWDOR ROAD
FIELD 1
FIELD 2
FIELD 3
FIELD 4
BEL VARIES
BEL 65.700
BEL 71.300
ACCESS ROAD (6.0m WIDE FOR EMERGENCY SERVICES ONLY)
Edge of bitumen spot levels were observed approximately 0.1 to 0.2m from the actual edge of bitumen due the tapering of bitumen.
BEL62.870
BEL64.150
64.200
64.400
64.600
64.800
65.000
65.200
BEL64.060
BEL65.110
BEL65.180
65.400
65.600
65.800
66.000
66.200
66.400
66.600
BEL65.404
BEL65.080
BEL65.330
BEL65.800
BEL65.810
BEL64.480
BEL69.800
BEL70.300
BEL69.600
BEL70.300
BEL70.300
BEL70.300
BEL66.810
BEL66.810
BEL66.720
BEL79.100
A DA3501
B DA3501
C DA3501
D DA3501
LEGEND
2100 BULK EARTHWORKS SURFACE MAJOR CONTOUR LINE
2120 BULK EARTHWORKS SURFACE MINOR CONTOUR LINE
EXISTING SURFACE CONTOUR LINE
BEL555.555 BULK EARTHWORKS PAD LEVEL
+ BEL55.555 BULK EARTHWORKS SURFACE LEVEL
EXTENT OF BATTER
NOTES
1. REFER TO DRAWING DA1201 FOR GENERAL NOTES AND SPECIFICATIONS
2. REFER TO DRAWING DA3101 FOR BULK EARTHWORKS NOTES
DEVELOPMENT APPLICATIO
DATE AMENDMENT INIT REV
09.12.21 DA ISSUE DD 1
06.05.22 DA ISSUE DD 2
STRUCTURAL
MECHANICAL
ELECTRICAL
CIVIL
CLIENT
Lendlease Sports Co Pty Ltd
BUILDER
PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES
ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
DRAWING TITLE
CIVIL DESIGN
CONCEPT BULK EARTHWORKS CONTOUR PLAN
DATE NOV 2021
DRAWN MG
DESIGNED DD
CHECKED
SCALE 1:100
SIZE A1
REVIS



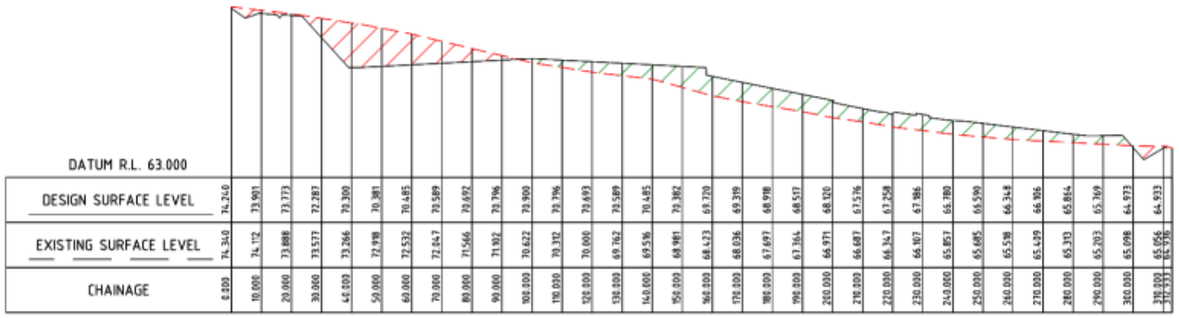
BULK EARTHWORKS - SECTION A
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200
DA3101



BULK EARTHWORKS - SECTION B
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200
DA3101



BULK EARTHWORKS - SECTION C
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200
DA3101



BULK EARTHWORKS - SECTION D
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200
DA3101

0 20 50 100
1:1000

DATE	AMENDMENT	INT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2

STRUCTURAL
MECHANICAL
ELECTRICAL
CIVIL

CLIENT
LEPPINGTON SPORTS CLUB

BUILDER

PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
Level 1, 91 George Street | Parramatta | NSW 2150
P 02 9891 5033 | F 02 9891 3898 | E admin@sparksandpartners.com.au
https://sparksandpartners.com.au/

DEVELOPMENT APPLICATIO

DRAWING TITLE
CIVIL DESIGN
CONCEPT BULK EARTHWORKS SECTIONS

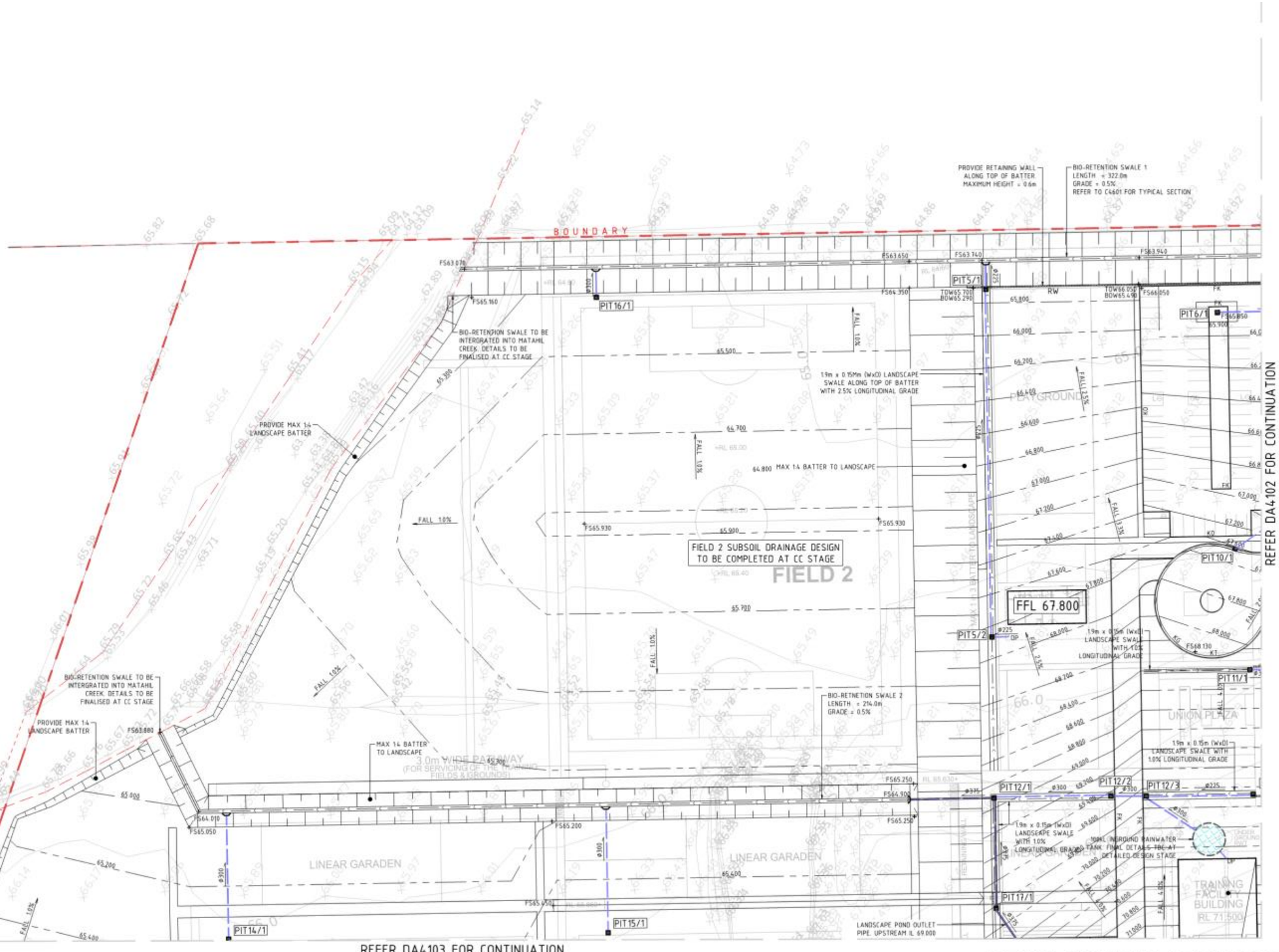
DATE NOV 2021 | DRAWN MG | DESIGNED DD | CHECKED
SCALE 1:100 | SIZE A1 | REVISION
PROJECT No

LEGEND

- PROPOSED STORMWATER PIPE (≤Φ300)
- PROPOSED STORMWATER PIPE (≥Φ375)
- PROPOSED STORMWATER INLET PIT (GRATED COVER)
- PROPOSED STORMWATER JUNCTION PIT (SEALED COVER)
- PROPOSED KERB INLET PIT
- PIT 1/1 — PIT TAG
- GTD — PROPOSED GRATED TRENCH DRAIN
- DRAINAGE SWALE
- Φ225 — PIPE FLOW DIRECTION AND SIZE
- HEADWALL
- RAINWATER TANK
- OVERLAND FLOW PATH
- DP — PROPOSED DOWNPIPE
- 20.000 — FINISHED SURFACE MAJOR CONTOUR LINE
- 20.200 — FINISHED SURFACE MINOR CONTOUR LINE
- FFL 555.555 — FINISHED FLOOR LEVEL OF PROPOSED BUILDING
- + FS55.555 — FINISHED SURFACE LEVEL
- + eRL55.555 — EXISTING REDUCED SURFACE LEVEL
- + TOW55.555 — TOP OF WALL LEVEL
- + BOW55.555 — BOTTOM OF WALL LEVEL
- + TOK55.555 — TOP OF KERB LEVEL
- + IOK55.555 — INVERT OF KERB LEVEL
- FALL 1.5% — DIRECTION OF SURFACE FALL
- KG — PROPOSED KERB AND GUTTER
- FK — PROPOSED FLUSH KERB
- KT — PROPOSED KERB AND TOE
- RW — RETAINING WALL
- EXTENT OF BATTER

NOTES

1. REFER TO DA1201 FOR NOTES AND SPECIFICATIONS
2. REFER TO DA4301 FOR STORMWATER CATCHMENT PLAN
3. REFER TO DA4701 FOR STORMWATER MANAGEMENT DETAILS
4. ALL INLET PITS ARE TO BE FITTED WITH OCEANGUARDS OR APPROVED SIMILAR FILTER BASKETS. REFER TO PIT SCHEDULE ON DRAWING DA4702
5. ALL INLET PITS WITHIN DRIVEWAY & CAR PARKING AREAS ARE TO BE FITTED WITH MYCELX OIL SOCKS FOR HYDROCARBON TREATMENT



DATE	AMENDMENT	INT	REV
26.11.21	ISSUE FOR COORDINATION	DD	1
09.12.21	DA ISSUE	DD	2
15.12.21	DA ISSUE	DD	3
06.05.22	DA ISSUE	DD	4
05.08.22	DA ISSUE	DD	5

DEVELOPMENT APPLICATIO

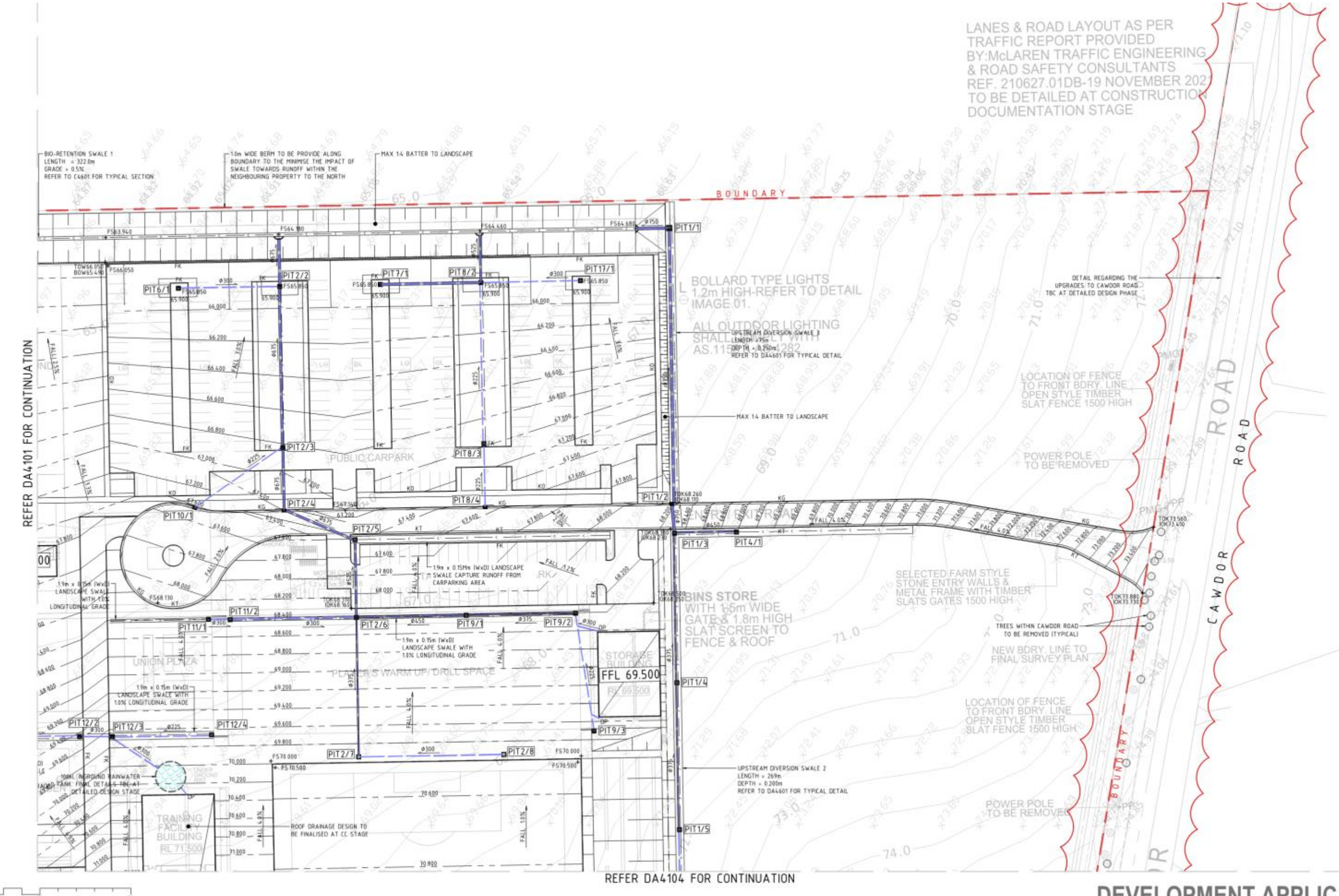
PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE CIVIL SERVICES

ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

DRAWING TITLE: CIVIL DESIGN CONCEPT STORMWATER & GRADING PLAN SHEET 1

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | CHECKED: | SCALE: 1:500m @A1 | SIZE: A1 | REVS:



DATE	AMENDMENT	INT	REV
26.11.21	ISSUE FOR COORDINATION	DD	1
09.12.21	DA ISSUE	DD	2
15.12.21	DA ISSUE	DD	3
06.05.22	DA ISSUE	DD	4
05.08.22	DA ISSUE	5	DD

DEVELOPMENT APPLICATIO

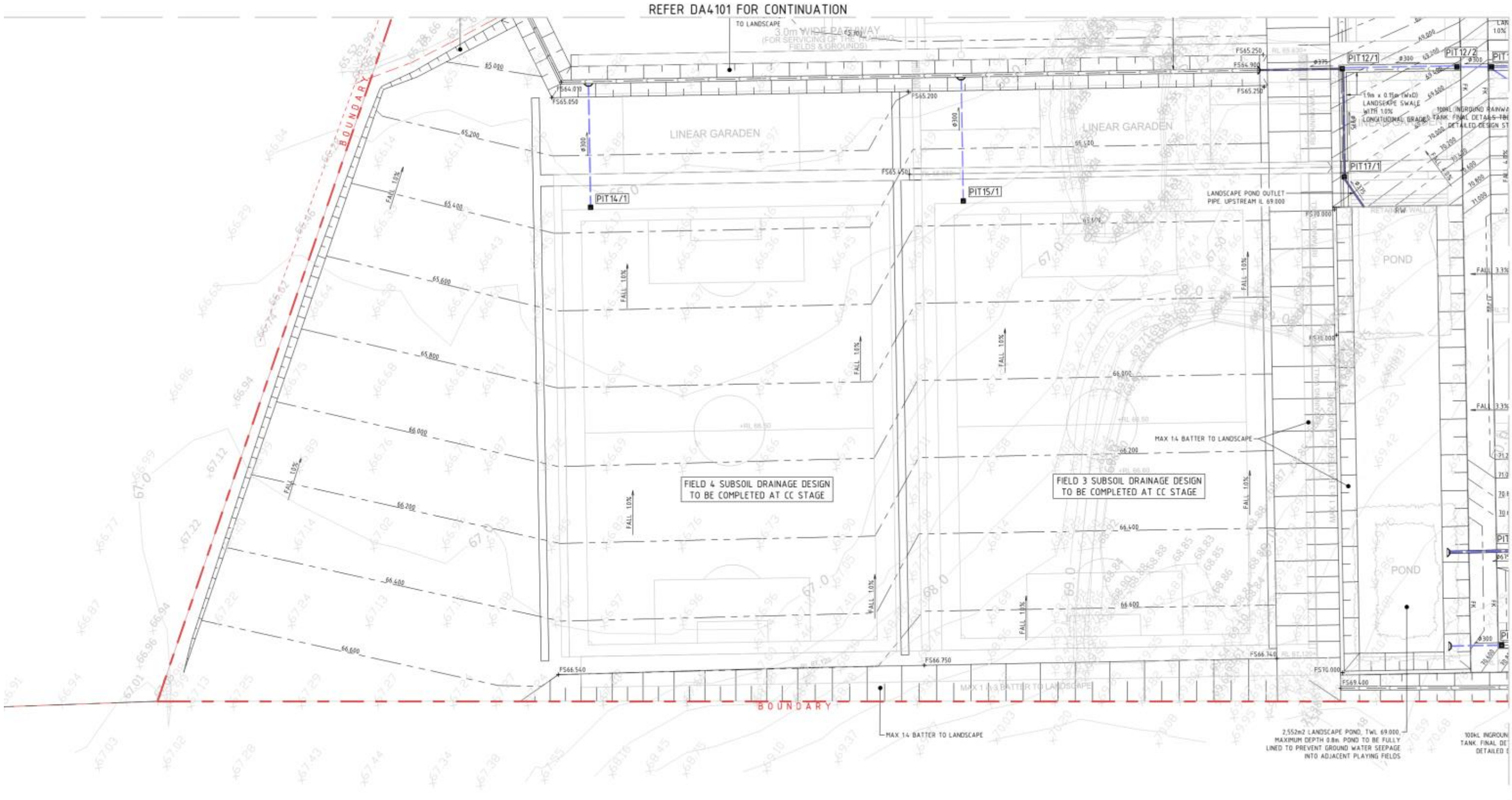
PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE CIVIL SERVICES

ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

DRAWING TITLE: CIVIL DESIGN CONCEPT STORMWATER & GRADING PLAN SHEET 2

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | SCALE: 1:500m @A1 | SIZE: A1



DATE	AMENDMENT	INIT	REV
26.11.21	ISSUE FOR COORDINATION	DD	1
09.12.21	DA ISSUE	DD	2
15.12.21	DA ISSUE	DD	3
06.05.22	DA ISSUE	DD	4
05.08.22	DA ISSUE	DD	5

DEVELOPMENT APPLICATIO

PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

ALGORRY ZAPPIA & ASSOCIATES

SPARKS + PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE

CIVIL DESIGN
CONCEPT STORMWATER & GRADING PLAN SHEET 3

DATE NOV 2021 | DRAWN MG | DESIGNED DD | CHECKED
SCALE 1:500m @A1 | SIZE A1

REFER DA4102 FOR CONTINUATION

REFER DA4103 FOR CONTINUATION

LANDSCAPE SWALE WITH 1.0% LONGITUDINAL GRADE

100kL INGROUND RAINWATER TANK. FINAL DETAILS TBC AT DETAILED DESIGN STAGE

TRAINING FACILITY BUILDING RL 71.500

FFL 71.500

POND

ROOF DRAINAGE DESIGN TO BE FINALISED AT CC STAGE

FIELD 1 SUBSOIL DRAINAGE DESIGN TO BE COMPLETED AT CC STAGE

CREST 71.700

LAWN TERRACE

UPSTREAM DIVERSION SWALE 2
LENGTH = 269m
DEPTH = 0.200m
REFER TO DA4601 FOR TYPICAL DETAIL

MAX 1:4 BATTER TO LANDSCAPE

PIT 12/2 PIT 12/3 PIT 12/4 PIT 9/3 PIT 2/7 PIT 2/8 PIT 1/5 PIT 1/6 PIT 1/7 PIT 3/1 PIT 3/2 PIT 3/3 PIT 3/4 PIT 3/5 PIT 13/1

LOCATION OF FENCE TO FRONT BDRY. LINE OPEN STYLE TIMBER SLAT FENCE 1500 HIGH

POWER POLE TO BE REMOVED

BOUNDARY

CAWDOR

NEW 2.5m SHARED PATHWAY TO FINAL CIVIL DRAWINGS BY COUNCIL & TO BE DETAILED AT CONSTRUCTION DOCUMENTATION STAGE

FUTURE 2.5m WIDE SHARED PATH

ACCESS ROAD
(6.0m WIDE FOR EMERGENCY SERVICES ONLY)

Edge of bitumen spot levels were observed approximately 0.1 to 0.2m from the actual edge of bitumen due the tapering of bitumen.

100kL INGROUND RAINWATER TANK. FINAL DETAILS TBC AT DETAILED DESIGN STAGE

UPSTREAM DIVERSION SWALE 1
LENGTH = 287m
GRADE = 3.0%
REFER TO DA4601 FOR TYPICAL DETAIL

6.0m WIDE EMERGENCY ACCESS ROAD

MAX 1:4 BATTER TO LANDSCAPE

1.9m x 0.15Mm (WxD) LANDSCAPE SWALE ALONG EDGE OF EMERGENCY ACCESS ROAD WITH MINIMUM 1.0% LONGITUDINAL GRADE

DATE	AMENDMENT	INIT	REV
26.11.21	ISSUE FOR COORDINATION	DD	1
09.12.21	DA ISSUE	DD	2
15.12.21	DA ISSUE	DD	3
06.05.22	DA ISSUE	DD	4
05.08.22	DA ISSUE	DD	5

DEVELOPMENT APPLICATIO

PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

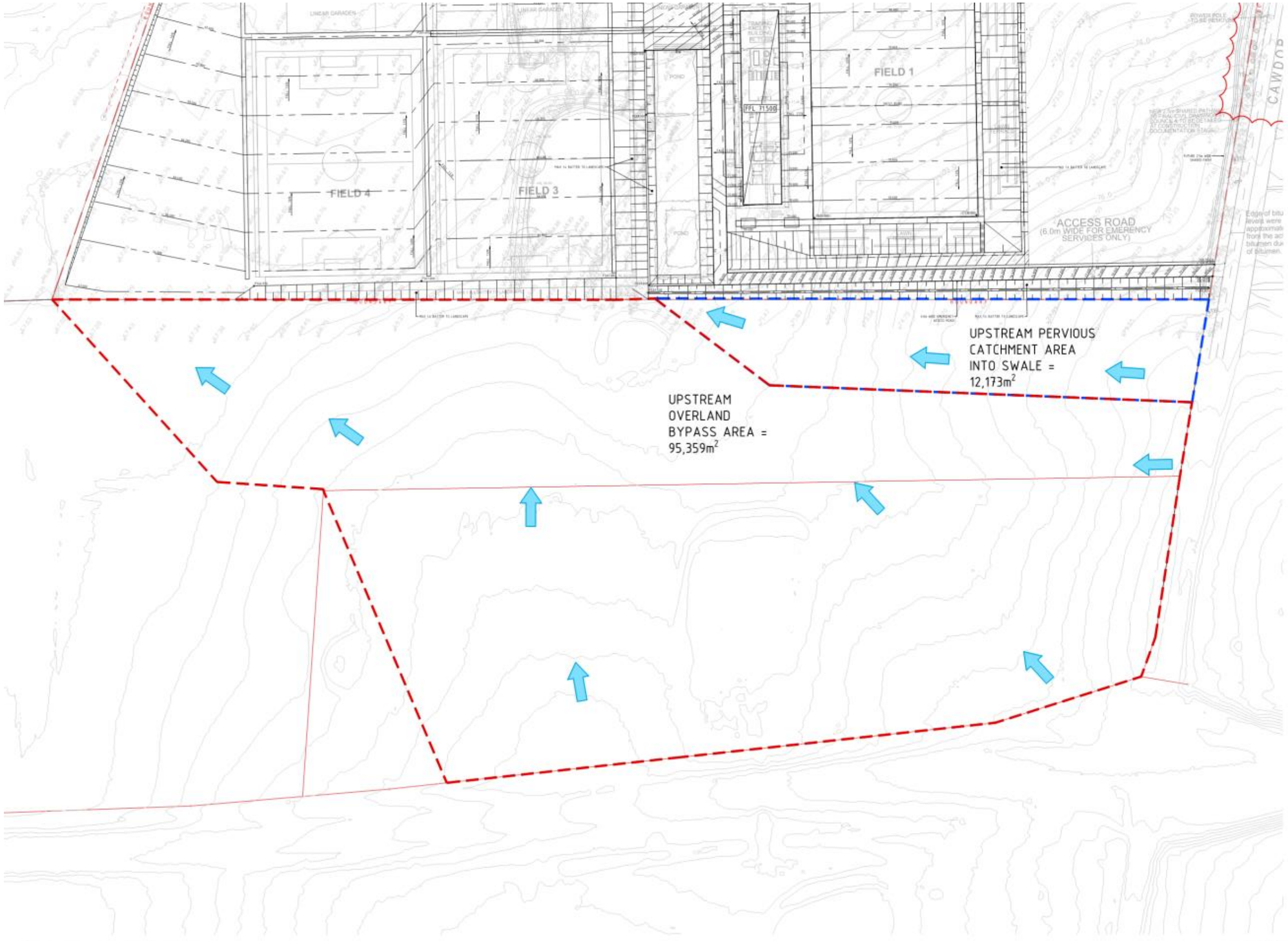
SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

DRAWING TITLE: CIVIL DESIGN
CONCEPT STORMWATER & GRADING PLAN SHEET 4

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | CHECKED | SCALE: 1:500m @A1 | SIZE: A1


LANES & ROAD LAYOUT AS PER TRAFFIC REPORT PROVIDED BY McLAREN TRAFFIC ENGINEERING & ROAD SAFETY CONSULTANTS REF: 210927.01DB-19 NOVEMBER 2021 TO BE DETAILED AT CONSTRUCTION DOCUMENTATION STAGE
FIELD 1
FIELD 2
FIELD 3
FIELD 4
CAWDOR ROAD
ACCESS ROAD
LEGEND
C1 - IMPERVIOUS CATCHMENT AREA TO SWALE 1 (15,269m²)
C2 - PERVIOUS CATCHMENT AREA TO SWALE 1 (71,330m²)
C3 - ROOF CATCHMENT AREA TO SWALE 1 (768m²)
C4 - IMPERVIOUS CATCHMENT AREA TO SWALE 2 (4,097m²)
C5 - LANDSCAPE CATCHMENT AREA TO SWALE 2 (53,464m²)
C6 - ROOF CATCHMENT AREA TO SWALE 2 (2,897m²)
C7 - LANDSCAPE BYPASS CATCHMENT AREA (28,513m²)
TOTAL CATCHMENT AREA = 176,336m²
NOTES
1. REFER TO DRAWING DA1201 FOR NOTES AND SPECIFICATIONS
DEVELOPMENT APPLICATIO
DATE AMENDMENT INIT REV
09.12.21 DA ISSUE DD 1
06.05.22 DA ISSUE DD 2
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES
ALGORRY ZAPPIA & ASSOCIATES
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
CIVIL DESIGN
CONCEPT PROPOSED CATCHMENT PLAN
NOV 2021
1:1000m @A1


LEGEND
176,338m² EXISTING PERVIOUS CATCHMENT AREA
NOTES
1. REFER TO DRAWING DA1201 FOR NOTES AND SPECIFICATIONS
DEVELOPMENT APPLICATIO
DATE
AMENDMENT
INIT
REV
06.05.22
DA ISSUE
DD
1
STRUCTURAL
MECHANICAL
ELECTRICAL
CIVIL
CLIENT
BUILDER
PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES
ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES
SPARKS+PARTNERS
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE
DRAWING TITLE
CIVIL DESIGN
CONCEPT EXISTING CATCHMENT PLAN
DATE
NOV 2021
DRAWN
MG
DESIGNED
DD
CHECKED
SCALE
1:1000m @A1
SIZE
A1



LEGEND

- EXTENT OF UPSTREAM PERVIOUS CATCHMENT INTO SWALE
- EXTENT OF BYPASS OVERLAND FLOW
- OVERLAND FLOW PATH

NOTES

1. REFER TO DA4601 FOR DIVERSION SWALE DETAILS

DATE	AMENDMENT	INIT	REV
06.05.22	DA ISSUE	DD	1

DEVELOPMENT APPLICATIO

PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE CIVIL SERVICES

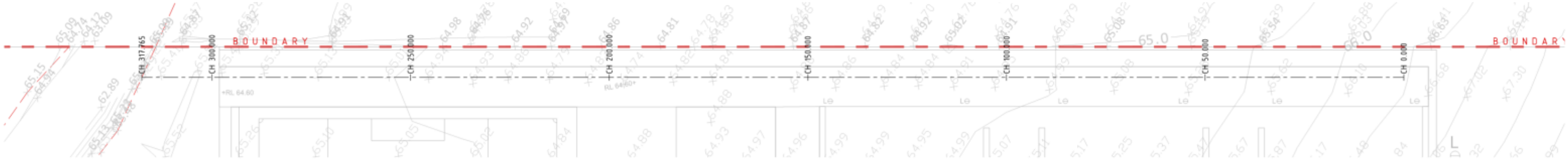
ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

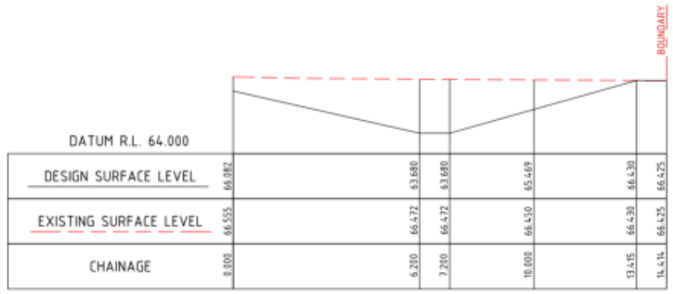
DRAWING TITLE: CIVIL DESIGN CONCEPT UPSTREAM CATCHMENT PLAN

DATE: NOV 2021 | DRAWN: MG | DESIGNED: DD | CHECKED | SCALE: 1:1000m @ A1 | SIZE: A1

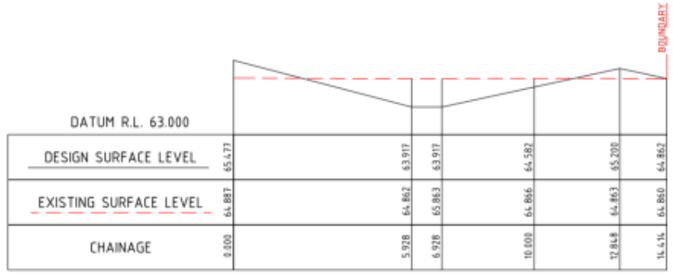
Attachment 6 **CLPP02**



ALIGNMENT - SWALE 1
SCALE 1:500



SWALE 1 - CH 0.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



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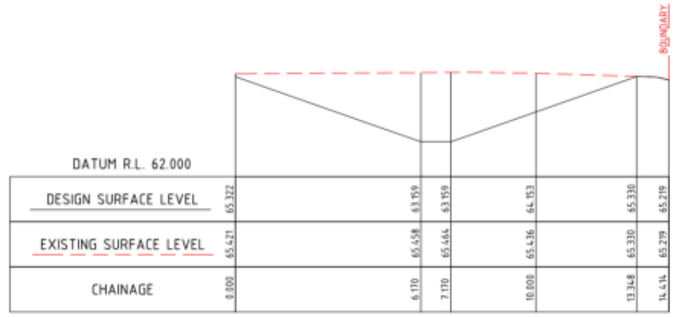
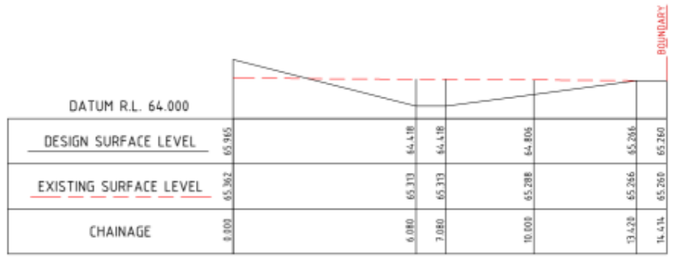
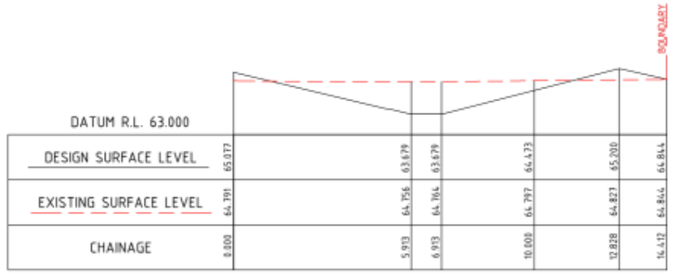
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



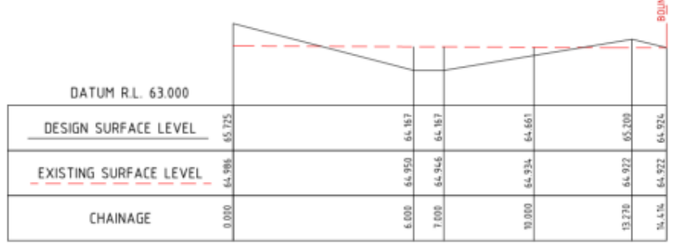
SWALE 1 - CH 300.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



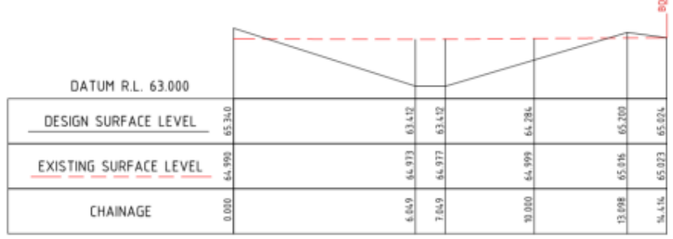
SWALE 1 - CH 50.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



SWALE 1 - CH 200.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



SWALE 1 - CH 100.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



SWALE 1 - CH 250.000
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100

AS SHOWN

NORTH POINT

DATE	AMENDMENT	INIT	REV
05.08.2022	DA ISSUE	DD	1

DATE	AMENDMENT	INIT	REV

STRUCTURAL –
MECHANICAL –
ELECTRICAL –
CIVIL

CLIENT
LEPPINGTON SPORTS CLUB

BUILDER

PROJECT
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

ARCHITECT
ALGORRY ZAPPIA & ASSOCIATES

SPARKS+PARTNERS
CONSULTING ENGINEERS
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DEVELOPMENT APPLICATIO

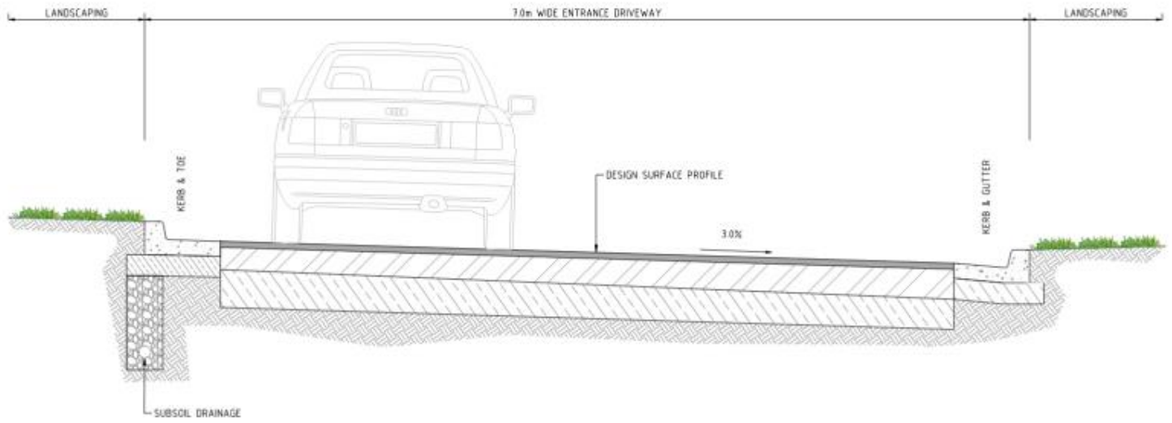
DRAWING TITLE
CIVIL DESIGN
CONCEPT SWALE 1 ALIGNMENT & CROSS SECTIONS

DATE	DRAWN	DESIGNED	CHECKED
NOV 2021	MG	DD	

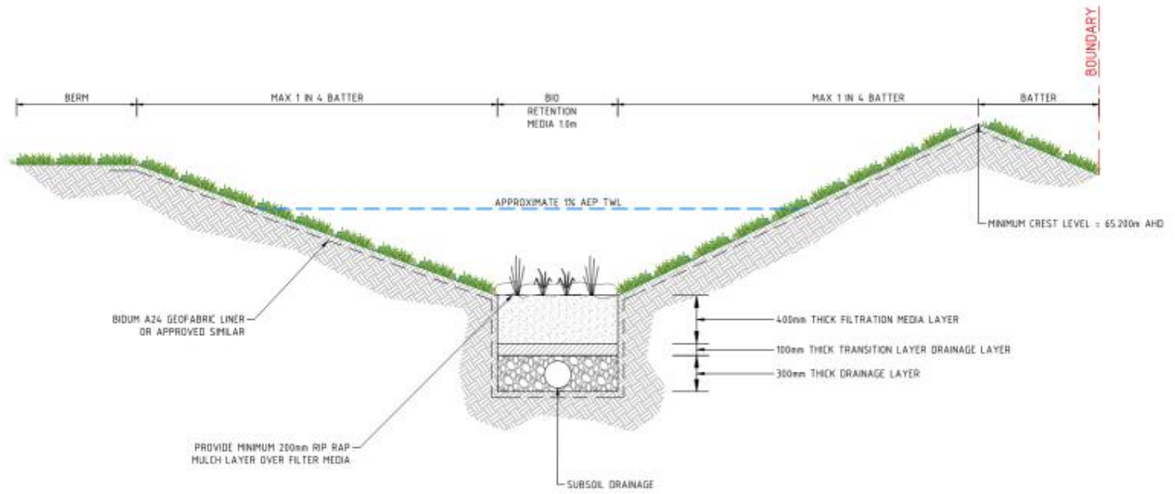
SCALE	SIZE	REVIS
1:100	A1	

PROJECT No

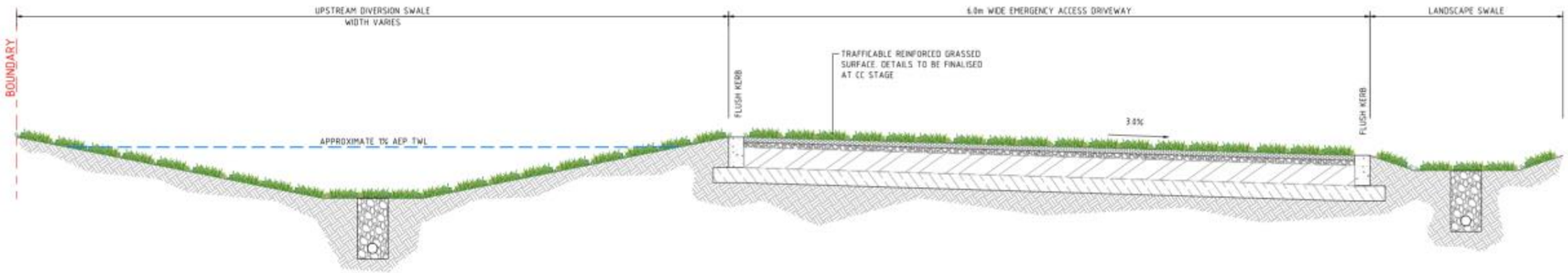
TYPICAL LANDSCAPE SWALE DETAIL
SCALE 1:50



7.0m WIDE ENTRANCE ROAD - TYPICAL SECTION
SCALE 1:50



TYPICAL BIO-RETENTION SWALE 1
SCALE 1:50



EMERGENCY ACCESS ROAD & UPSTREAM DIVERSION SWALE - TYPICAL DETAIL
SCALE 1:50

DATE	AMENDMENT	INT	REV
09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2
05.08.22	DA ISSUE	DD	3

DEVELOPMENT APPLICATIO

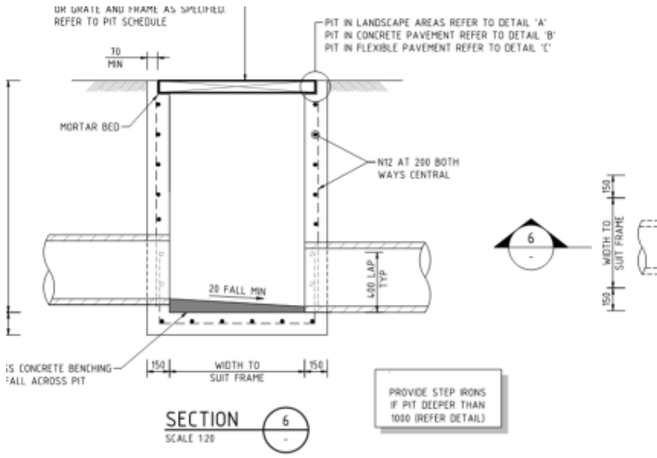
PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE
CIVIL SERVICES

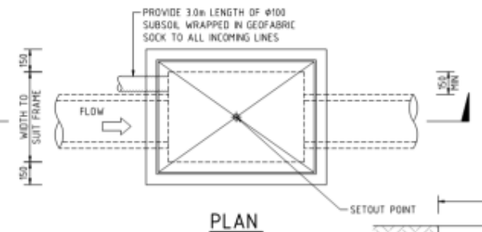
ALGORRY ZAPPIA & ASSOCIATES

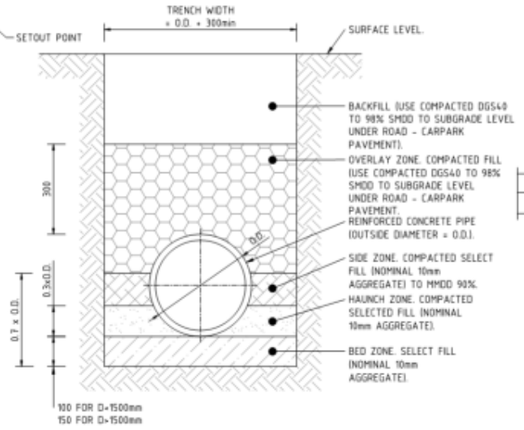
SPARKS+PARTNERS CONSULTING ENGINEERS HYDRAULIC | CIVIL | FIRE

CIVIL DESIGN
CONCEPT TYPICAL SECTIONS

NOV 2021 | MG | DD | AS SHOWN | A1

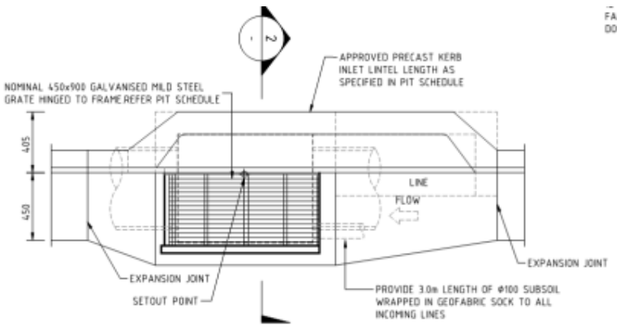


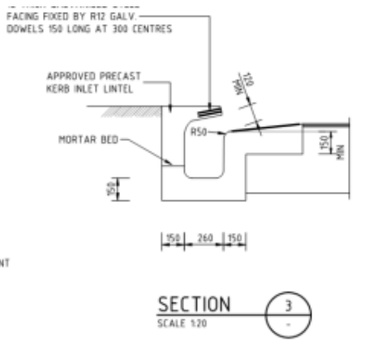


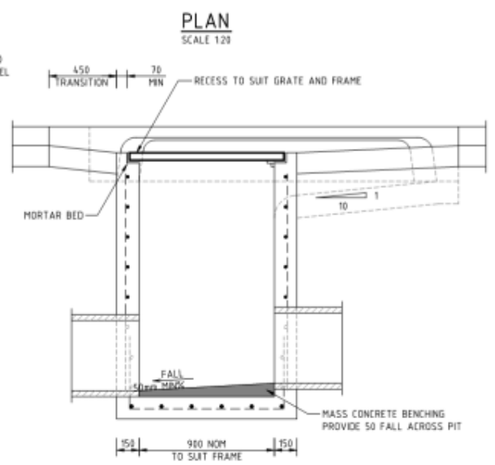


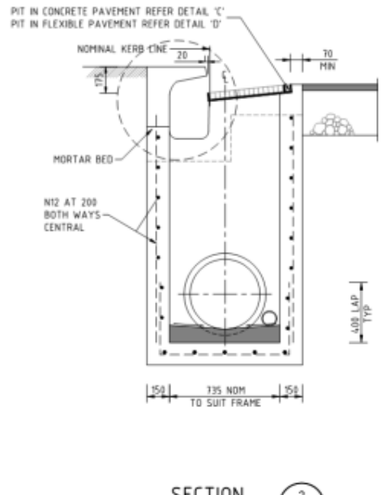
SURFACE INLET / JUNCTION PIT
(PIPE SIZES ≤ Φ450)

TYPICAL PIPE TRENCH (UNDER RIGID PAVEMENTS)
SCALE 1:10

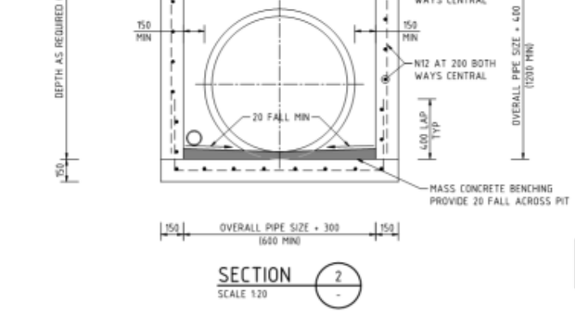


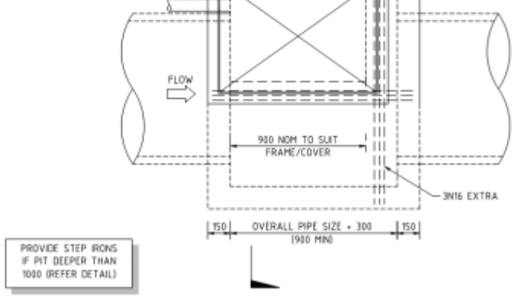




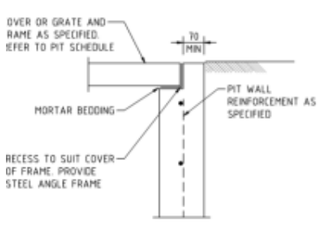


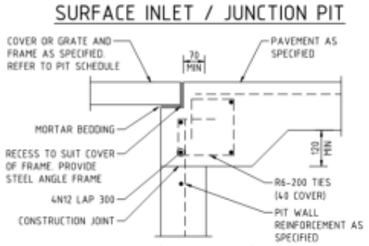
GRATED KERB INLET PIT (PIPE SIZE ≤ Φ750)
SCALE 1:20

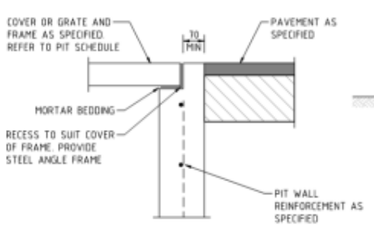


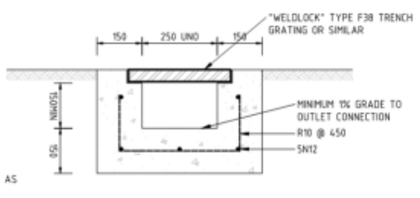


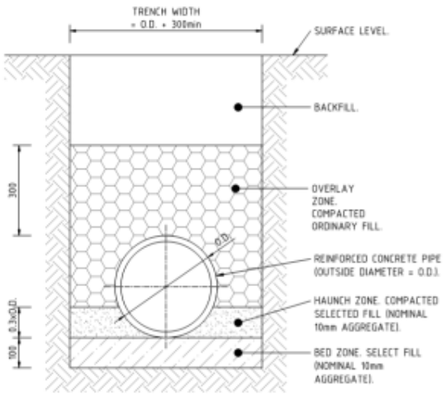
SURFACE INLET / JUNCTION PIT











NOTES

1. TRENCH WIDTH MAY NEED TO BE INCREASED SUBJECT TO ACHIEVING ADEQUATECOMPACTION.
2. MINIMUM PIPE COVER: NOT UNDER ROADS
   - = 300mm (NOT UNDER ROADS)
   - = 600mm FOR CLASS 2 PIPES (UNDER ROADS)
3. THE CONTRACTOR SHALL ENSURE THAT THE SHORING OF TRENCHES IS INSTALLED AS REQUIRED BY STATUTORY REQUIREMENTS.
4. ENSURE BACKFILLING COMPACTION MEETS THE FOLLOWING STANDARDS
   A) TRENCHES UNDER PAVED AREAS & BUILDINGS - 100% SMDD
   B) TRENCHES NOT UNDER PAVEMENTS - 90% SMDD

AS SHOWN

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09.12.21	DA ISSUE	DD	1
06.05.22	DA ISSUE	DD	2

STRUCTURAL - MECHANICAL - ELECTRICAL - CIVIL

CLIENT: LEPPINGTON SPORTS CLUB

PROJECT: PROPOSED FOOTBALL TRAINING FACILITY, LOT 18, DP1104103 CAWDOR ROAD, GRASMERE CIVIL SERVICES

BUILDER

ARCHITECT: ALGORRY ZAPPIA & ASSOCIATES

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DEVELOPMENT APPLICATIO

DRAWING TITLE: CIVIL DESIGN CONCEPT STORMWATER MANAGEMENT DETAILS SHEET 1

DATE	DRAWN	DESIGNED	CHECKED
NOV 2021	MG	DD	

SCALE: AS SHOWN | SIZE: A1 | REVIS

PROJECT No

PIT SCHEDULE

PIT No.	PIT TYPE	CHAMBER SIZE	COVER TYPE	COVER RL	COMMENTS
1/1	INLET PIT	1200x1200	CLASS 'B' GRATED	66.450	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
1/2	KERB INLET PIT	900x900	CLASS 'D' GRATED	68.110	PROVIDE 3.0m LINTEL
1/3	INLET PIT	900x900	CLASS 'B' GRATED	68.230	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
1/4	INLET PIT	900x900	CLASS 'B' GRATED	70.050	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
1/5	INLET PIT	900x900	CLASS 'B' GRATED	71.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
1/6	INLET PIT	900x900	CLASS 'B' GRATED	72.550	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
1/7	INLET PIT	900x900	CLASS 'B' GRATED	74.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
2/1	INLET PIT	900x900	CLASS 'B' GRATED	65.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
2/2	INLET PIT	900x900	CLASS 'B' GRATED	66.550	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
2/3	KERB INLET PIT	900x900	CLASS 'D' GRATED	67.300	PROVIDE 3.0m LINTEL
2/4	INLET PIT	900x900	CLASS 'B' GRATED	67.250	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
2/5	INLET PIT	900x900	CLASS 'B' GRATED	68.250	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
2/6	JUNCTION PIT	900x900	CLASS 'B' SEALED	69.900	
2/7	JUNCTION PIT	900x900	CLASS 'B' SEALED	69.900	
3/1	INLET PIT	900x900	CLASS 'B' GRATED	70.350	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
3/2	INLET PIT	900x900	CLASS 'B' GRATED	70.350	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
3/3	INLET PIT	900x900	CLASS 'B' GRATED	70.350	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
3/4	INLET PIT	900x900	CLASS 'B' GRATED	70.350	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
3/5	INLET PIT	900x900	CLASS 'B' GRATED	70.350	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
4/1	INLET PIT	900x900	CLASS 'B' GRATED	69.000	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
5/1	INLET PIT	900x900	CLASS 'B' GRATED	64.950	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
5/2	INLET PIT	900x900	CLASS 'B' GRATED	67.750	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
6/1	INLET PIT	900x900	CLASS 'B' GRATED	65.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
7/1	INLET PIT	900x900	CLASS 'B' GRATED	65.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
8/1	INLET PIT	900x900	CLASS 'B' GRATED	65.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
8/2	INLET PIT	900x900	CLASS 'B' GRATED	65.850	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
8/3	INLET PIT	900x900	CLASS 'B' GRATED	66.800	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
8/4	KERB INLET PIT	900x900	CLASS 'D' GRATED	67.550	PROVIDE 3.0m LINTEL
9/1	INLET PIT	900x900	CLASS 'B' GRATED	68.250	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
9/2	INLET PIT	900x900	CLASS 'B' GRATED	68.250	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
9/3	INLET PIT	900x900	CLASS 'B' GRATED	69.800	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
10/1	KERB INLET PIT	900x900	CLASS 'D' GRATED	67.460	PROVIDE 3.0m LINTEL
11/1	INLET PIT	900x900	CLASS 'B' GRATED	68.250	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
11/2	INLET PIT	900x900	CLASS 'B' GRATED	68.150	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
12/1	INLET PIT	900x900	CLASS 'B' GRATED	68.750	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
12/2	INLET PIT	900x900	CLASS 'B' GRATED	69.300	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
12/3	INLET PIT	900x900	CLASS 'B' GRATED	69.530	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
12/4	INLET PIT	900x900	CLASS 'B' GRATED	69.530	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
13/1	INLET PIT	900x900	CLASS 'B' GRATED	70.450	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
14/1	INLET PIT	900x900	CLASS 'B' GRATED	65.920	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
15/1	INLET PIT	900x900	CLASS 'B' GRATED	65.920	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
16/1	INLET PIT	900x900	CLASS 'B' GRATED	64.620	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK
17/1	INLET PIT	900x900	CLASS 'B' GRATED	69.650	FITTED WITH AN OCEAN PROTECT 'OCEANGUARD' PIT INSERT & MYCELX OIL SOCK

AS SHOWN

NORTH POINT

NOTES

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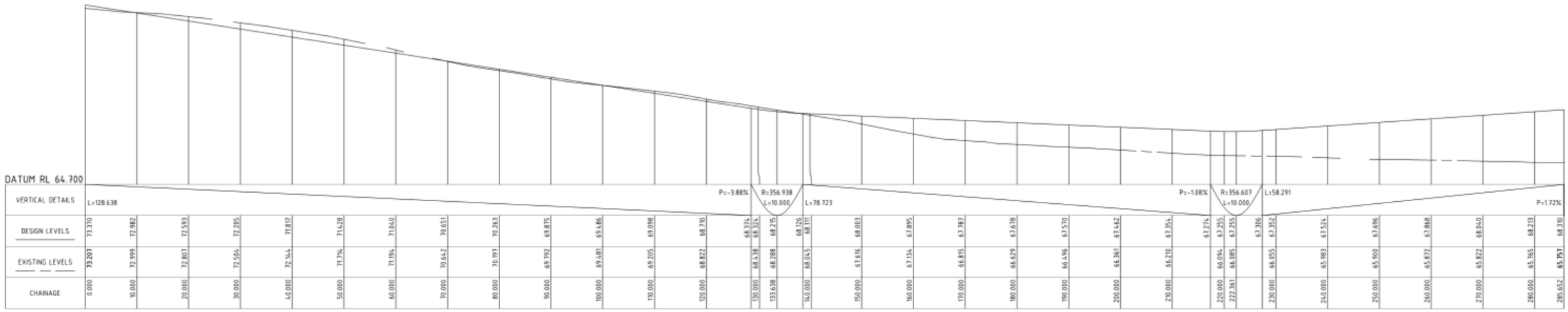
DRAWING TITLE
CIVIL DESIGN
CONCEPT STORMWATER MANAGEMENT DETAILS SHEET 2

DATE NOV 2021 | DRAWN MG | DESIGNED DD | CHECKED
SCALE NTS | SIZE A1 | REVISION
PROJECT No

Attachment 6 **CLPP02**



LONGITUDINAL SECTION - ENTRANCE ROAD - MC01

HORIZONTAL SCALE 1:400
VERTICAL SCALE 1:100

AS SHOWN

NORTH POINT

NOTES

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06.05.22	DA ISSUE	DD	2

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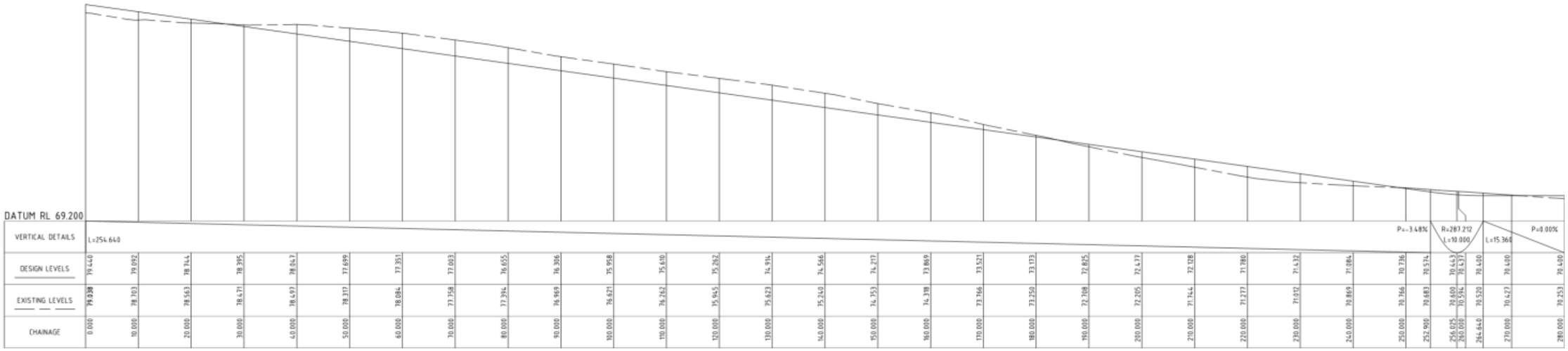
DRAWING TITLE
CIVIL DESIGN
CONCEPT LONGITUDINAL ROAD SECTIONS SHEET 1

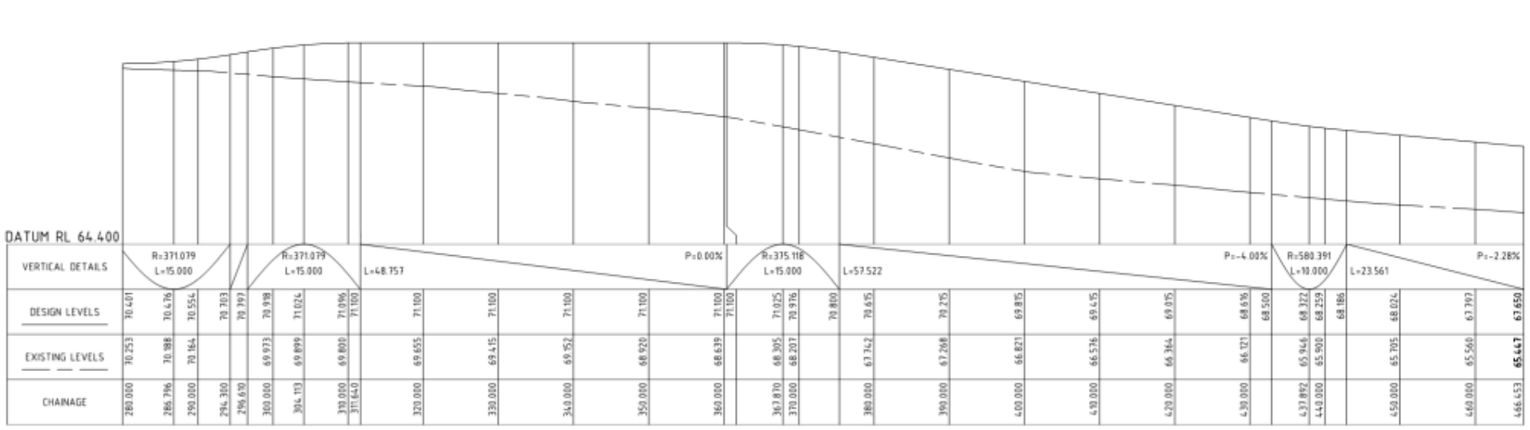
DATE	DRAWN	DESIGNED	CHECKED
NOV 2021	MG	DD	

SCALE 1:100 SIZE A1 REVIS

PROJECT No



LONGITUDINAL SECTION - EMERGENCY ACCESS ROAD - MC02
HORIZONTAL SCALE 1:400
VERTICAL SCALE 1:100



LONGITUDINAL SECTION - EMERGENCY ACCESS ROAD - MC02
HORIZONTAL SCALE 1:400
VERTICAL SCALE 1:100

AS SHOWN

NORTH POINT

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DRAWING TITLE
CIVIL DESIGN
CONCEPT LONGITUDINAL ROAD SECTIONS SHEET 2

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NOV 2021	MG	DD	

SCALE	SIZE	REVIS
1:100	A1	

PROJECT No

Attachment 6 **CLPP02**


MACARTHUR FOOTBALL CLUB
TRAINING FACILITY
LANDSCAPE DA REPORT
FOR LEPPINGTON SPORTS CLUB
MCGREGOR COXALL

Project Client: Leppington Sports Club
Project Name: 186 Cawdor Rd
Project Number: 0916SYD

Revision:	Status:	Date:	by:	Checked:
1	DA Report	14/12/21	MK/TM	JM
2	DA Report - minor edits	20/12/21		JM
3	DA Report - after Council	17/05/22	AA	JM

Studio: Sydney
Report Contact: Min Kwon
Team: ALGORRY ZAPPIA & ASSOCIATES

MCGREGOR COXALL | LANDSCAPE ARCHITECTURE URBANISM ENVIRONMENT BIOCITY RESEARCH

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Contents

Contents

LANDSCAPE DESIGN

MASTER PLAN

The landscape design aims to respond to the vision of creating a benchmark project of this kind. A design that provides functional facilities to the club users whilst responds to the context character of a rural open parkland.

The facilities not only includes the four training fields, the main building and the carparking but a series of gardens, playground, BBQ area and other gathering spaces that extend from the central water spine.

LANDSCAPE ELEMENTS

SUSTAINABLE CAR PARK

The design intention is to use the site topography and to limit the amount of drainage infraestructure associated with the car paking. The amount of hardscape will be reduced by introducing trees on between parking bays and by capturing the water runoff in open swales.

WSUD

The Water Sensitive Urban Design strategy aims to utilise rainfall runoff to passive irrigate landscape zones and filter nutrients as the water permeates through the landscape areas.

The strategy seeks the landscape to change when there is a rainfall event by capture the water before letting it go to the planted areas.

PLAYGROUND

It is important to provide a wide range of activities to emphasis the sense of community. The playground character will borrow from the natural and rural aspects of the site.

LINEAR GARDEN

The combination of water, shade and seasonal planting will provide cool microclimates to sit and gather all year round. The plant selection and position will reinterpret the scale and space, openness and closing of this type of character.

MATERIAL PALETTE

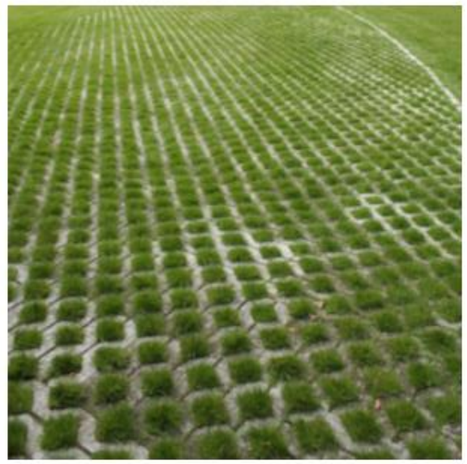
The palette is a very simple selection that is crafted and presented depending on the scale and use of the space. Robust, natural and low maintenance materials will form the palette in order to achieve the rural landscape look and feel.

CONCRETE

DECOMPOSED GRANITE

TIMBER

STEEL



REINFORCED GRASS

PLANTING PALETTE

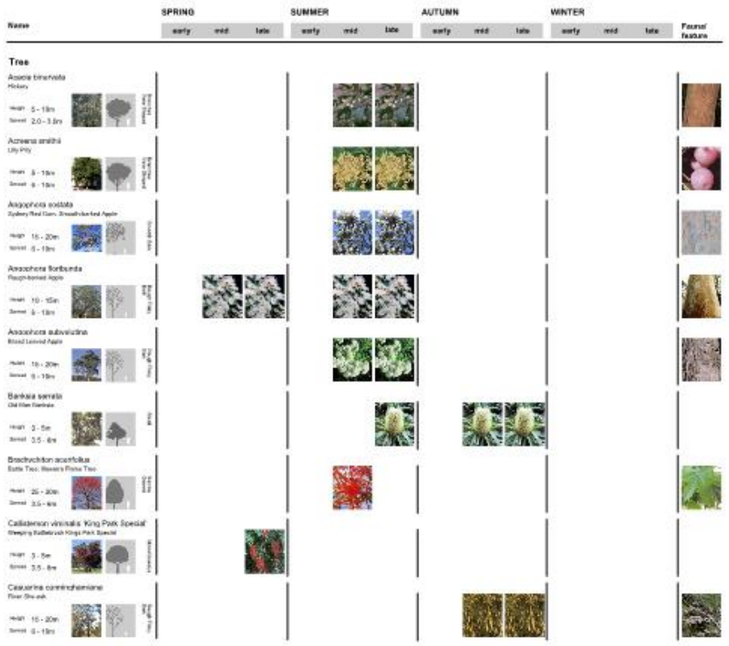
The following planting list has been prepared in accordance with the Tree Management Policy P1.0012.2 from Camden Council. This list provides a guideline for the design team that will be refined during the Design Development Phase when the Planting Plans are developed.

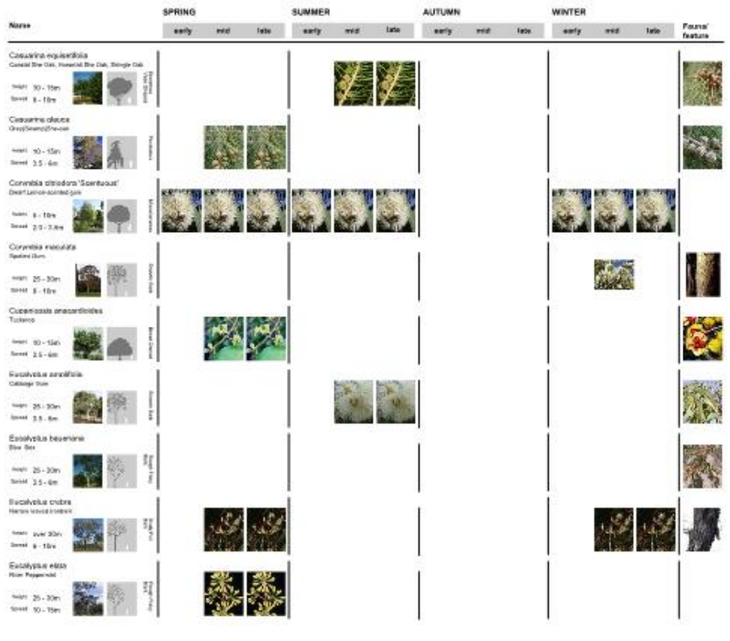
The GTE3677 - Environmental Report indicates that the western area of the site may be affected by salinity. Therefore, we have included in this list the species identified in the Tree Policy Document 'SALT TOLERANT TREES, SHRUBS AND GROUND COVERS' prepared by Council.

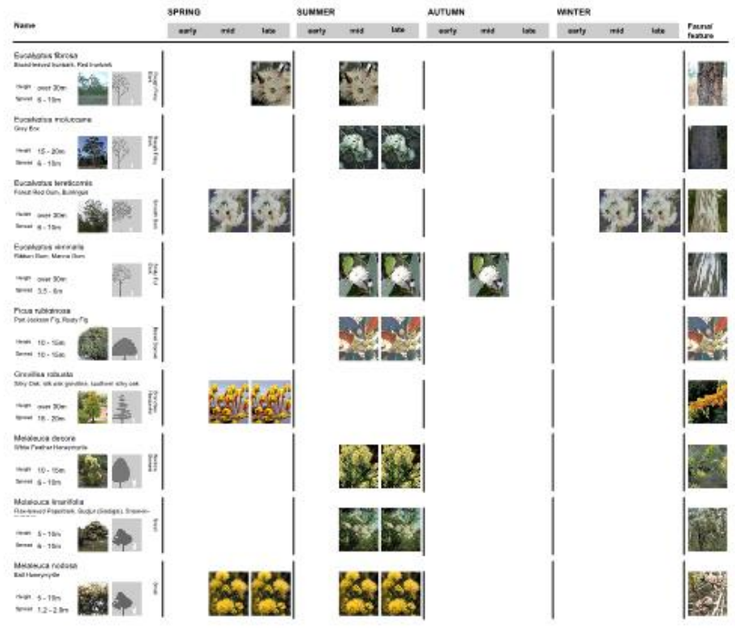
To accommodate the existing site conditions the recommendation for turf grass is the TifTuf Hybrid Bermuda. It provides a very high drought resistance and performs very well in soils affected by salinity.

https://lawnsolutionsaustralia.com.au/grass-type/tiftuf/

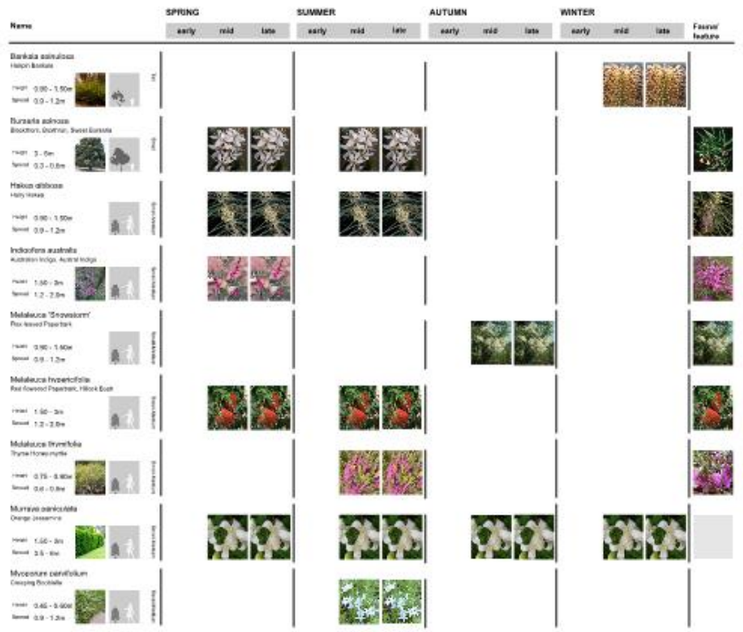
With this information, the team will work in the next phases on the irrigation and water management







PLANTING PALETTE



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