

Attachments

Ordinary Council Meeting

Camden Council

Administration Centre

70 Central Avenue

Oran Park

10 December 2024



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Camden Council Planning Proposal

Pondicherry Precinct

Version 6

November 2024

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Pondicherry Precinct Planning Proposal

Document Register

Version	Date	Detail	Council Reference
1	March 2021	Original Planning Proposal lodged by proponent	21/107424
2	May 2022	Revised Planning Proposal prepared by proponent in response to request for further information by Council	22/187005
3	November 2022	Revised Planning Proposal prepared by proponent in response to Camden Local Planning Panel advice.	22/512414
4	December 2022	Planning Proposal for Gateway Determination prepared by Camden Council	22/581769
5	April 2024	Planning Proposal amended for Public Exhibition prepared by Camden Council	24/160355
6	November 2024	Planning Proposal amended post exhibition prepared by Camden Council.	24/559770



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Pondicherry Precinct Planning Proposal

Executive Summary

The Planning Proposal (the Proposal) seeks to rezone land for urban development within the Camden Local Government Area (LGA) comprising the Pondicherry Precinct of the South West Growth Area (SWGA), as shown in Figure 1. This report relates to the major portion of the Pondicherry Precinct, with a smaller part of the Precinct rezoned in March 2022 via a separate Planning Proposal (Tranche 41).

Pondicherry comprises 242ha of land and will accommodate a population of up to 8,830 people, forming a natural extension of the Oran Park project which offers a high level of self-containment through a range of living options, schools, shops, community facilities and services, open space, and employment opportunities.

The proposal seeks to rezone the site to urban development typical of areas of the Growth Centre already rezoned, including R2 Low Density Residential, R3 Medium Density Residential, B1 Neighbourhood Centre, C2 Environmental Conservation, RE1 Public Recreation and SP2 Infrastructure as well as providing appropriate controls relating to minimum lot size, height, density, and biodiversity. The proposal will require amendment to the Camden Local Environmental Plan 2010 (CLEP 2010), facilitated through an amendment under the State Environmental Planning Policy (Precincts – Western Parkland City) 2021 (Western Parkland City SEPP).

Initial community notification of the Proposal was undertaken in March 2022 which included consultation with key public and state agencies. The Proposal has been considered by the Camden Local Planning Panel in June 2022 and advice was provided. The Proposal has been amended to incorporate feedback and advice from these sources.

The amended Planning Proposal was endorsed by Council to proceed to a Gateway Determination on 13 December 2022.

A conditional Gateway Determination was issued by the NSW Department of Planning, Housing and Infrastructure on 24 July 2023.

In accordance with the Gateway Determination the draft Planning Proposal was publicly exhibited for 28 days from 9 April to 6 May 2024. A total of 29 submissions were made on the proposal. 14 submissions were received from community members, 3 in support, 4 objecting, 6 provided information or suggested amendments for consideration and 1 has been withdrawn. 15 submissions were received by public authorities. In accordance with the Gateway Determination agency consultation was undertaken with:

- NSW Rural Fire Service;
- Emergency services: NSW Police NSW Ambulance, NSW Fire & Rescue;
- State Emergency Services;
- NSW Department of Education – School Infrastructure;
- Department of Climate Change, Energy, the Environment and Water (DCCEEW) – Biodiversity and Science Group;
- DCCEEW – Licensing & Approvals;
- DCCEEW – Heritage NSW;
- Transport for NSW;
- Sydney Water; and
- NSW EPA.

Pondicherry Precinct Planning Proposal

In addition to the above agencies identified in the Gateway Determination, Council consulted with:

- NSW Health – South West Sydney Local Health District;
- Jemena;
- Transgrid; and
- Endeavour Energy.

Of the above, 15 agencies provided advice on the Planning Proposal by way of submission during the public exhibition period. Advice was not received from NSW Police.

The Planning Proposal has been updated in response to public exhibition and agency consultation as follows:

- Inclusion of an addendum to the Social Infrastructure Assessment; and
- Inclusion of additional information responding to the Connecting with Country framework.

Amendments to the Planning Proposal as a result of community or public agency consultation include:

- Amendment of the proposed zoning of the lake to C2 Environmental Conservation from SP2 Infrastructure.

Amendments to the draft Pondicherry DCP Schedule to the Camden Growth Centre Precincts DCP as a result of community or public agency consultation include:

- Addition of controls relating to Aboriginal Cultural Heritage to promote integration of Connecting with Country principles within the future development;
- Amendment to controls relating to odour to appropriately consider odour impacts from an existing resource recovery facility at 751 The Northern Road Bringelly at the development application stage; and
- Addition of controls relating to Biodiversity and Riparian Corridors to ensure that riparian and biodiversity connectivity is provided from Wianamatta South Creek to upstream tributaries by providing riparian style embellishment to the edges of the proposed lake.

The Planning Proposal has been prepared in accordance with Section 3.33 of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) and guidelines published by the NSW Department of Planning, Industry & Environment (NSW DPIE), namely 'Local Environmental Plan Making Guideline (August 2023) to ensure all matters requiring consideration are appropriately addressed.

The Planning Proposal has also been prepared in accordance with the conditions of the Gateway Determination.

Pondicherry Precinct Planning Proposal



Figure 1: Site Context

Pondicherry Precinct Planning Proposal

Introduction

This Planning Proposal (the Proposal) seeks to rezone land for urban development within the Camden Local Government Area (LGA) comprising the Pondicherry Precinct of the South West Growth Area (SWGA).

Background

In March 2021, Greenfields Development Company No.2 Pty Ltd (GDC) lodged a draft Planning Proposal on behalf of the land owned by Leppington Pastoral Company Pty Ltd.

Initial notification of the draft Proposal was undertaken for 14 days between 5 May to 19 May 2021. No submissions were received from surrounding landowners.

Key state and public agencies were also consulted during the preliminary assessment phase of the draft proposal and eight agency referrals were received.

The draft Planning Proposal was considered by the Camden Local Planning Panel (CLPP) on 21 June 2022 and the CLPP supported Council officers' recommendations for the precinct. A copy of the CLPP's minutes is provided as **Appendix 9**.

Feedback from initial notification, agency consultation and the CLPP has informed the final Proposal, specialist studies and the draft Development Control Plan. The Planning Proposal was amended in November 2022 to reflect those recommendations.

The draft Planning Proposal was reported to Council on 13 December 2022. At this meeting, Council resolved (in summary) to endorse the amended Planning Proposal and forward it to DPIE for Gateway Determination. A copy of the Pre-Gateway Council meeting report and minutes are provided as **Appendix 10**.

A conditional Gateway Determination was issued by the NSW Department of Planning, Housing and Infrastructure on 24 July 2023. A copy of the Gateway Determination is provided as **Appendix 4**.

The Gateway Determination included conditions which required several updates to the Planning Proposal to correct typographical errors and to reflect up to date advice from DPHI on planning matters. The Gateway Determination also required an updated Flooding and Water Cycle Management Study and associated modelling to be provided to Council for review. This additional flooding review was completed in March 2024.

Public Exhibition

In accordance with the Gateway Determination the draft Planning Proposal was publicly exhibited for 28 days from 9 April to 6 May 2024. Adjoining landowners and the following state agencies were consulted with in accordance with the Gateway Determination:

- NSW Rural Fire Service;
- Emergency services: NSW Police NSW Ambulance, NSW Fire & Rescue;
- State Emergency Services;
- NSW Department of Education – School Infrastructure;
- Department of Climate Change, Energy, the Environment and Water (DCCEEW) – Biodiversity and Science Group;

Pondicherry Precinct Planning Proposal

- DCCEEW – Licensing & Approvals;
- DCCEEW – Heritage NSW;
- Transport for NSW;
- Sydney Water; and
- NSW EPA.

In addition to the above agencies identified in the Gateway Determination, Council consulted with:

- NSW Health – South West Sydney Local Health District;
- Jemena;
- Transgrid; and
- Endeavour Energy.

Of the above, 15 agencies provided advice on the Planning Proposal by way of submission during the public exhibition period. Advice was not received from NSW Police.

Several concerns were raised by agencies, notably:

- DCCEEW – Licensing & Approvals identified concerns regarding the compliance of the proposed lake system with the guidelines for riparian corridors on waterfront land, and broader riparian and biodiversity connectivity to South Creek.
- DCCEEW – Biodiversity & Science Group identified concerns regarding the proposed amendments to biodiversity certification mapping.
- DCCEEW – Heritage NSW identified concerns regarding the proposals consideration of the Connecting with Country Framework; and
- NSW EPA identified concerns regarding odour impacts from an adjoining EPA licensed resource recovery facility at 751 The Northern Road Bringelly.

14 submissions were received from community members, 3 in support, 4 objecting, 6 provided information or suggested amendments for consideration and 1 has been withdrawn. Concerns raised in community submissions included:

- Provision of open space and native vegetation planting.
- Growing demand for public schools and lack of provision across the South West Growth Area.
- Lack of public hospital facilities in Camden.
- Inadequate social services such as schools, hospitals and emergency services to meet the needs of the growing population.
- The naming of the Precinct.
- Potential odour impacts from ongoing operation from existing resource recovery facility at 751 The Northern Road Bringelly.

Gateway Conditions and Finalisation

The Planning Proposal has been prepared in accordance with the conditions of the Gateway Determination. An assessment of this is provided in **Appendix 39**.

Pondicherry Precinct Planning Proposal

Site Location

The Pondicherry Precinct is located within the central-west portion of the SWGA within the suburb of Oran Park in the Camden LGA. The Precinct adjoins the existing Oran Park Precinct to the south, South Creek to the east and The Northern Road to the west. The northern boundary adjoins existing farmland which forms part of the future South Creek West Precinct of the SWGA.

The Precinct encompasses approximately 242ha of existing rural land and is located approximately 30km south-west of Parramatta and 10km to the south of the Western Sydney Aerotropolis. The Precinct contains several post-war farmhouses with no public roads or social infrastructure within the Precinct.

The Pondicherry land holding is currently zoned *RU1 Primary Production* under the *Camden Local Environmental Plan 2010* and is subject to a minimum lot size control of 40ha and a maximum building height of 9.5m. The existing land uses within the Precinct are agricultural including dairy farming and crop production with several rural workers dwellings present. The existing site is typical of the surrounding land uses to the north and west which continue to be utilised generally for commercial farming practices. To the east of the site is the small lot rural subdivision of Catherine Field.

The site area subject to this Planning Proposal comprises land within both the Pondicherry and Oran Park Precincts and includes a total of thirteen properties in the ownership of the single landowner, Leppington Pastoral Company Pty Ltd. Property details are detailed below, and the subject site is shown in Figure 2.

Lot and DP	Property Address
LOT: 53 DP: 1259061	600J The Northern Road ORAN PARK
LOT: 9093 DP:1267156	650A The Northern Road ORAN PARK
LOT: 9098 DP:1274778	650 The Northern Road ORAN PARK
LOT: 9107 DP: 1289448	730A The Northern Road ORAN PARK
LOT: 9110 DP: 1298973	680A The Northern Road ORAN PARK
LOT: 9103 DP: 1279817	95 Central Avenue ORAN PARK
LOT: 9106 DP: 1279817	430 Oran Park Drive ORAN PARK
LOT: 9096 DP: 1267156	640 The Northern Road ORAN PARK
LOT: 8001 DP: 1257213	15 Grassbird Avenue ORAN PARK
LOT: 9102 DP: 1279817	86 Central Avenue ORAN PARK
LOT: 901 DP: 1258129	772 The Northern Road ORAN PARK
PLt: 9112 DP: 1298973	730 The Northern Road ORAN PARK
LOT: 9111 DP: 1298973	680 The Northern Road ORAN PARK

Table 1: Site Description

Pondicherry Precinct Planning Proposal

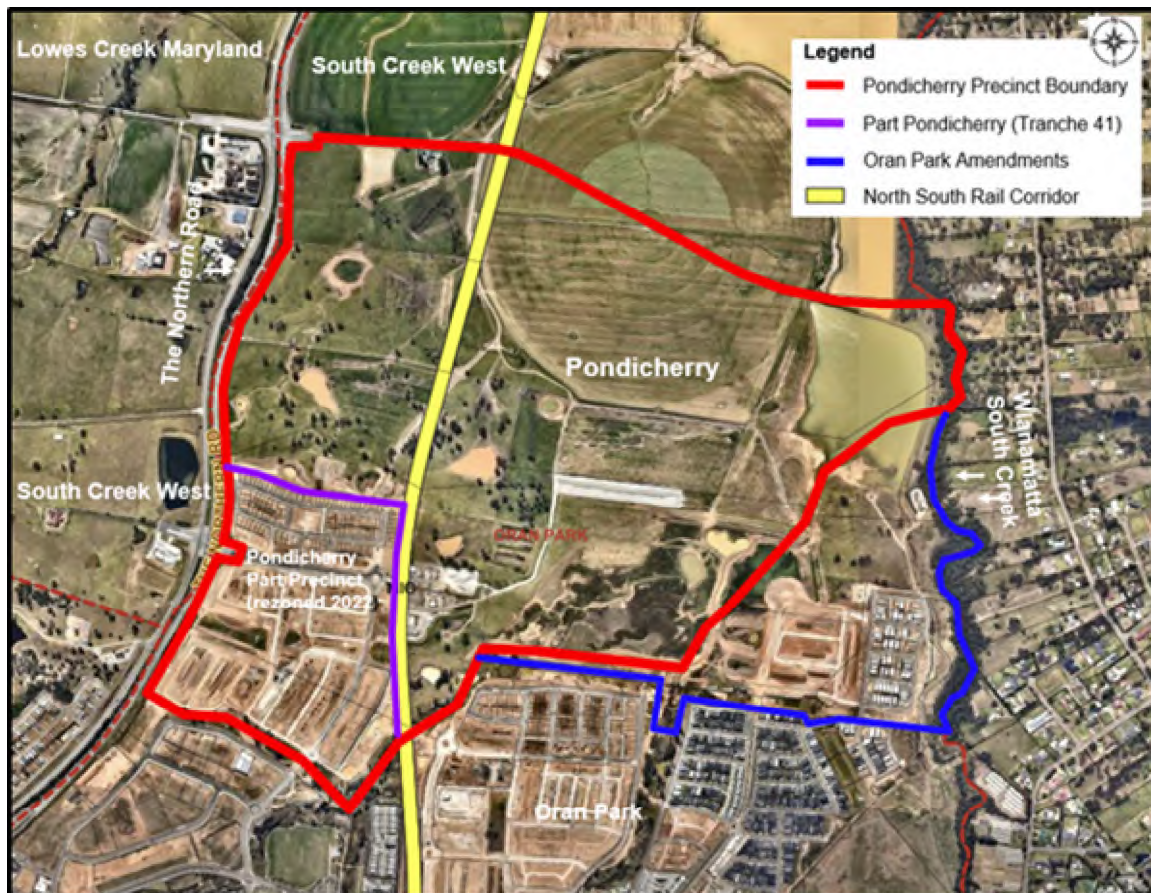


Figure 2: Land Subject to the Planning Proposal

Vision and Draft Indicative Layout Plan

Pondicherry will form an integral component of the local area linking to surrounding precincts including the established Oran Park and future precincts of Lowes Creek Maryland and South Creek West.

The Pondicherry Precinct as located within the wider SWGA will continue to contribute to the delivery of a sustainable and diverse community, of high amenity, with access to employment, education, community, and recreational facilities. The following principles are reflected in the Draft ILP:

LAND USE

- The precinct structure comprises a series of walkable neighbourhoods focused around pockets of local open space.
- Higher order land uses such as educational facilities, active open space and the Lake Precinct are integrated to complement the local neighbourhoods.
- The site consists of predominantly low density residential development with pockets of medium density housing in high amenity areas adjacent local parks and the Lake Precinct and to take advantage of access to transport corridors and services.

Pondicherry Precinct Planning Proposal

- The density and dwelling mix consider the geographical location of Pondicherry in the district context, located between the local centre of Oran Park Town to the south and the planned local centre of Greenway to the North. This location has moderated the provision of retail/commercial facilities in Pondicherry to facilities which serve a local convenience purpose.
- The site is defined by the culturally significant creek lines and associated remnant vegetation, connections to the existing and future adjoining development areas and the associated major road network.
- The Lake Precinct, including the Neighbourhood Centre will be the main activity hub of the Precinct and a facility of wider district appeal. The Neighbourhood Centre will provide convenience retail, commercial, civic, recreation and leisure activities while integrating with the lake and associated open space and community uses.

TRANSPORT AND ACCESS

- The road network provides transport options that links Pondicherry with the surrounding areas including the Oran Park Town to the south, The Northern Road to the west, future development to the north and future development east of South Creek.
- The hierarchy of roads facilitate efficient movement for pedestrians, cyclists and vehicles while minimising conflicts and adverse amenity impacts.
- The road network enables the extension of public transport networks from within Oran Park. The network of bus capable roads ensures all dwellings within the Precinct are within walking distance of a future bus stop.
- The street and open space networks respond to the site topography, with local views directed toward the culturally significant watercourses and existing remnant vegetation.

PUBLIC DOMAIN AND THE NATURAL ENVIRONMENT

- The site is framed by a public domain of streets, open spaces and riparian corridors providing the 'green grid' connecting people and places.
- Neighbourhoods are focused around the open space network. Local parks include adjacent local roads ensuring maximum amenity benefit, activity, and surveillance.
- Streets are oriented to benefit from views toward the riparian corridors and existing native vegetation.
- The community is linked by an extensive pedestrian and cycle network connecting people where they want to go.
- Biodiversity is protected through zoning and dedication to Council. These cultural significant corridors are further embellished with locally endemic species as part of the urban development.

The draft ILP is provided as Figure 3 and included as **Appendix 5**.

Pondicherry Precinct Planning Proposal

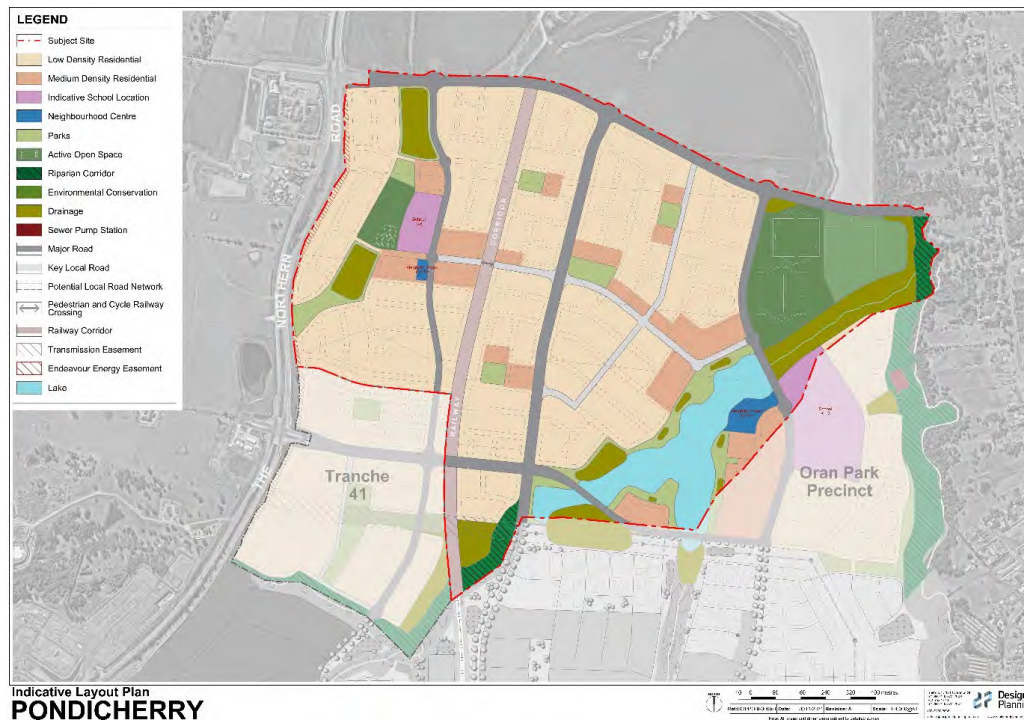


Figure 3: Pondicherry Precinct Draft ILP

Technical Studies

The preparation of this report and supporting technical studies has involved the collaboration of a multi-disciplinary team, in consultation with Camden Council and NSW DPIE to ensure all relevant issues have been addressed at the concept master planning phase. The documentation submitted in support of this Planning Proposal is identified in Table 1 below. This Planning Proposal should be read in conjunction with these technical reports provided in **Appendices 11 – 38**.

#	Report	Author	Document Reference	Revision	Date
1	Housing Market Analysis	Macroplan	Pondicherry Housing Market Assessment	1.3	16/12/2020
2	Landscape Character	JMD Design	Pondicherry Landscape and Visual Assessment	D	12/02/2021
3	Social Infrastructure	Elton Consulting	Social Infrastructure Assessment	Final	29/03/2021
3.1	Pondicherry Precinct: Schools addendum	Cred Consulting		Final	Nov 2024
4	Land Capability Study	Douglas Partners	Project 76778.27	R.001. Rev0	31/08/2017
5	Geotechnical Investigations	Douglas Partners	Project 76778.28	R.001. DftA	24/08/2017
6	Preliminary Site Investigations	Douglas Partners	Project 76778.30	R.001. Rev3	24/02/2021

Pondicherry Precinct Planning Proposal

7	Aboriginal Heritage	Kelleher Nightingale	1632	2	11/12/2020
7.1	Connecting with Country	Kelleher Nightingale Consultancy Pty Ltd	Connecting With Country PONDICHERRY	A	01/11/2024
8	European Heritage	GML	Pondicherry Precinct European Heritage Significance Assessment Report	5	04/03/2021
9	Water Cycle Management and Flooding	Calibre Consulting	19-000750 2400122 WCMP	E	07/02/2024
10	Biodiversity Assessment	Eco Logical Australia	16594	3	11/03/2021
11	Riparian Assessment	Eco Logical Australia	20WOL-16594	3	11/03/2021
12	Bushfire	Eco Logical Australia	Bushfire Strategic Study	3	22/03/2021
13	Traffic and Transport	GHD	Pondicherry Precinct Traffic and Transport Study	5	March 2021
14	Servicing Infrastructure	IDC	Utilities Servicing Report	3	05/03/2021
15			Utilities Implementation Plan	3	05/03/2021
16	Odour Impact Assessment	ERM	Pondicherry Odour Impact Assessment	2	25/02/2021
16.1	Pondicherry Development Reverse Amenity Odour Assessment	Astute Environmental Consulting	Greenfields Development Company Job: 24-137	1	07/05/2024
17	Noise and Vibration Assessment	WSP	Pondicherry Rezoning Noise & Vibration Assessment	0	04/02/2021
18	Tree Strategy	JMD	Pondicherry Tree Strategy		September 2021
19	Housing Typologies	Design+Planning	Pondicherry Housing Typologies		
20	Biodiversity Consistency Report	Eco Logical Australia	Growth Centres Biodiversity Certification		March 2021
21	Retail and Employment Assessment	Macroplan	Pondicherry Retail and Employment Assessment		March 2021
22	Advice on Additional Neighbourhood Centre	Macroplan	Retail Advice on Planning Proposal Pondicherry Precinct		15/07/2021
23	Lake Biodiversity Corridor	Design + Planning	GRDPO-11-003	A	19/09/2024

Pondicherry Precinct Planning Proposal

23.1	Pondicherry Lakes Riparian Strategy	JMD Design	Appendix of Lake Biodiversity Corridor		24/08/2024
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Table 2: Supporting Technical Studies**Planning Proposal History**

Pondicherry was undergoing rezoning through the State Government's Precinct Acceleration Protocol planning process; however, the responsibility for the rezoning was transferred to the proponent to progress. This report relates to the major portion of the Pondicherry Precinct, with a smaller part of the Precinct rezoned in March 2022 via a separate Planning Proposal (Tranche 41).

PONDICHERRY (PART) PRECINCT (TRANCHE 41)

Greenfields Development Company (GDC) submitted a Planning Proposal to Camden Council in mid-2020 to seek the rezoning of a portion of the Pondicherry Precinct, known as Tranche 41. This Planning Proposal was rezoned on 18 March 2022 and pursued to allow the Oran Park Project to respond to market demands for new housing while the more complex considerations of the wider Pondicherry precinct were being resolved.

The Pondicherry ILP and associated specialist consultant assessments discussed in this report have been produced as a comprehensive design process across the entirety of the Pondicherry Precinct. Yield and open space calculations, for example, are documented in this report inclusive of Tranche 41 to ensure a complete picture of the Pondicherry Precinct is portrayed. The proposed SEPP Maps and DCP Schedule only provides the zoning outcomes for the areas where rezoning is sought, which exclude the Tranche 41 site area.

The Tranche 41 site area in the context of the wider Pondicherry Precinct is demonstrated on the ILP included as **Appendix 5**.

ORAN PARK PRECINCT (TRANCHE 28)

In consideration of an integrated design outcome at the interface, this Planning Proposal also seeks to rezone a small portion of land within the Oran Park Precinct. As evidenced on the Draft Pondicherry ILP, the design at the interface of these two Precincts is highly integrated, with road connections, land uses, the Lake Precinct and development cells straddling the boundary. Accordingly, the Draft ILP design for Pondicherry has also considered and directed an alternate design within small portions of the Oran Park Precinct relative to the current adopted Oran Park ILP and associated SEPP Mapping.

The statutory changes are discussed further within *Part 2 – Explanation of Provisions* and are necessary to ensure an integrated design outcome at the interface of the Pondicherry and Oran Park Precincts.

Draft Development Control Plan**CAMDEN GROWTH CENTRES DCP**

Development within the Pondicherry Precinct will be facilitated through the addition of a site-specific Schedule to the Camden Growth Centre Precincts Development Control Plan (Camden Growth Centre DCP). The draft DCP is included as an attachment to this report.

Pondicherry Precinct Planning Proposal

ORAN PARK PRECINCT DCP

The Draft ILP design for Pondicherry has also considered and directed an alternate design within small portions of the Oran Park Precinct relative to the current adopted Oran Park ILP and associated SEPP Mapping.

The statutory changes are discussed further within *Part 2 – Explanation of Provisions*. The amendments to the Oran Park ILP are included as **Appendix 8** to this report.

Oran Park Voluntary Planning Agreement The changes to the Oran Park ILP which alter the delivery of social infrastructure items in accordance with the Oran Park Voluntary Planning Agreement (VPA), including local passive open space and the community centre, will require further negotiations following Council acceptance of the Draft ILP.

The Draft Oran Park ILP also seeks to dedicate to Council a portion of the 330kV Transmission Line Easement, which will facilitate the delivery of a cohesive open space network and associated share path connections to the Lake Precinct and between Anthony Creek, Ron's Creek and South Creek. As demonstrated in the draft Oran Park ILP, dedication of this land as part of the open space network will produce a material community benefit in accordance with Council's Dedication of Constrained Lands Policy. The TransGrid Easement Masterplan is included as **Appendix 35** and further details the overall strategy for this easement land.

Infrastructure Delivery and Developer Contributions**REGIONAL INFRASTRUCTURE**

A key element of the approach to planning for new urban release areas is infrastructure delivery in line with demand. The delivery of regional level infrastructure including major sub-arterial roads, rail corridor crossings, school sites and trunk infrastructure will be the subject to a State Government VPA to ensure the required services are delivered in line with the development of the Precinct and in accordance with the Special Infrastructure Contributions framework.

Planning and negotiations in relation to regional infrastructure delivery and an associated State Government VPA will continue following finalisation of the draft Precinct Plan.

UTILITY INFRASTRUCTURE

Planning for the delivery of essential utility infrastructure is the responsibility of the proponent as part of the development process. Investigations undertaken to inform this Planning Proposal are included in the Utilities Servicing Report produced by IDC included as **Appendix 24** of this report. As part of the IDC investigations a Utilities Implementation Plan has also been produced which details the augmentation of utilities infrastructure required in line with development staging.

The studies indicate that utility servicing is not a constraint to development of the Precinct, with the servicing authorities either planning delivery of trunk networks as part of their growth servicing plans or have indicated that augmentation of existing networks can meet the Precinct demand. The limited requirement for infrastructure investment within the Pondicherry Precinct is a major catalyst for the pursuit of this Planning Proposal and will ensure timely delivery of the development envisaged through the Draft ILP.

Advice from servicing authorities has been provided as a result of agency consultation as required by the Gateway Determination. No objections to the proposed servicing arrangements were raised in agency submissions.

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LOCAL ROADS, PEDESTRIAN AND CYCLE PATHS

Local roads will be delivered by the developer as part of the subdivision works and dedicated to Council upon completion. Some major roads may be partially funded through Section 7.11 development contributions or as part of a negotiated VPA with Council.

Pedestrian and cycle paths located in road reserves will be developer constructed and dedicated to Council as part of the road construction and subdivision works. Paths within land identified for open space will be funded as part of the open space construction through a Section 7.11 Contributions Plan or VPA with Council.

EDUCATION FACILITIES

The location of proposed schools is identified on the draft ILP. Consultation has been conducted with the School Infrastructure NSW (SINSW) in relation to the location and likely timing for delivery of the K-6 public school, with timing dependant on demand generated as the Precinct develops. The public school site could either be dedicated to the SINSW through a State Government VPA or acquired by SINSW when required. Department of Education – School Infrastructure have agreed to being the acquisition authority for the school site as a result of agency consultation.

The K-12 School located in the eastern portion of the site is identified for negotiated sale to a private school organisation.

EMERGENCY SERVICES

There are currently no emergency services proposed for the Pondicherry (Part) Precinct site area, with more suitable locations considered within the wider Camden LGA and SWGA. A fire station site has recently been completed in Oran Park which will service the Pondicherry Precinct. NSW ambulance also identified that planning is underway for an additional station to service growth areas including the Pondicherry precinct. No response was received from NSW Police during agency consultation.

CHILD CARE FACILITIES

Elton's analysis indicates that there is no onsite provision required for child care services within the Precinct, with Elton acknowledging that the planning provisions allow the development of child care facilities within the Precinct and that private services will respond to demand over time. In consideration of the potential desire for child care facilities to be delivered within Pondicherry, the DCP has identified two possible locations for such facilities. This ensure child care facilities are planned for and integrated appropriately relative to adjoining land uses.

LOCAL INFRASTRUCTURE AND DEVELOPER CONTRIBUTIONS

The draft ILP presented with this Planning Proposal includes the provision of various local infrastructure items which would require developer contributions through the course of development. GDC as the proponent of this Planning Proposal has sought to enter a VPA for the delivery of those infrastructure items.

At its meeting of 11 June 2024 following public exhibition of the draft VPA, Council resolved to authorise the completion and execution of the VPA for Pondicherry. The VPA was formally entered into on 30 July 2024.

The items included in the VPA include:

- The dedication of land and cost of works for delivery of the local passive open space;

Pondicherry Precinct Planning Proposal

- The dedication of land and cost of works for the delivery of the playing fields and associated facilities;
- The dedication of land and cost of work for delivery of the local passive open space impacted by a transmission easement;
- The dedication of land and cost of works for delivery of the permanent water cycle management drainage basins and wetlands inclusive of the lake;
- The dedication of land and cost of works for delivery of riparian corridors;
- The dedication of land and cost of works for delivery of the community facility;
- The dedication of land and cost of works for delivery of the green link road;
- Delivery of share paths within open space and riparian corridors;
- Delivery of bus shelters; and
- A negotiated outcome for delivery of additional active open space area and facilities.

In response to agency comments, notably the provision of greater riparian connectivity through the edge of the proposed lake in response to DCCEEW's submission, it is likely that a future VPA amendment will be required to appropriately capture the required works and embellishment. This will be informed by future DA's submitted for the precinct.

Part 1 – Objectives and Intended Outcomes

The primary objective of this planning proposal is to amend the *Camden Local Environmental Plan 2010* (CLEP), and the provisions of the *Camden Growth Centre Precinct Plan* and *Oran Park and Turner Road Precinct Plan* which form part of the *State Environmental Planning Policy (Precincts – Western Parkland City) 2021*. These amendments will enable urban development as envisaged as part of the South West Growth Area (SWGA) and promoted in the *Greater Sydney Region Plan* and the *Western City District Plan*.

Pondicherry is located within the SWGA and adjoins the existing urban context of the Oran Park Precinct and will comprise approximately 242ha of urban land. A draft ILP has been prepared to support the rezoning, informed by the specialist consultant studies produced and discussed in this report. The studies conducted indicating suitability of the site for a yield in the order of 2,530 to 2,850 reflecting a population between 7,840 and 8,830 people within a mix of low and medium density residential development.

As evidenced in the draft Pondicherry ILP, the design at the interface of the Pondicherry and Oran Park Precincts is highly integrated, with road connections, land uses, the Lake Precinct and development cells straddling the boundary. Accordingly, the draft ILP design for Pondicherry has considered and directed an alternate design within portions of the Oran Park Precinct relative to the current adopted Oran Park ILP and associated SEPP Mapping. Comparison mapping of the required SEPP Mapping changes are included in the sections below.

Corresponding amendments will also be required to the CLEP 2010 Maps extending the area identified as Growth Centre on those maps. As these CLEP 2010 mapping amendments are purely a consequence of the Growth Centre expansion they are not discussed further in this report.

Pondicherry Precinct Planning Proposal

Part 2 – Explanation of Provision

Western Parkland City SEPP Mapping Amendments

The following maps form the Western Parkland City SEPP, with any required amendment discussed as part of this section of the Planning Proposal:

- Land Application Map: Sheet LAP_003 & 008
- Land Zoning Map: LZN_003 & 008
- Lot Size Map: Sheet: LSZ_003 & 008
- Residential Density Map: RDN_003 & 008
- Height of Buildings Map: Sheet HOB_003 & 008
- Development Control Map: Sheet DVC_003 & 008
- Floor Space Ratio Map: Sheet FSR_003 & 008
- Heritage Map: Sheet HER_003 & 008
- Land Reservation Acquisition Map: Sheet LRA_003 & 008
- Precinct Boundary Map: PCB_003 & 008
- Special Areas Map: SAM_003 & 008
- Native Vegetation Protection Map: NVP_003 & 008
- Riparian Protection Area Map: RPN_003 & 008

Proposed amendments to SEPP maps are shown in the following pages.

Amendment to the Land Application Map

The Land Application Map Sheet LAP_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The Map identifies Pondicherry as being *Land to which the Camden Growth Centres Precinct Plan Applies* (Western Parkland City SEPP, *Appendix 5 Camden Growth Centres Precinct Plan, Clause 1.3*).

Figure 4 (and **Appendix 6**) shows the proposed Land Application Map.

Pondicherry Precinct Planning Proposal

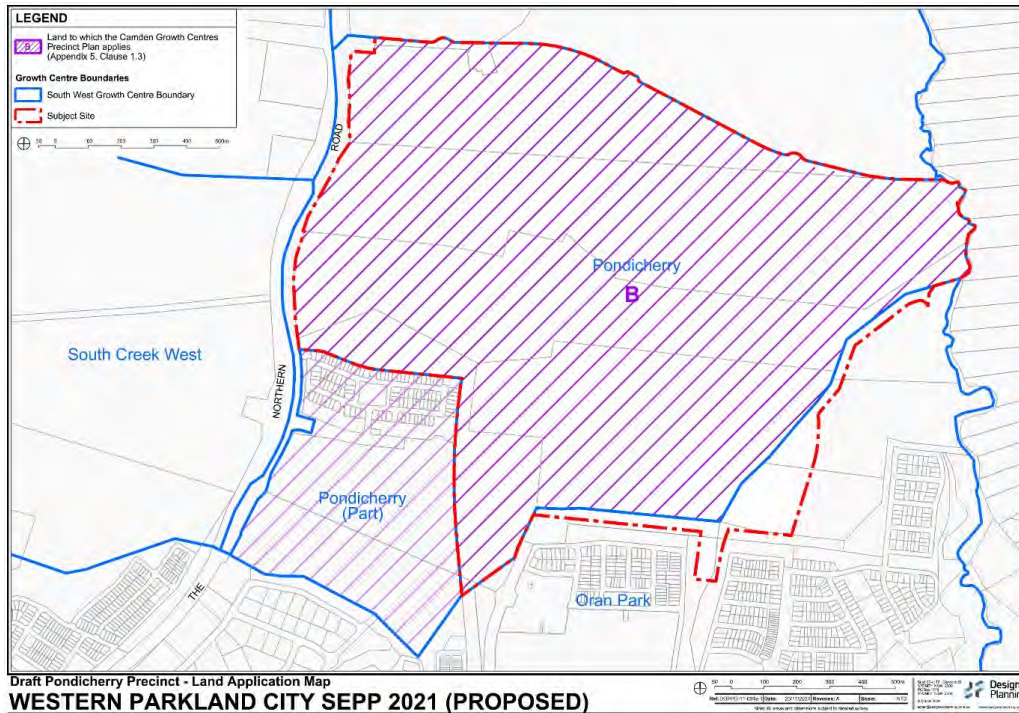


Figure 4: Proposed Land Application Map

Amendment to the Land Zoning Map

The Land Zoning Map Sheet LZN_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. *The Western Parkland City SEPP Land Use Table of the Appendix 5 Camden Growth Centres and Appendix 2 Oran Park Precinct Plans is unaltered by this Planning Proposal.* The proposed land use zones include:

- B1 Neighbourhood Centre;
- C2 Environmental Conservation;
- R1 General Residential (Oran Park only);
- R2 Low Density Residential;
- R3 Medium Density Residential;
- RE1 Public Recreation; and
- SP2 Infrastructure.

Pondicherry Precinct

The residential outcomes envisaged through the draft Pondicherry ILP are facilitated through the proposed zoning. This includes delivery of a mixed use Neighbourhood Centre, higher residential densities integrated within the Lake Precinct, medium density residential surrounding local parks and a predominance of low density residential fitting for the geographical location within the SWGA and located between the two centres of Oran Park to the south and Greenway to the north.

Pondicherry Precinct Planning Proposal

The *R2 Low Density Residential* zone provides flexibility in the delivery of residential development, with sufficient controls provided through the proposed draft ILP and Pondicherry DCP Schedule to ensure the outcomes envisaged through this rezoning are achieved. The types of residential dwelling types acceptable within the *R2 Low Density Residential* zone include those listed below:

Attached dwellings; Boarding houses; Dual occupancies; Dwelling houses; Group homes; Manor Homes; Multi Dwelling Housing; Secondary dwellings; Semi-detached dwellings; Seniors housing; Shop top housing; and Studio dwellings.

The *R3 Medium Density Residential* zoning will deliver predominantly rear loaded attached dwellings with some residential flat buildings and mixed use developments surrounding the high amenity afforded by the Lake Precinct. The Residential Structure of the proposed Pondicherry Precinct DCP Schedule identifies the R3 residential zone accommodating two distinct density bands (25-35dw/ha and 35-60dw/ha) allowing for a higher density adjoining the Lake Precinct and adding to the diversity of housing through the Precinct.

The *B1 Neighbourhood Centre* zone adjoining the Pondicherry Lake is anticipated to accommodate a floor area of 5,000m² with maximum building height controls providing opportunity for an integrated mixed use development comprising retail, commercial and residential uses. This will include 1,500m² of retail floor area.

The western neighbourhood centre is also proposed to be zoned *B1 Neighbourhood Centre* to accommodate a retail floor area of 1,000m².

The *C2 Environmental Conservation* zone follows the mapped creek corridors of South Creek and Anthony Creek. This zoning seeks to protect these significant cultural and ecological corridors while also protecting the sites mapped Existing Native Vegetation (ENV) (refer *Amendment to the Native Vegetation Protection Map*).

The *RE1 Public Recreation* zone will apply to the active open space area identified on the draft ILP signifying its importance within the structure of the ILP and the demonstrated need for these facilities.

The zone mapping also facilitates the inclusion of the *SP2 Infrastructure* zones along The Northern Road, the gazetted North-South Rail Corridor (in accordance with the *State Environmental Planning Policy (Major Infrastructure Corridors) 2020* and to define the drainage function of the Lake Precinct and ensure delivery of the intent of the Draft ILP.

Figure 5 (and **Appendix 6**) shows the proposed Land Zoning Map.

Review of Employment zones

In December 2021, DPIE finalised the introduction of five new employment zones and three supporting zones into the Principal Standard Instrument LEP. The employment zones were introduced into LEPs through self-repealing SEPPs on 16 December 2022, and commenced on 26 April 2023. The finalised amendments only apply to LEPs, and not to any State Environmental Planning Policies (SEPPs). As the draft Planning Proposal seeks to rezone the subject site under SEPP (Precincts – Western Parkland City) 2021, the previous suite of business and industrial zones will apply.

Oran Park Precinct

The Oran Park Precinct zoning changes also seek to facilitate the residential land use outcomes promoted by the draft Pondicherry ILP and associated changes to the Oran Park

Pondicherry Precinct Planning Proposal

ILP. This includes through the provision of *R1 General Residential* and *R3 Medium Density Residential*.

An Oran Park Precinct Land Zoning Map comparison plan is included as Figure 6.

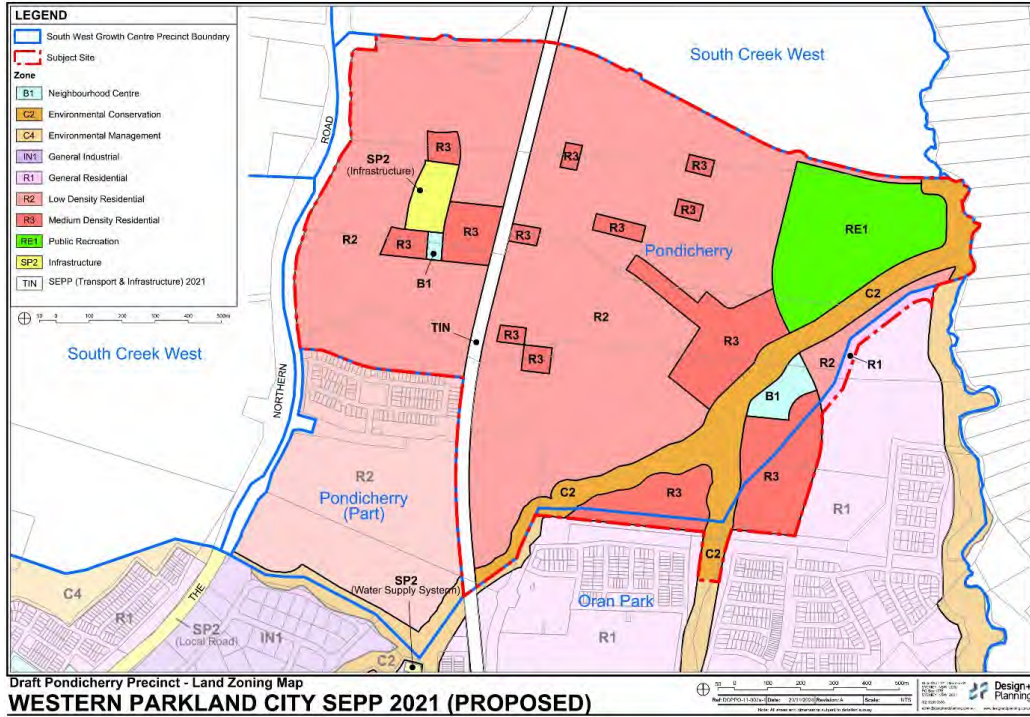


Figure 5: Proposed Land Zoning Map

Pondicherry Precinct Planning Proposal

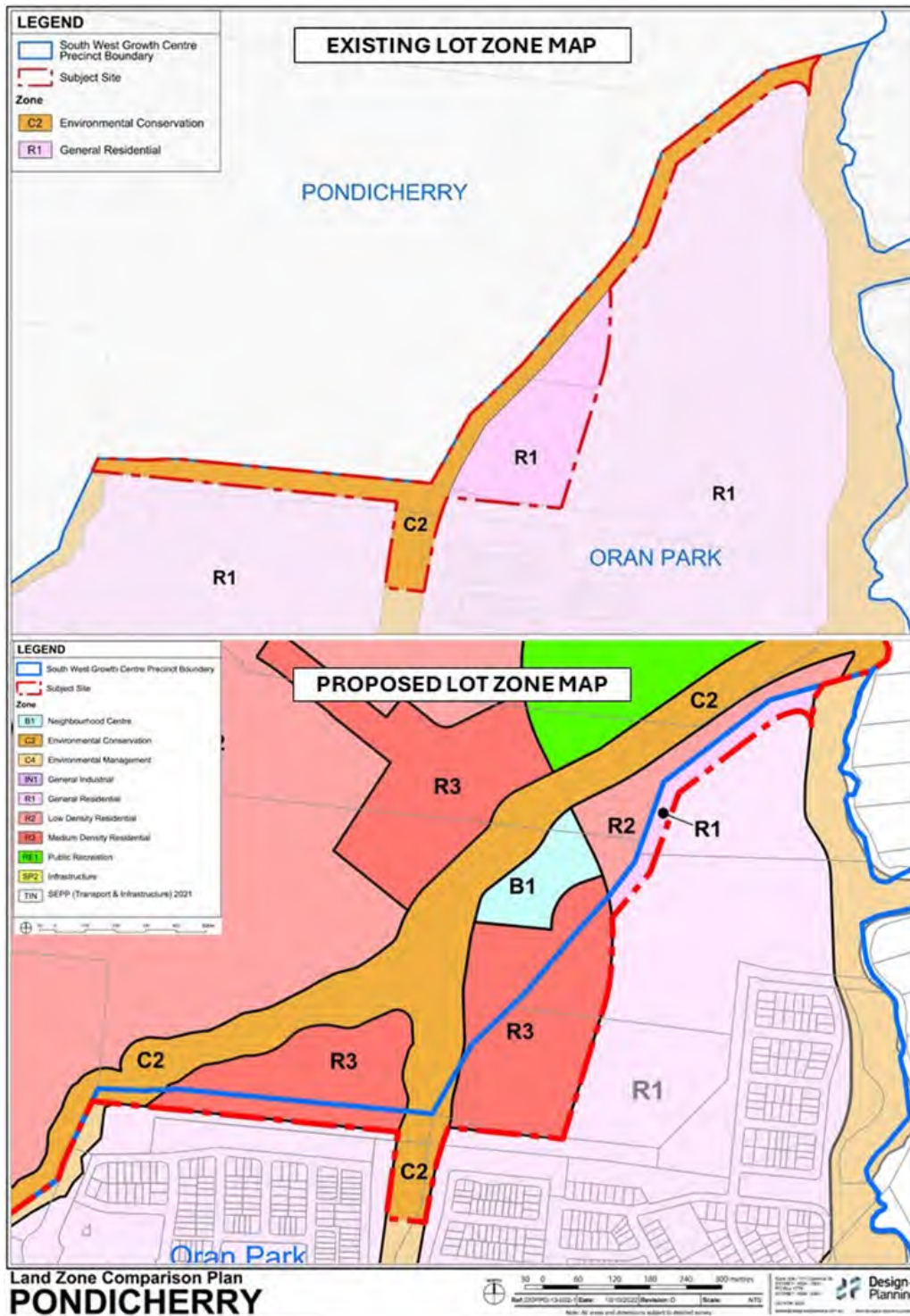


Figure 6: Proposed Oran Park Precinct Land Zoning Comparison Plan

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Amendment to the Lot Size Map

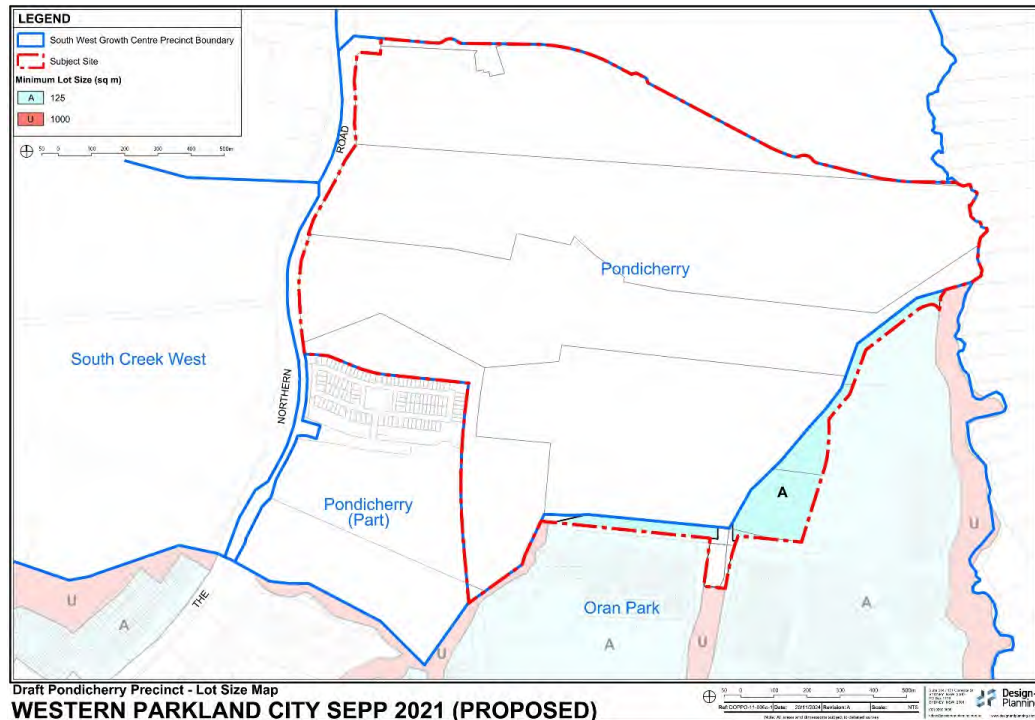
The Lot Size Map Sheet LSZ_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The proposal does not include the provision of a mapped minimum lot size, with appropriate provisions provided in the SEPP and linked to the respective density bands and dwelling types. This approach mirrors that taken for rezonings under the Camden Growth Centre Precinct Plan.

Figure 7 (and **Appendix 6**) shows the proposed Lot Size Map.

Oran Park Precinct

The Oran Park Precinct will continue to prescribe a 125m² minimum lot size for all residential zoned land, with the development standards found in *Appendix 1 Oran Park and Turner Road Precinct Plan* and *Part 4, Clause 4.1 (through to 4.1AH) Minimum Subdivision Lot Size* unaltered by this Planning Proposal.

An Oran Park Precinct Minimum Lot Size comparison plan is included as Figure 8.



Draft Pondicherry Precinct - Lot Size Map
WESTERN PARKLAND CITY SEPP 2021 (PROPOSED)
Figure 7: Proposed Lot Size Map

Pondicherry Precinct Planning Proposal

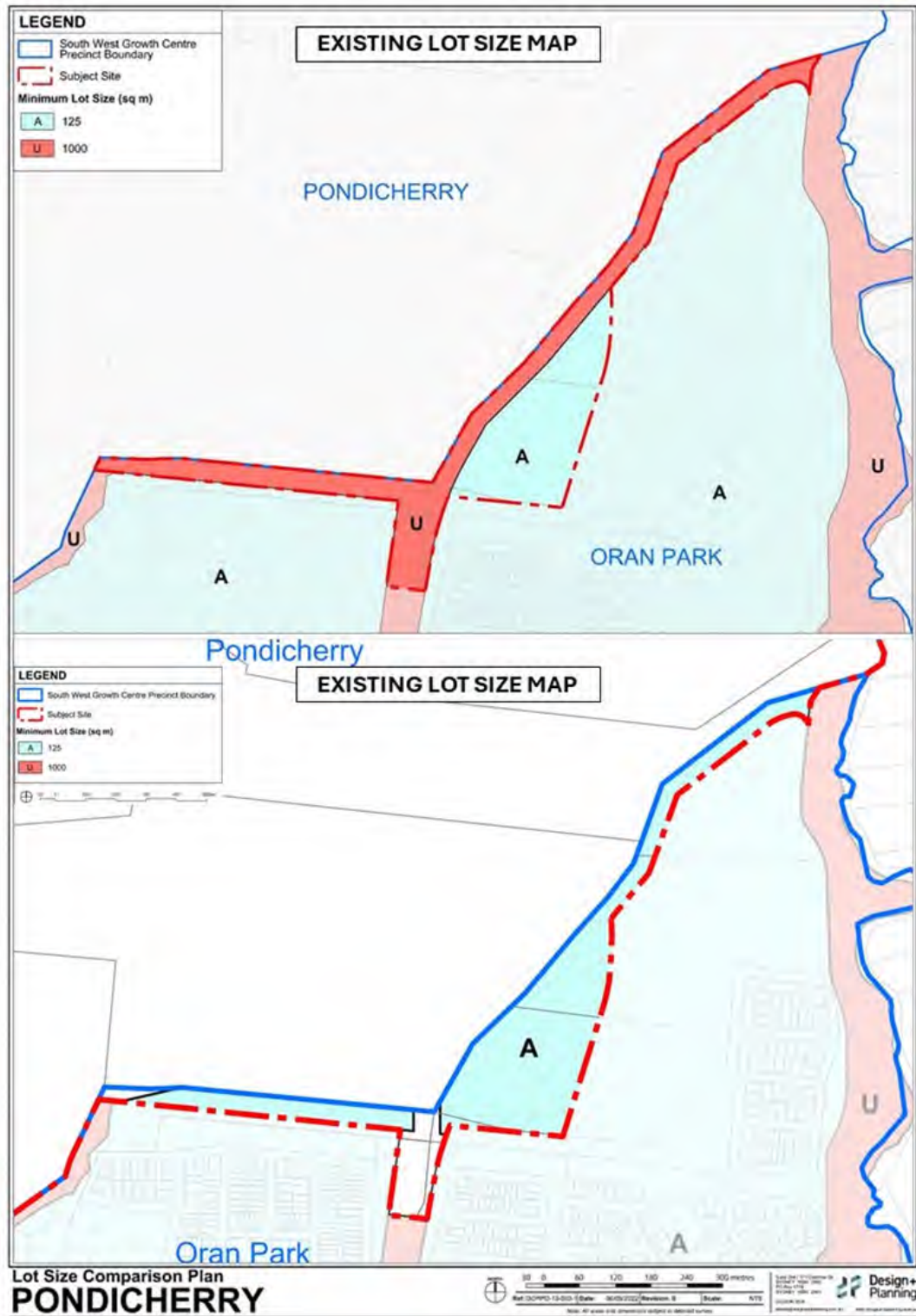


Figure 8: Proposed Oran Park Precinct Minimum Lot Size Comparison Plan

Pondicherry Precinct Planning Proposal

Amendment to the Residential Density Map

The Residential Density Map Sheet RDN_003 & 008 is proposed to be amended to include Pondicherry into the Growth Centres SEPP including the Precinct boundaries of Pondicherry and South Creek West.

Pondicherry Precinct

Pondicherry seeks to facilitate a range of residential dwelling outcomes providing a mix of housing types and broad socioeconomic mix contributing to a resilient and diverse community. The density bands are influenced by the proposed zoning and split into three distinct bands as follows:

- R2 Low Density Residential (10-20dw/ha);
- R3 Medium Density Residential (Standard) (25-35dw/ha); and
- R3 Medium Density Residential (Lake) (35-60dw/ha)

The intent of the density bands is to provide predominantly standard medium density residential housing forms surrounding the amenity of the local neighbourhood parks, with higher densities including apartments adjacent the expansive lake and local hub of the Neighbourhood Centre.

Figure 9 (and **Appendix 6**) shows the proposed Residential Density Map.

Tranche 41 (Part Pondicherry)

Tranche 41 (Part Pondicherry) currently is not subject to density bands, as its planning preceded Council officers' position to pursue the consistent application of density bands. Currently a minimum density control of 15dw/ha applies to Tranche 41. To ensure consistency across the Pondicherry Precinct, it is proposed that the residential density map is amended to apply a 10-20dw/ha density band to Tranche 41.

Oran Park Precinct

The Oran Park Precinct will continue to be subject to the development standards contained within *Appendix 1 Oran Park and Turner Road Precinct Plan* and *Part 4, Clause 4.1B Residential Density – Oran Park Precinct* with no density mapping imposed.

Pondicherry Precinct Planning Proposal

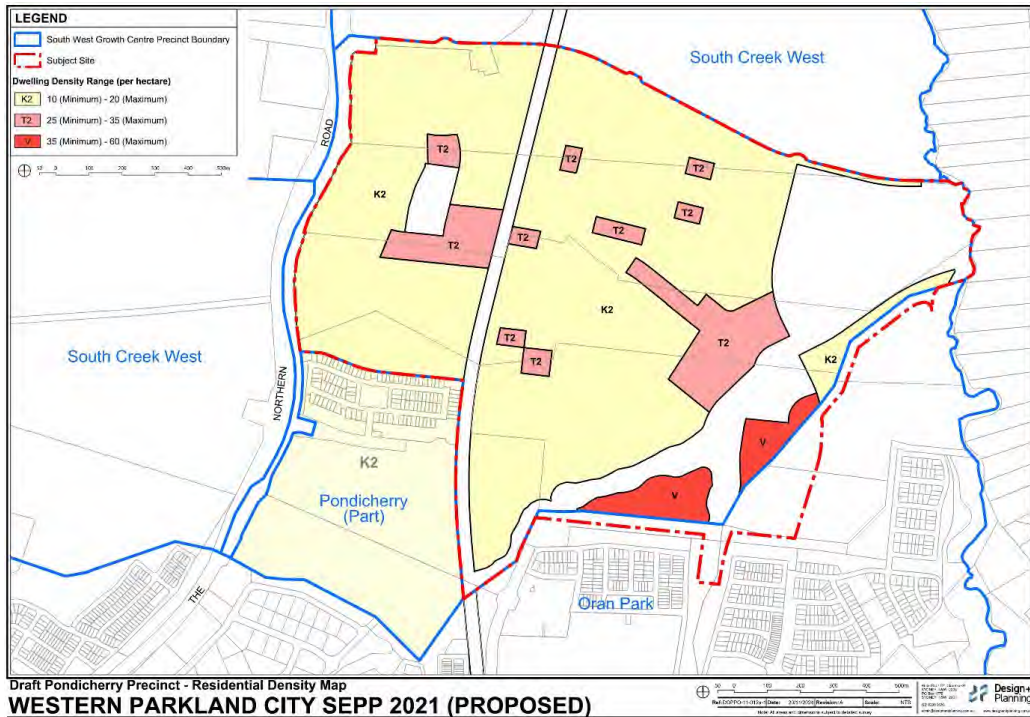


Figure 9: Proposed Residential Density Band

Amendment to the Height of Buildings Map

The Height of Buildings Map Sheet HOB_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West and align the Oran Park mapping with that envisaged through the draft Pondicherry ILP and required changes to the Oran Park ILP at this interface.

Pondicherry Precinct

The prescribed maximum building heights correspond with the proposed residential structure and outcomes envisaged through the draft ILP. Land identified for Low Density Residential and Medium Density Residential as prescribed in the DCP, will generally include a maximum building height of 9.5m, reflecting the heights envisaged through Tranche 41, Catherine Field (Part) Precinct and Oran Park. A portion of this land however will be prescribed a 12m building height providing opportunity for three storey-built form outcomes within close proximity of the Lake Precinct.

The land identified in the DCP as Medium Density (R3) Residential and the Neighbourhood Centre will include a maximum building height of 24m (six storeys) reflecting the high amenity location adjoining the Lake and envisaged housing density (35-60dw/ha) inclusive of a mix of residential flat buildings and integrated built form outcomes.

Land zoned C2 Environmental Conservation will not be prescribed a maximum building height, reflecting the approach adopted through the Camden Growth Centres Precinct Plan.

Figure 10 (and **Appendix 6**) shows the proposed Height of Buildings Map.

Pondicherry Precinct Planning Proposal

Oran Park Precinct

The changes required to the Oran Park Precinct maximum building heights also correspond with the proposed residential structure and outcomes envisaged at the interface between the Draft Pondicherry ILP and required changes to the Oran Park ILP. The proposal seeks to extend the maximum building height envisaged over the R1 General Residential zone to 16m for Residential Flat Buildings and 9.5m for all other developments, and mirror that of the proposed R3 Medium Density Residential zone through Pondicherry of 24m (six storeys).

Further, the maximum building height prescribed for C2 Environmental Conservation land within the Oran Park Precinct have been amended to reflect the approach within the Camden Growth Centre Precinct Plan. This aligns the Height of Buildings mapping with the Riparian Protection Area mapping and the envisaged extension of the Lake Precinct to within the lower reaches of the Ron's Creek corridor.

An Oran Park Precinct Height of Building comparison plan is included as Figure 11 below.

Western Parkland City SEPP Development Standards

The Western Parkland City SEPP development standards relating to height of buildings are found in Appendix 2 Oran Park and Turner Road Precinct Plan and Appendix 5 Camden Growth Centres Precinct Plan, Part 4, Clause 4.3 Height of Buildings and are unaltered by this Planning Proposal.

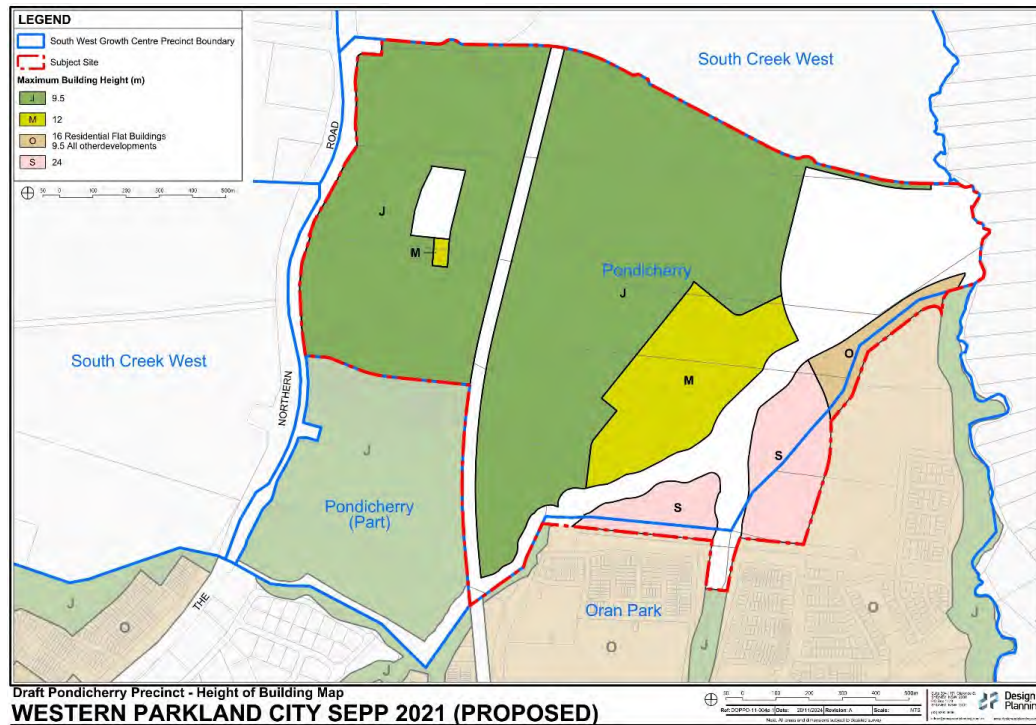


Figure 10: Proposed Height of Buildings Map

Pondicherry Precinct Planning Proposal

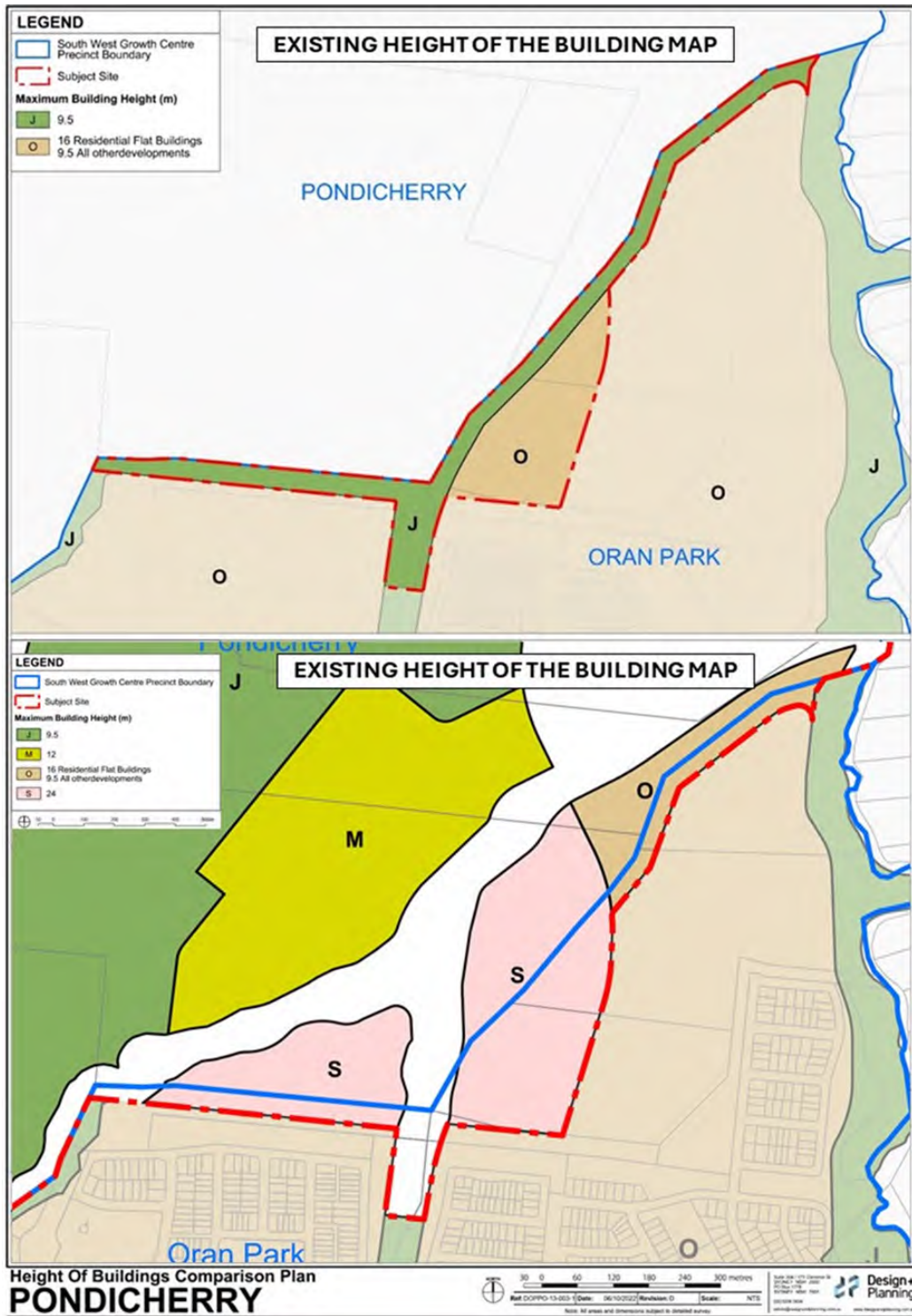


Figure 11: Proposed Oran Park Precinct Height of Builds Comparison Plan

Pondicherry Precinct Planning Proposal

Amendment to the Development Control Map

The Development Control Map Sheet DVC_003 & 008 is proposed to be amended to include Pondicherry in the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The Development Control Map identifies land subject to flooding with the relevant development controls found in *Part 5 Development controls – flood prone and major creeks land* which are unaltered by this Planning Proposal.

Figure 12 (and **Appendix 6**) shows the proposed Development Control Map.

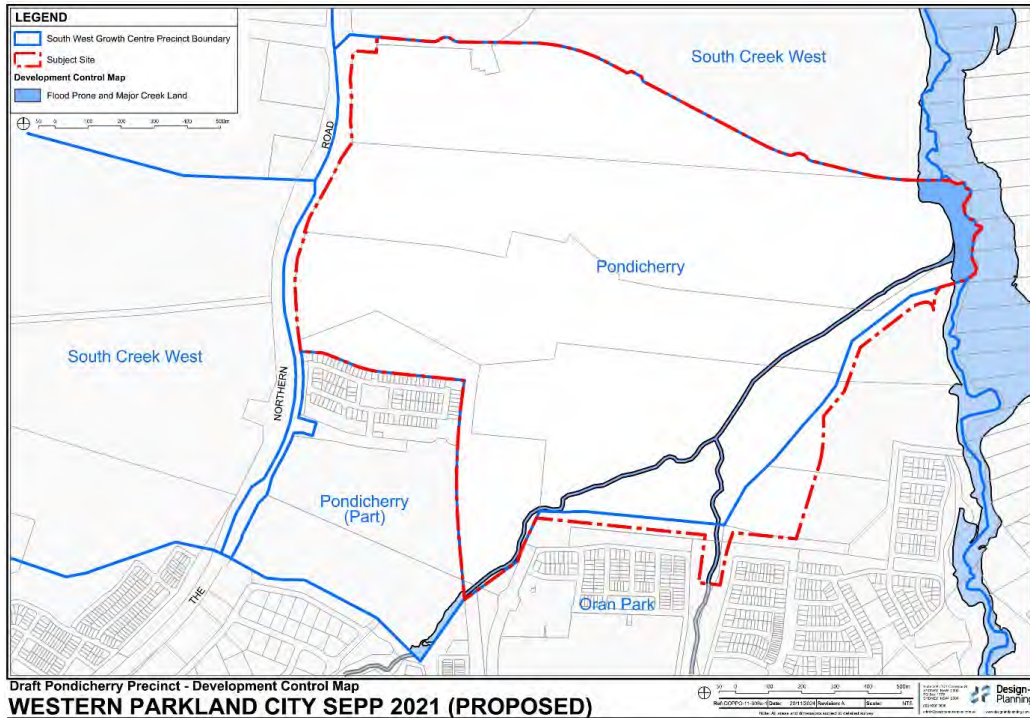


Figure 12: Proposed Development Control Map

Amendment to the Floor Space Ratio Map

The Floor Space Ratio Map Sheet FSR_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The proposal does not include the provision of a mapped floor space ratio, with appropriate provisions and controls provided through height and density standards, with additional DCP controls to ensure the appropriate massing of development is achieved. This approach mirrors that taken for the Oran Park and Catherine Field Precincts.

Figure 13 (and **Appendix 6**) shows the proposed Floor Space Ratio Map.

Pondicherry Precinct Planning Proposal

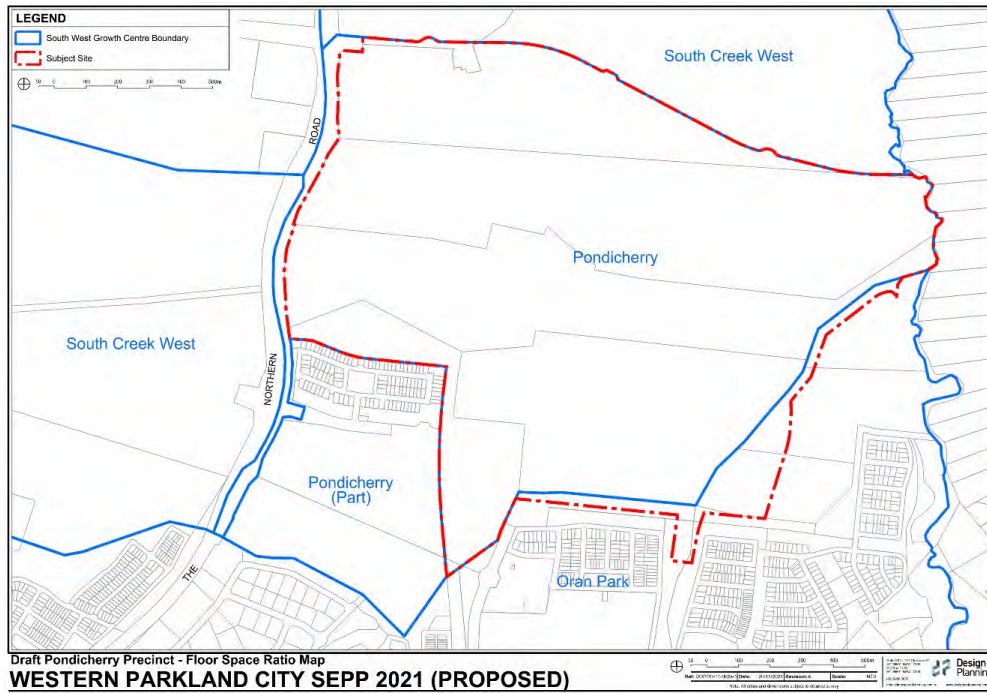


Figure 13: Proposed Floor Space Ratio Map

Pondicherry Precinct Planning Proposal

Amendment to the Heritage Map

The Heritage Map Sheet HER_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The map does not identify any areas of heritage significance within the site, consistent with the finding of the specialist consultant investigations conducted as part of this Planning Proposal submission.

Figure 14 (and **Appendix 6**) shows the proposed Heritage Map.

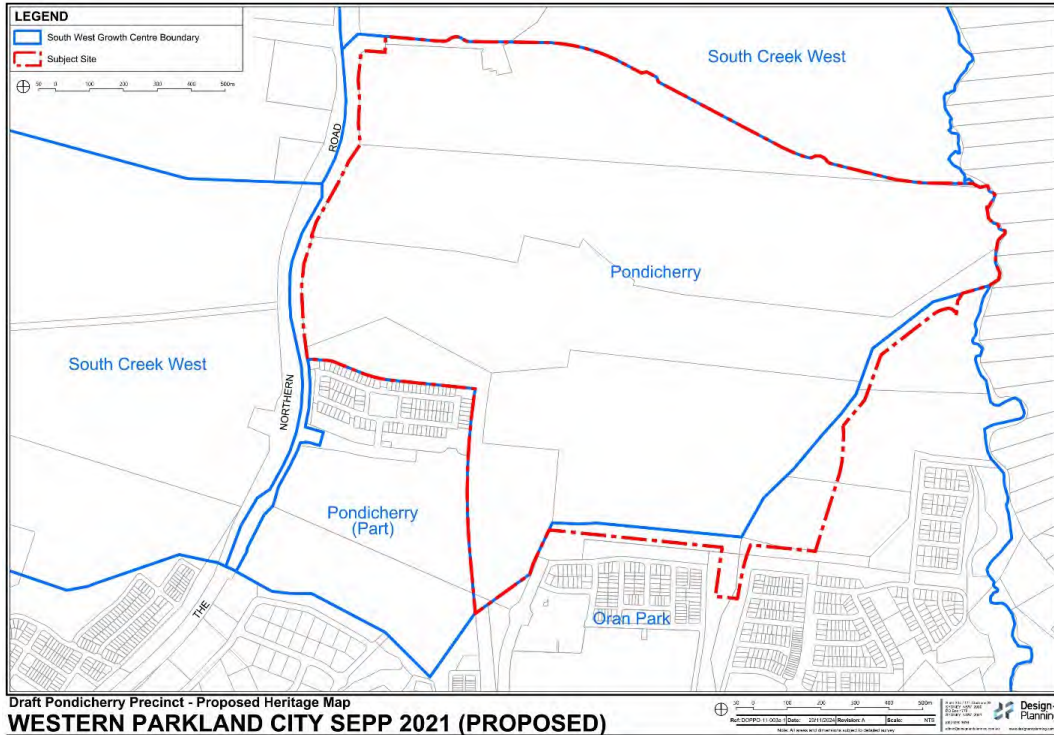


Figure 14: Proposed Heritage Map

Amendment to the Land Reservation Acquisition Map

The Land Reservation Acquisition Map Sheet LRS_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The map identifies one site for acquisition, being that of a future school. All other land requiring dedication to Council as public land will form part of the negotiated Precinct wide VPA. NSW Department of Education-School Infrastructure have confirmed they will be the acquisition authority for the subject lands.

Figure 15 (and **Appendix 6**) shows the proposed Land Reservation Acquisition Map.

Pondicherry Precinct Planning Proposal

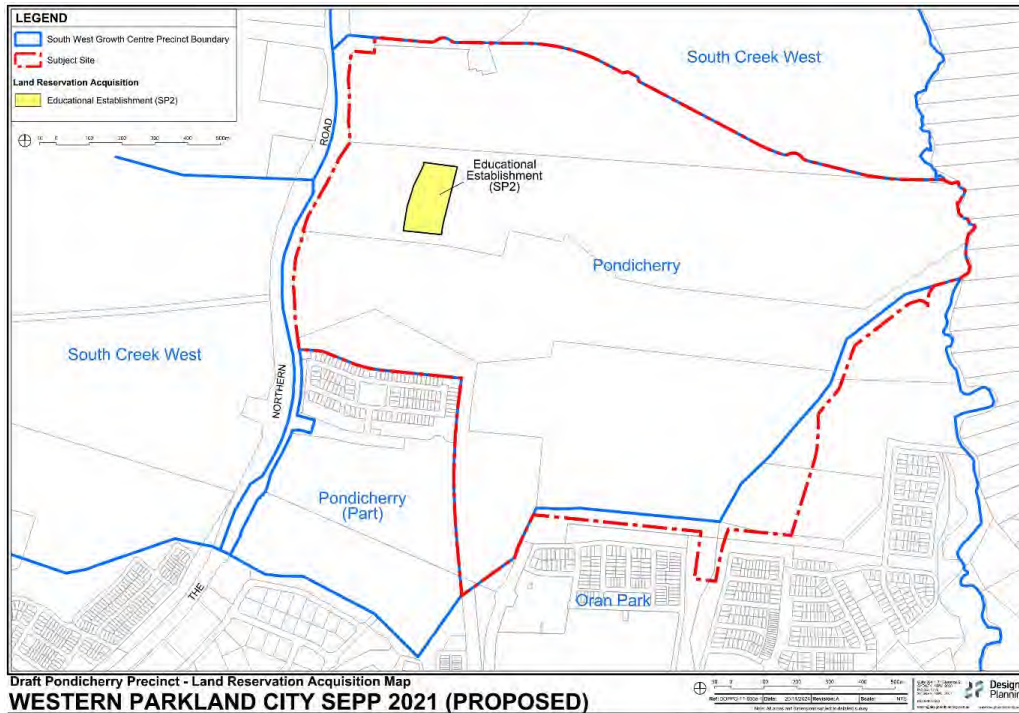


Figure 15: Proposed Land Reservation Acquisition Map

Amendment to the Special Areas Map

The Special Areas Map Sheet SAM_003 & 008 is proposed to be amended to include Pondicherry into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The map does not identify any Special Areas within the Pondicherry Precinct, with this map generally relating to the Oran Park Precinct through the provision of Clause 6.6 of the Oran Park Precinct Plan.

Pondicherry Precinct

There are no Special Areas to be defined through the SEPP Mapping within Pondicherry.

Figure 16 (and **Appendix 6**) shows the proposed Special Areas Map.

Oran Park Precinct

The changes required to the Oran Park Precinct special areas mapping correspond with the proposed residential structure and outcomes envisaged at the interface between the Draft Pondicherry ILP and required changes to the Oran Park ILP. This includes reducing the area identified as Land Containing a Riparian Corridor to allow delivery of the Lake Precinct as detailed on the corresponding Draft ILP's. This change also relates to those made to the Riparian Protection Area Mapping.

An Oran Park Precinct Special Areas Map comparison plan is included as Figure 17.

Pondicherry Precinct Planning Proposal

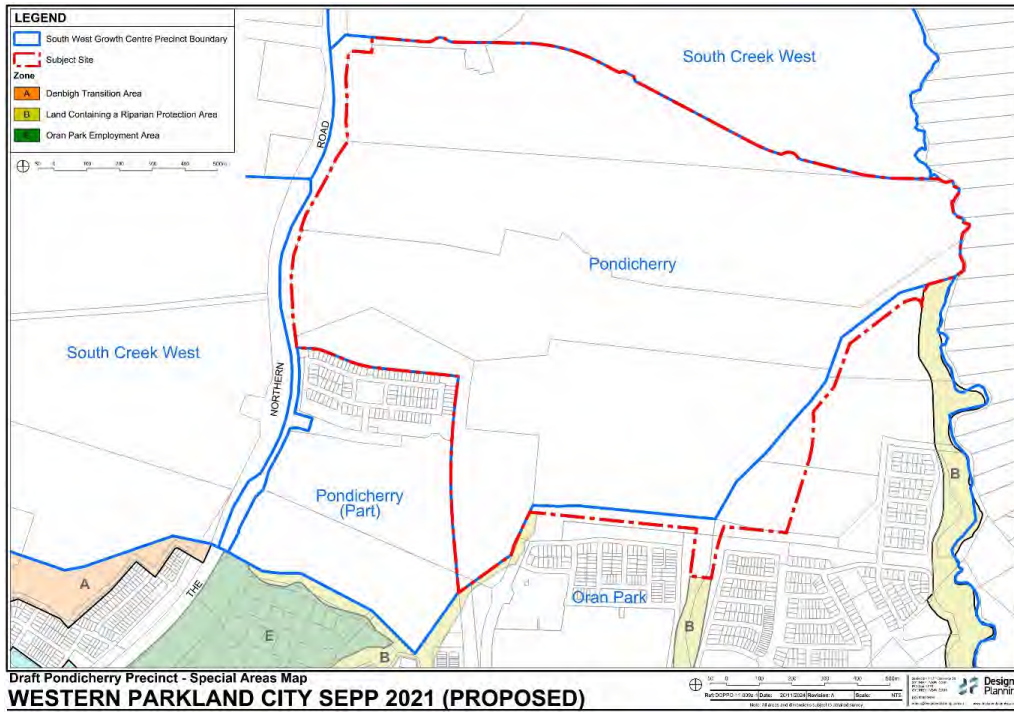


Figure 16: Proposed Special Areas Map

Pondicherry Precinct Planning Proposal

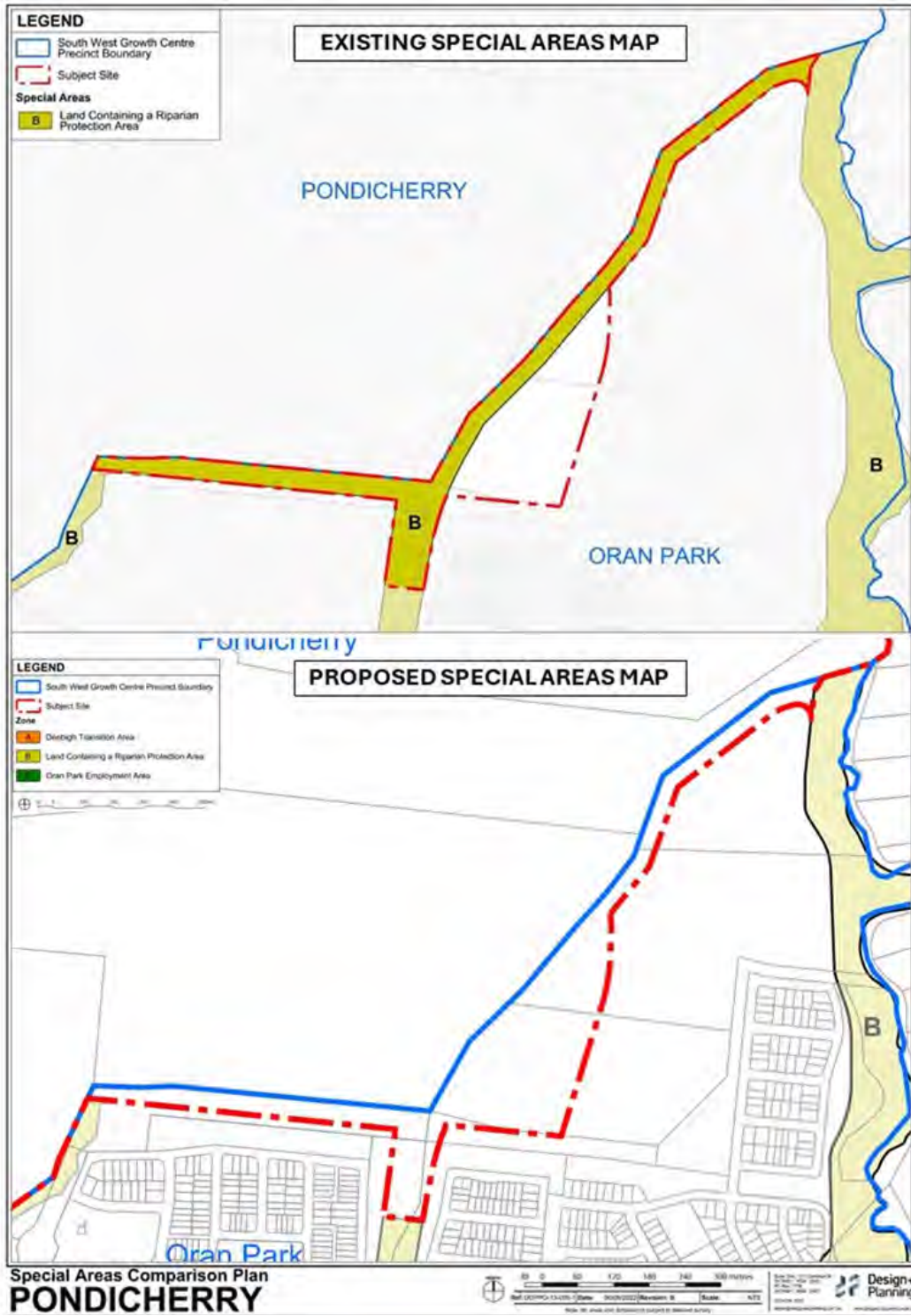


Figure 17: Proposed Oran Park Precinct Special Areas Map Comparison Plan

Pondicherry Precinct Planning Proposal

Amendment to the Native Vegetation Protection Map

The Native Vegetation Protection Sheet Map NVP_003 & 008 is proposed to be amended to include Pondicherry into the Growth Centres SEPP including the Precinct boundaries of Pondicherry and South Creek West. The map identifies the Existing Native Vegetation Area and Native Vegetation Retention Area for the Precinct, with those areas confined to the land zoned C2 Environmental Conservation and outside the defined Lake Precinct.

Pondicherry Precinct

The mapping of Native Vegetation is consistent with the Western Parkland City SEPP, *Appendix 5 Camden Growth Centres Precinct Plan, Part 6, Clause 6.2 and 6.3* which seek to prevent the clearing of certain native vegetation and manage existing native vegetation in accordance with the relevant biodiversity measures of the BC Act 2016.

As detailed by ELA in their biodiversity assessment (**Appendix 20**) the proposed Draft ILP and associated zoning regime achieves requirements of the *(Draft) Growth Centres Conservation Plan 2007* through the retention of Existing Native Vegetation in the *C2 Environmental Conservation Zone*. The restoration of these corridors proposed through the ILP, zoning and Native Vegetation Protection Mapping will provide improved habitat resources and connectivity for the site and ultimately assist native fauna to adapt to changes in the environment resulting from development.

Figure 18 (and **Appendix 6**) shows the proposed Native Vegetation Projection Map.

As part of their assessment ELA was also required to produce an assessment of consistency report which identifies the site as containing 1.6ha of *Existing Native Vegetation (ENV)*, which will be fully protected within the Precinct and contained in land zoned *C2 Environmental Conservation*. This assessment report also proposes amendments to the Biodiversity Certification Mapping to align with the detailed site assessments conducted as part of this rezoning (Figure 19).

Oran Park Precinct

Native Vegetation Protection Mapping was not employed through the Oran Park Precinct, with this precinct instead defining areas of cultural and environmental value as *Riparian Protection Areas*. Refer to *Amendment to the Riparian Protection Area Map*.

Pondicherry Precinct Planning Proposal

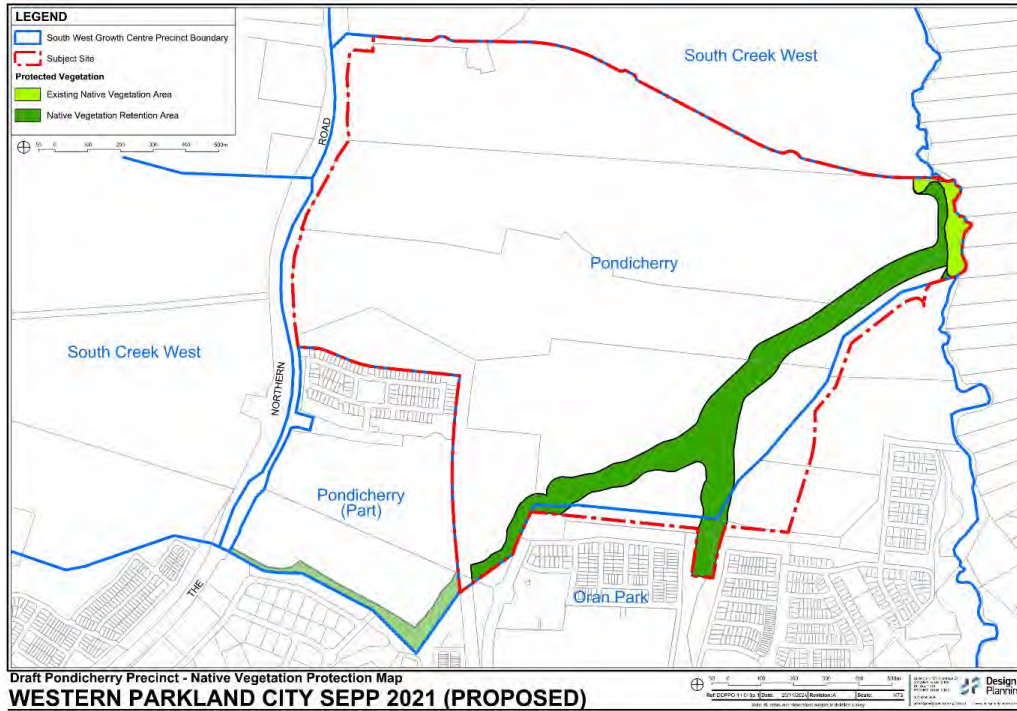


Figure 18: Proposed Native Vegetation Protection Map



Figure 19: Proposed Biodiversity Certified Land Map

Pondicherry Precinct Planning Proposal

Amendment to the Precinct Boundary Map

The Precinct Boundary Map Sheet PCB_003 & 008 is proposed to be amended to include Pondicherry Precinct into the Western Parkland City SEPP including the Precinct boundaries of Pondicherry and South Creek West. The map identifies the boundary for the Oran Park Precinct, the Pondicherry Precinct and the South Creek West Precinct.

Figure 20 (and **Appendix 6**) shows the proposed Precinct Boundary Map.

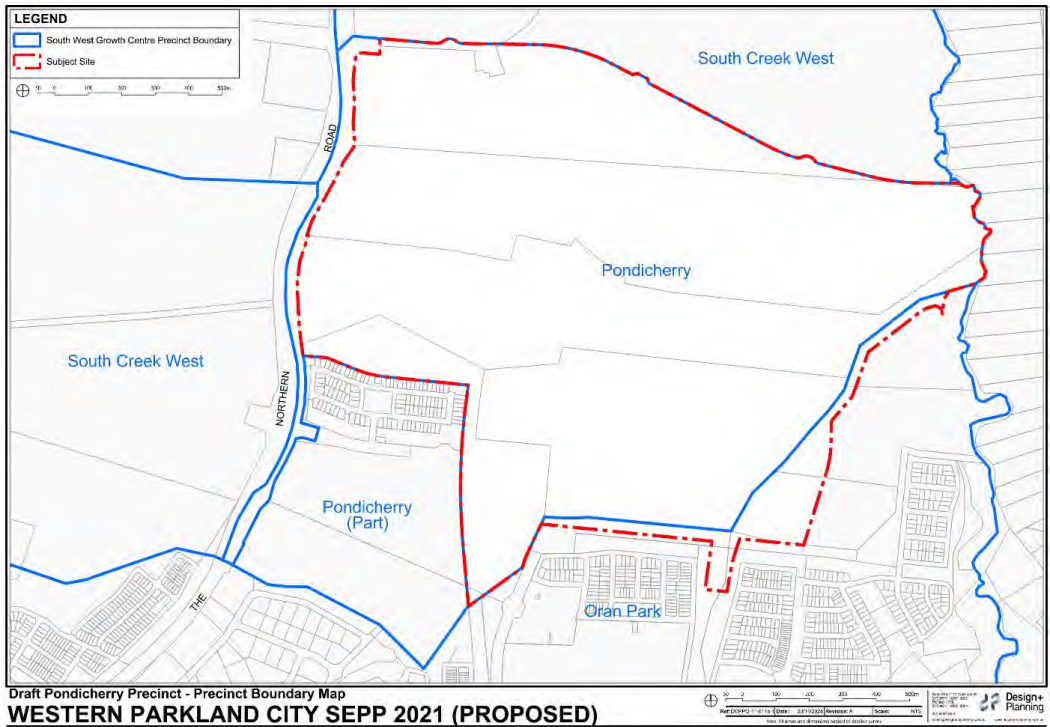


Figure 20: Proposed Precinct Boundary Map

Amendment to the Riparian Protection Area Map

The Riparian Protection Area Map Sheet RDN_003 & 008 is proposed to be amended to include Pondicherry into the Growth Centres SEPP including the Precinct boundaries of Pondicherry and South Creek West.

Pondicherry Precinct

The mapping of Riparian Protection Area is consistent with the defined riparian corridors contained within the Draft Pondicherry ILP.

Figure 21 (and **Appendix 6**) shows the proposed Riparian Protection Area Map.

Oran Park Precinct

The changes required to the Riparian Protection Area Map correspond with the proposed residential structure and outcomes envisaged at the interface between the Draft Pondicherry ILP and required changes to the Oran Park ILP. This includes reducing the area identified as

Pondicherry Precinct Planning Proposal

riparian protection to allow delivery of Lake Precinct as detailed on the corresponding Draft ILP's.

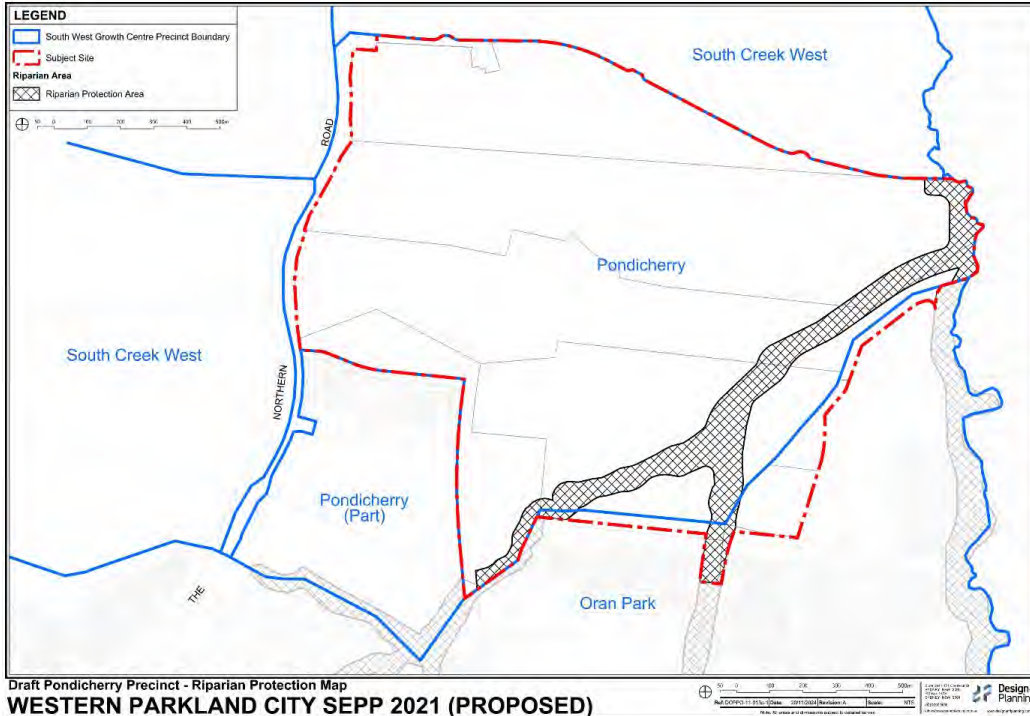


Figure 21: Proposed Riparian Protection Area Map

The Lake Precinct seeks to wholly deliver the objectives of ecological sustainable development within an urban setting through design led principle which balance water cycle management, biodiversity and built form objectives and outcomes. The continuation of the waterbody up the lower reaches of Ron's Creek provides flexibility in the ultimate lake water level relative to the natural creek line and topography, while continuing to achieve a diverse ecosystem and the principles of ecological sustainable development within the corridor. An Oran Park Precinct Riparian Protection Area comparison plan is included as Figure 22.

Pondicherry Precinct Planning Proposal

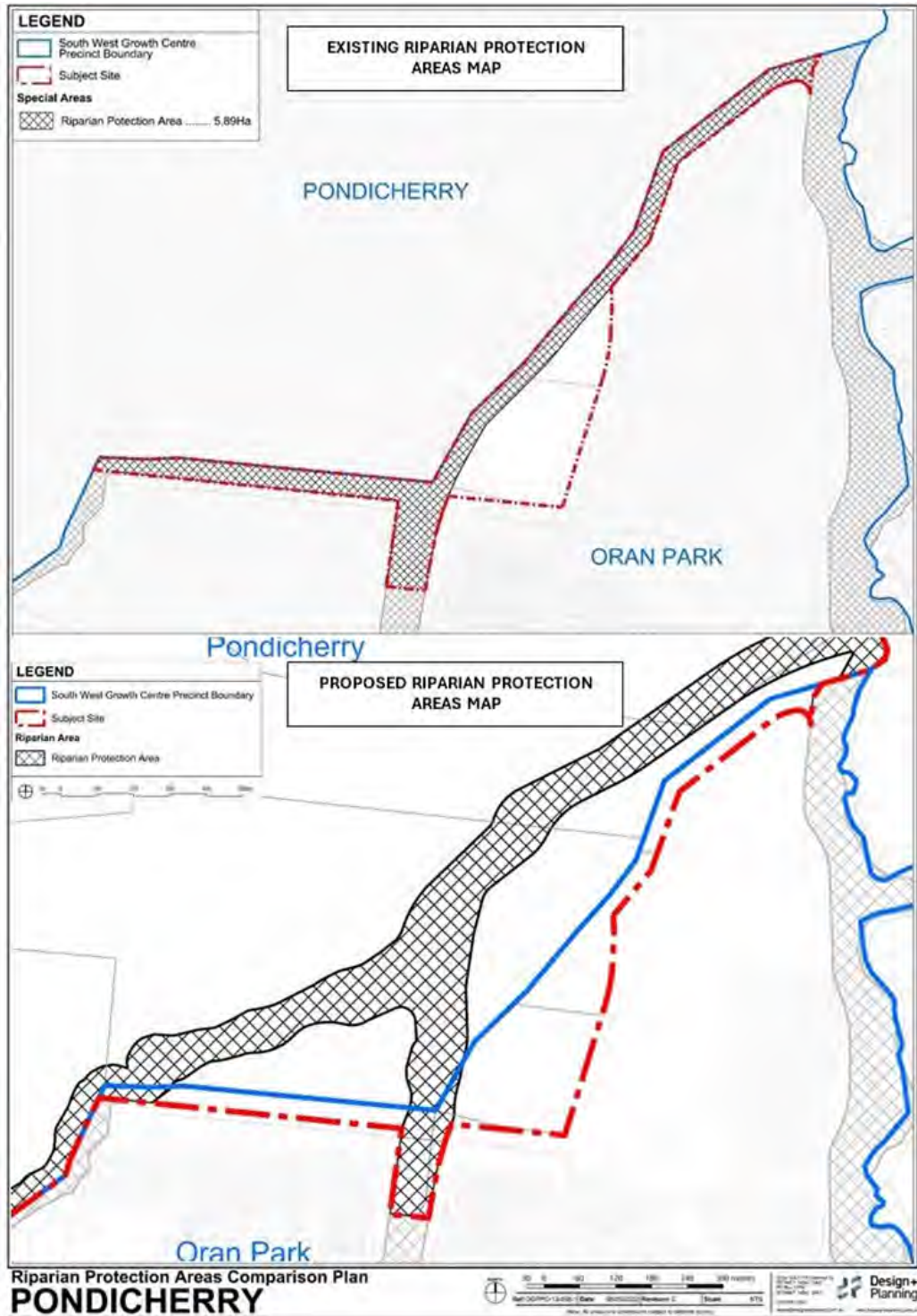


Figure 22: Proposed Oran Park Precinct Riparian Protection Area Comparison Plan

Pondicherry Precinct Planning Proposal

Further Amendments to Appendix 5 Camden Growth Centres Precinct Plan

The proposal seeks to apply density bands to Pondicherry by amending Residential Density Map Sheet RDN_033 & 008 to include Pondicherry into the Western Parkland City SEPP as discussed above. The intent of the density bands is to provide predominately standard medium density residential housing forms surrounding amenity of the local neighbourhood parks, with higher densities including apartments adjacent to the lake and neighbourhood centre. This approach is consistent with that taken in Lowes Creek Maryland and Leppington Stages 2 and 5 and aligns with the strategic direction of Council's Local Strategic Planning Statement (LSPS) and Local Housing Strategy (LHS) to increase housing diversity in the Camden LGA.

At the same time, the proponent maintains a fundamental concern that the application of mapped density bands does not provide adequate flexibility to accommodate adjustment to a development's location following detailed development design at the DA stage.

Therefore, it is intended for Clause 5.3 Development near zone boundaries ('fuzzy line' zone boundary) in Appendix 5 Camden Growth Centres and Precinct Plan to be amended to permit zone boundary flexibility up to 50 metres in the Pondicherry Precinct (as per the East Leppington Precinct provision). This will also include a new provision to apply equal flexibility to a development standard boundary (including density bands), as clause 5.3 does not currently apply to all development standards.

Part 3 – Justification

This section addresses the need for the proposed amendments to the Western Parkland City SEPP, identifies the background studies undertaken, and details why the planning proposal is the best approach.

3.1 Section A – Need for the Planning Proposal

Q1. Is the planning proposal a result of any strategic study or report?

Pondicherry and the adjoining Oran Park are located within the SWGA and form part of the *Western City District* as defined within the *Region Plan*. The *Region Plan* sets the 40-year vision for the growth of Sydney, with the District Plans providing a 20-year plan for the delivery of that vision.

The rezoning of the site for residential development, including local and active open spaces, retention of culturally and ecologically significant riparian corridors and provision of retail and community services to support the community conforms with the objectives and directions of the strategic plans for Sydney.

Q2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Other than through the State Governments State Significant Rezoning process, the planning proposal is the only means of achieving the objectives of the proposed rezoning, being the delivery of land supply and associated community facilities within the SWGA within a timely and efficient manner.

Pondicherry Precinct Planning Proposal

The rezoning of Pondicherry forms a logical extension of the existing Oran Park project with relatively few environmental constraints. As documented in this Planning Proposal report the proposed rezoning will balance those constraints and the delivery of the wider land supply imperatives of the Growth Area.

3.2 Section B – Relationship to Strategic Planning Framework

Q3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

Yes, the Planning Proposal is consistent with the objectives and directions of the relevant Region and District Strategic Plans.

The objectives and directions of the Greater Sydney Region Plan and Western City District Plan applicable to the Planning Proposal have been addressed at **Appendix 1** of this report.

Q4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?

This Planning Proposal is consistent with Council's local strategies as summarised below. Consistency against these strategies is provided in greater detail in **Appendix 1**.

Camden Community Strategic Plan

The Connecting Camden Community Strategic Plan (CSP) 2036 acknowledges that Camden's urban landscape is changing and that there is a need to ensure that everyone has access to quality environments that are well planned and designed, maintained, and built to last for future generations. The CSP also acknowledges that the green spaces, natural and rural landscapes, and waterways are special spaces with cultural and heritage values to the community.

The proposal is consistent with the following relevant strategic directions and objectives of CSP:

Key Direction – Liveable

- LB2- Our Public spaces and places are vibrant and accessible:
 - LB2.1 Ensure homes, infrastructure and facilities are well planned, delivered and maintained to create high quality urban and rural environments that meet our diverse needs and response to our climate.
 - LB2.2 Enhance town centres and public spaces.
 - LB2.3 Identify and maintain city heritage and culture.

Key Direction – Prosperous

- P2- Our LGA provides diverse local job opportunities, supported by skills and training pathways to employment.
 - P2.1 Strengthen education, training and career pathways.

Key Direction- Balanced

- B1- Our natural environment and waterways are protected, well maintained and enhanced for community enjoyment;
 - B1.2 Maintain, protect and increase Camden's tree canopy

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- B1.3 Manage the impact and integration of population growth responsibly within our natural environment
- B1.5 Maintain and enhance the natural environment.

Camden Local Strategic Planning Statement

The Local Strategic Planning Statement (LSPS) was adopted by Council on 14 April 2020. The LSPS is a 20-year planning vision, and includes land use, transport and sustainability objectives to demonstrate how the Camden LGA will change to meet the community's needs over the next 20 years.

The proposal is consistent against the relevant Local Priorities and Actions of the LSPS, as listed below:

Infrastructure and Collaboration:

- **Local Priority 1:** Aligning Infrastructure Delivery with Growth
- **Local Priority 2:** Connecting Camden through Integrated Transport Solutions
- **Local Priority 3:** Planning for the Delivery of the North South West Rail Link Extension
- **Local Priority 4:** Working in Partnership to Deliver a More Liveable, Productive and Sustainable Camden

Liveability

- **Local Priority 1:** Providing Housing Choice and Affordability for Camden's Growing and Changing Population.
- **Local Priority 3:** Providing Services and Facilities to Foster a Healthy and Socially Connected Community.

Sustainability

- **Local Priority 1:** Improving the Accessibility and Connectivity of Camden's Green and Blue Grid and Delivering High Quality Open Space
- **Local Priority 2:** Protecting & Enhancing the Health of Camden's Waterways, and strengthening the Role and Prominence of the Nepean River.
- **Local Priority 6:** Improving Camden's Resilience to Natural Hazards and Extreme Events.

Camden Local Housing Strategy

The Camden Local Housing Strategy was adopted by Council on 12 October 2021. The Camden Local Housing Strategy sets out a plan for housing in the Camden LGA over the next 10 to 20 years. The proposal has been assessed against the Priorities, Objectives and Actions of the draft Strategy. The specific priorities this proposal is considered against are as follows:

- **Objective 1:** There is sufficient planning capacity to meet forecast housing demand.
- **Objective 2:** Precincts in the SWGA are planned and released to align with infrastructure provision.
- **Objective 4:** Neighbourhood design supports healthy and connected communities that are better placed.
- **Objective 5:** Increase Camden LGA's green cover and urban tree canopy.
- **Objective 6:** Housing density is strategically located to activate town centres, promote walkability and optimise infrastructure.

Pondicherry Precinct Planning Proposal

- **Objective 9:** The mix of housing types matches the changing needs and preferences of the community.

Camden Centres and Employment Lands Strategy

The Centres and Employment Land Strategy (CELS) sets out Council's vision for centres and employment land in the Camden LGA over the next 20 years. It draws on a body of evidence to create a set of priorities and objectives specific to the Camden LGA, with associated implementation actions and timeframes.

The relevant objectives of the CELS are as follows:

- Direction 1: A network of successful. Integrated and attractive retail centres.
- Guiding Criteria for Planning Proposals 3 – Proposed Centres in greenfield areas should be established early in the development process.

Greener Places, Healthier Waterways: A Vision for the Camden Green and Blue Grid

The Greener Places, Healthier Waterways: A Vision for the Camden Green and Blue Grid outlines Council's approach to join and enhance green open spaces, biodiversity corridors, riparian areas and natural bushland (the Green Grid) using creeks, rivers, lakes and streams (the Blue Grid) as the backbone for these connections.

The relevant objectives of the draft vision are as follows:

- 1. Create linear open space 'Green Grid' corridors to promote walking, cycling and public transport usage and to provide important habitat corridors for animals and wildlife.
- 3. Create more east-west links of trees and vegetation across the local grid to connect Town Centres and river and creek systems- This will provide a steppingstone of habitats for animals to move between as well as provide shade for people to move about their local areas.
- 4. Keep existing farm dams and wetlands when designing new and future suburbs- these will provide a water source for wildlife and create a focal point within new open spaces for people to enjoy.
- 5. Use the electricity easements as green links by vegetating these areas with low native planting- offering new walking and cycling tracks for people to use as well as creating new biodiversity links for wildlife.
- 8. Retain and restore vegetation around South Creek and Kemps Creek when planning for development.

Q5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

A review of the Planning Proposal and its intended outcomes and objectives against all relevant SEPPS is provided at **Appendix 2**.

The review has demonstrated that the proposal is consistent with all relevant and applicable SEPPS.

Q6. Is the planning proposal consistent with applicable Ministerial Directions (s9.1 Directions)?

Pondicherry Precinct Planning Proposal

A review of the Planning Proposal and its intended outcomes and objectives against all current Ministerial Directions is provided at **Appendix 3**. The Planning Proposal is consistent with the relevant Ministerial Directions.

3.3 Section C – Environmental, Social and Economic Impact

Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The Biodiversity Assessment provided at **Appendix 20** provides an assessment of the biodiversity values of the site including the likely presence of threatened species, endangered ecological communities, vegetation conditions and habitat values.

As shown in Figure 18 much of the Pondicherry site is biodiversity certified, excluding the South Creek Corridor and a portion of the northern farm dam, with Existing Native Vegetation contained in the South Creek Corridor. The existing vegetation in the South Creek corridor will be retained through the implementation of an environmental conservation zone and Native Vegetation Protection Map within the Western Parkland City SEPP, with boundaries determined as part of the conducted on-site investigations and validation.

The protection through zoning and restoration of identified riparian corridors will provide improved habitat resources and connectivity for the site and ultimately assist native fauna to adapt to changes in the environment resulting from development. These corridors also provide the opportunity for the provision of nest boxes and relocation of lost hollows due to development, with such recommendations to be made during the DA process.

Proposed DCP provisions will also provide for riparian and biodiversity connectivity from South Creek to upstream tributaries by providing riparian style embellishment along the lake's edges.

Q8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

Potential environmental impacts from the development of Pondicherry will be managed through the provisions and controls contained within the Western Parkland City SEPP and Camden Growth Centre DCP, as described below.

Stormwater and Flooding

Pondicherry is defined by two drainage catchments which flow to Lowes Creek (western catchment) and South Creek (eastern catchment).

The water cycle management strategy adopted for the Draft ILP is most significantly defined by the Lake Precinct (eastern catchment). The Lake Precinct will replace existing water bodies (farm dams) on site and performs a combined stormwater detention and catchment management function while also contributing to heat island offsets through the holding of water in the environment.

The western catchments will be managed through the delivery of two combined detention and bio-retention basins. The basins will be designed to manage the 100-year storm events of the catchment and treat the water to the water quality treatment targets outlined by Council.

Detailed assessment of the stormwater design and modelling has been undertaken following the issue of a Gateway Determination to ensure consistency with Council's Upper South Creek Regional Flood Model Framework. This review has determined that stormwater design and

Pondicherry Precinct Planning Proposal

modelling is consistent with the regional framework and has satisfied the conditions of the Gateway Determination.

Traffic Impacts

The Proposal is supported by a traffic and transport study report which assessed the traffic impact of Pondicherry in the context of the South West Growth Area, including future development of Oran Park, Lowes Creek Maryland and South Creek Precinct to 2036.

Further consultation with TFNSW was undertaken during the public exhibition and agency consultation stage, to ensure adequate traffic and transport outcomes are achieved through the draft ILP and relevant development controls. TFNSW raised no objection to the Planning Proposal.

Aboriginal Heritage

Five Aboriginal Archaeological sites and two areas of potential archaeological deposit (PAD) have been identified in Pondicherry. These sites were identified as displaying scientific significance ranging from low to moderate. According to the draft ILP, all sites containing Aboriginal objects would be harmed by future development.

To mitigate impacts on Aboriginal Archaeological sites, an Aboriginal Heritage Impact Permit (AHIP) will be required from Heritage NSW prior to any works being undertaken on the site. An application for an AHIP will need to detail recommended actions to be taken before, during and after an activity to manage and protect any Aboriginal objects and places.

During public exhibition DCCEEW (Heritage NSW) requested that the Aboriginal Heritage Information Management System (AHIMS) search be updated as it was completed more than 12 months prior to public exhibition. Their submission also noted that documents provided did not include documentation demonstrating consultation with Aboriginal parties.

In response to this submission as updated AHIMS search was completed. The AHIMS search results represent no additional Aboriginal heritage impacts in comparison to the previous AHIMS search. An additional registered AHIMS sites were identified within the search area. However, these were either outside the Pondicherry Precinct or registered as part of the Aboriginal Heritage Assessment submitted with this proposal. The exception to this is an update to PAD 2038-6 which has now been confirmed as 'Not a Site' and the AHIMS search was updated accordingly.

The proponent also provided a report which outlines how the Pondicherry ILP responses to the Connecting with Country Framework and additional controls in section 2.8 Aboriginal Cultural Heritage of the draft Pondicherry Precinct DCP. The proposed DCP figures highlight areas within the ILP that hold the greatest potential for conserving and interpreting Aboriginal heritage values. Proposed DCP controls intend to promote the integration of Connecting with Country principles within future development.

Riparian Corridor

Eleven first-order, four second order and one third-order stream are located within the boundary of Pondicherry. Of these, three of the higher order streams have distinctive bed, bank and aquatic habitat and are defined as a 'river' under the Water Management Act.

This Planning Proposal seeks to support the rehabilitation and embellishment of riparian corridors within the precinct, including the South Creek Corridor.

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The proposed riparian and biodiversity corridors will be delivered in accordance with a Vegetation Management Plan (VMP) to be produced as part of future Development Application(s). A VMP will be detailed in accordance with the Riparian assessment conducted by Eco Logical Australia included with this report and will facilitate the revegetation of these environmentally sensitive and culturally significant corridors. A suitable maintenance period will also be established within the VMP to ensure the intended outcomes are achieved including the provision of enhanced water quality and biodiversity and improved habitat resources and connectivity for the site to assist native fauna adapt to changes in the environment resulting from development.

The riparian corridors are proposed to be zoned *C2 Environmental Conservation* and identified on the riparian protection area map to ensure the objectives of the Precinct Plan are delivered through the development process.

In addition to formal riparian corridors, as a result of agency consultation additional controls are proposed within the DCP to ensure riparian style embellishment is provided to the proposed lakes edges to ensure riparian and biodiversity connectivity from South Creek to its upstream tributaries.

Bushfire Risk

Pondicherry was referred to the NSW Rural Fire Service during the initial notification period and during the agency consultation period. No objection was raised, but recommendations were made regarding perimeter road widths and Asset Protection Zones. These are reflected in the Strategic Bushfire Study and the draft DCP controls will ensure these recommendations are implemented at the DA stage.

Odour

An initial assessment report by Environmental Resource Management Australia Pacific Pty Ltd identified six uses in the vicinity of the subject site that have the potential to impact on Pondicherry. These include three chicken farms, one turkey farm, one composting facility and one resource recovery and recycling (compost) facility.

The draft Planning Proposal package originally submitted to Council included DCP controls applying to land identified by the odour impact assessment to have potential odour impacts. This included the requirement for a detailed odour assessment to be provided with any future development application for residential subdivision.

During public exhibition, one community submission was received from an existing resource recovery facility at 751 The Northern Road Bringelly, which included an odour impact assessment identifying the potential for odour impacts on the proposed residential land within the precinct. The proponent subsequently provided an updated odour impact assessment in response, adopting the odour sampling from the submitters report, demonstrating different odour impacts.

The NSW EPA also made a submission on the proposal highlighting that the initial odour assessment was reliant on a transitional assessment criterion based on Council's existing development application policy for urban development within the SWGA, which is inconsistent with the EPA's policy framework for managing odour.

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In response to the community submission received from the resource recovery facility at 751 The Northern Road, and the proponent's subsequent response, Council officers commissioned a peer review of odour reports by an independent consultant.

This peer review found that the sampling of odour producing materials (two samples) and activity undertaken to inform the submitters report was not sufficient for a reliable assessment, and that the sampling results adopted for odour modelling likely did not reflect the true worst-case scenario of the site's operations. As such, the peer review concluded that the true worst-case scenario could result in odour impacts significantly greater than those identified in the report provided as part of the submission.

To resolve this issue, controls have been inserted into the draft DCP amendment applying to the Pondicherry Precinct, requiring any future development application for residential subdivision to be accompanied by a Level 3 Odour Impact Assessment (using the dispersion modelling program CALPUFF) to verify the actual nuisance levels of odour generated by the existing facility at 751 The Northern Road. These controls will allow for the development of residential land uses to be commenced once it has been demonstrated that they will be able to comply with the EPA odour criteria of 2 Odour Units, or that the odour emitting business has ceased its operations.

Noise and Vibration Assessment

Five key noise sources were identified as having potential impacts on the Pondicherry Precinct. This includes road traffic noise associated with The Northern Road and Sub-Arterial Roads; Future rail noise associated with the potential future North-South Rail line; industrial noise emanating from the Oran Park employment to the south of the Tranche 41 site; recreation areas noise and Aircraft noise associated with the Camden Airport and future Western Sydney Airport.

Adequate mechanisms are in place to mitigate the adverse impacts relating to these noise sources.

In relation to the traffic noise from The Northern Road, current provisions relating to noise attention measures in Section 2.3.9 – Noise of the Camden Growth Centre Precincts DCP including the provision of noise mounds, building orientation and design and the use of landscaping are in line with the recommendations made in the Noise and Vibration Assessment. The draft ILP also provides a range of opportunities for noise attenuation along The Northern Road and the sub-arterial and collector roads, such as designing internal roads to enable orientation of dwellings on corner lots to face local roads.

In relation to industrial noise, a noise assessment report would be required at the DA stage in accordance with requirements of the Oran Park B DCP for employment area.

To mitigate rail noise and vibration, additional acoustic requirement have been included in Schedule 7 of the DCP in accordance with the Interim Guideline- Development Near Rail Corridors and Busy Roads.

Q9. Has the planning proposal adequately addressed any social and economic effects?

Social Effects

This Planning Proposal is supported by the technical study conducted by Elton Consulting which has assessed the existing demographics of the locality, the likely demographics of the future Pondicherry community and the needs generated by that future community. The Draft ILP responds to this assessment through the delivery of active and passive open space,

Pondicherry Precinct Planning Proposal

schools, child care, retail uses and well connected active transport network to meet the needs of the future community, with other high order services, including healthcare, aged care, higher education, emergency services and community resources being delivered, or already delivered within Oran Park and surrounding centres.

In addition, an addendum to the Social Infrastructure Assessment has been provided which undertook an updated demand analysis for schools against 2021 census data. It is considered that school provision within the precinct is sufficient for the proposed demand.

It is noted that SINSW have raised in agency consultation that they continue to monitor demand for additional public school sites within the South West Growth Area.

Economic Effects

The economic effects of the Planning Proposal are varied with increased housing supporting the planned centres and employment areas of the SWGA and particularly Oran Park Town and the future centre to the north. The growing focus and Government commitment toward the Western Sydney Airport and the anticipated 200,000 jobs is expected to entice large volumes of people to the South West of Sydney. The Planning Proposal seeks to deliver residential accommodation for this anticipated future demand.

3.4 Section D – State and Commonwealth Interests

Q10. Is there adequate public infrastructure for the planning proposal?

This Planning Proposal seeks to deliver on the imperatives of the SWGA through the rezoning of land for residential development. The site is located adjoining the established area of Oran Park Town and will benefit from the significant infrastructure investments made to date with minimal additional investment required prior to residential construction. A critical benefit therefore of the Planning Proposal is the increased utilisation of recent infrastructure investment and the benefit this brings to Government through mechanisms such as the Special Infrastructure Contribution. Of note the site is well serviced by the surrounding upgraded arterial road network (The Northern Road, Camden Valley Way) and essential services (water, sewer, telecommunications, gas, electrical) along with social infrastructure delivered within the expanding Oran Park Town.

Q11. What are the views of state and Commonwealth public authorities consulted in accordance with the Gateway determination?

In accordance with the Gateway Determination the draft Planning Proposal was publicly exhibited for 28 days from 9 April to 6 May 2024. The following state agencies were consulted with in accordance with the Gateway Determination:

- NSW Rural Fire Service;
- Emergency services: NSW Police NSW Ambulance, NSW Fire & Rescue;
- State Emergency Services;
- NSW Department of Education – School Infrastructure;
- Department of Climate Change, Energy, the Environment and Water (DCCEEW) – Biodiversity and Science Group;
- DCCEEW – Licensing & Approvals;
- DCCEEW – Heritage NSW;
- Transport for NSW;
- Sydney Water; and
- NSW EPA.

Pondicherry Precinct Planning Proposal

In addition to the above agencies identified in the Gateway Determination, Council consulted with;

- NSW Health – South West Sydney Local Health District;
- Jemena;
- Transgrid; and
- Endeavour Energy.

Of the above, 15 agencies provided advice on the Planning Proposal by way of submission during the public exhibition period. Advice was not received from NSW Police.

A number of concerns were raised by agencies, notably;

- DCCEEW – Licensing & Approvals identified concerns regarding the compliance of the proposed lake system with the guidelines for riparian corridors on waterfront land, and broader riparian and biodiversity connectivity to South Creek;
- DCCEEW – Biodiversity & Science Group identified concerns regarding the proposed amendments to biodiversity certification mapping;
- DCCEEW – Heritage NSW identified concerns regarding the proposals consideration of the Connecting with Country Framework; and
- NSW EPA identified concerns regarding odour impacts from an adjoining EPA licensed resource recovery facility at 751 The Northern Road Bringelly.

In response to agency submissions the following amendments to the Planning Proposal and DCP have been made:

Planning Proposal

- The zoning of the proposed lake has been amended to C2 Environmental Conservation from SP2 Infrastructure.

DCP

- Addition of controls relating to Aboriginal Cultural Heritage to promote integration of Connecting with Country principles within the future development.
- Amendment to controls relating to odour to appropriately consider odour impacts from an existing resource recovery facility at 751 The Northern Road Bringelly at the development application stage.
- Addition of controls relating to Biodiversity and Riparian Corridors to ensure that riparian and biodiversity connectivity is provided from Wianamatta South Creek to upstream tributaries by providing riparian style embellishment to the edges of the proposed lake.

A full assessment of matters raised in public agency submissions, and responses to these submissions, is provided in **Appendix 41**.

Part 4 – Mapping

As outlined in *Part 2 - Explanation of Provisions*, the following maps in the Western Parkland City SEPP will require amendment:

Pondicherry Precinct Planning Proposal

- Development Control Map: Sheet DVC_003 & 008
- Floor Space Ratio Map: Sheet FSR_003 & 008
- Heritage Map: Sheet HER_003 & 008
- Height of Buildings Map: Sheet HOB_003 & 008
- Land Application Map: Sheet LAP_003 & 008
- Land Reservation Acquisition Map: Sheet LRA_003 & 008
- Lot Size Map: Sheet: LSZ_003 & 008
- Special Areas Map: SAM_003 & 008
- Land Zoning Map: LZN_003 & 008
- Native Vegetation Protection Map: NVP_003 & 008
- Precinct Boundary Map: PCB_003 & 008
- Residential Density Map: RDN_003 & 008
- Riparian Protection Area Map: RPN_003 & 008

These proposed SEPP Maps are included in **Appendix 6**.

Part 5 – Community Consultation

Initial Notification

The proposal was placed on initial notification from 5 to 19 May 2021. Adjoining and nearby properties were notified by mail, and a notice was placed on Council's website. No submissions from the community were received.

Initial consultation with public agencies has also been undertaken, with eight agency submissions received, raising a number of points for consideration, but no objections with further consultation with agencies to occur at the public exhibition stage.

Public Exhibition

The Planning Proposal was publicly exhibited in accordance with Gateway Determination for 28 days from 9 April to 6 May 2024 and exhibition material was made available at:

- Council Administration Centre, 70 Central Avenue, Oran Park (Hard Copy)
- Oran Park Library, 72 Central Avenue, Oran Park (Hard Copy)
- Narellan Library, Queen Street, Narellan (Hard Copy)
- Camden Library, John Street, Camden (Hard Copy)
- YourVoice Camden website (Electronic Copy)
- NSW Planning Portal.

Pondicherry Precinct Planning Proposal

Notification letters were sent to landowners and previous submitters in the vicinity of the subject site to advise of the public exhibition of the Planning Proposal.

A total of 14 submissions were made on the Planning Proposal from community members 3 in support, 4 objecting, 6 provided information or suggested amendments for consideration and 1 has been withdrawn.

In accordance with the Camden Community Participation Plan 2021, all submitters were contacted separately to discuss their submissions and mediate any issues raised. As a result of this, one submission was withdrawn after additional information was provided.

Concerns raised in community submissions included;

- Provision of open space and native vegetation planting;
- Growing demand for public schools and lack of provision across the South West Growth Area;
- Lack of public hospital facilities in Camden;
- Inadequate social services such as schools, hospitals and emergency services to meet the needs of the growing population;
- The naming of the Precinct;
- Potential odour impacts from ongoing operation from existing resource recovery facility at 751 The Northern Road Bringelly.

Amendments to the Planning Proposal package in response to community submissions include the amendment to proposed DCP controls relating to odour to appropriately consider odour impacts from an existing resource recovery facility at 751 The Northern Road Bringelly, at the development application stage.

A full assessment of community submissions and responses to these submissions is provided in **Appendix 40**.

Part 6 – Project Timeline – update

Action	Timeframe
Anticipated commencement date (date of Gateway Determination)	24 July 2023
Anticipated timeframe for the completion of required technical information	March 2024
Timeframe for Government agency consultation (pre and post exhibition as required by Gateway Determination)	8 April to 6 May 2024
Commencement and completion dates for public exhibition period	8 April to 6 May 2024
Dates for public hearing (if required)	Not Applicable

Pondicherry Precinct Planning Proposal

Timeframe for consideration of submissions	May - December 2024
Timeframe for the consideration of a proposal post exhibition	May - December 2024
Post exhibition report to Council (if required)	December 2024
Date of submission to the Department to finalise the LEP	December 2024 / January 2025
Final Precinct planning document drafting (legal and Parliamentary Council)	January - March 2025
LEP amendment gazetted, DCP adopted	March / April 2025

Table 3: Project Timeline

Part 7 – Conclusion

This Planning Proposal seeks to rezone land for urban development within the Pondicherry Precinct of the SWGA, located in the Camden LGA. The Planning Proposal is made inclusive of a Draft Indicative Layout Plan which has been developed through consultation of various specialist consultants and analysis of the site's inherent opportunities, constraints and unique characteristics. A Draft Camden Growth Centre Precincts DCP (Pondicherry Precinct) Schedule is also enclosed. Required amendments to the Oran Park Precinct mapping of the Western Parkland City SEPP and Oran Park DCP are also included providing a comprehensive package which delivers a coordinated development outcome at the interface of these two Precincts.

The adoption of this Planning Proposal would be consistent with the intent, objectives and principles of the Greater Sydney Region Plan, the Western City District Plan and the Camden Council Local Strategic Planning Statement. The rezoning will deliver 242ha of urban development within the SWGA with a population in the order of 7,840 to 8,830 people and will form a natural extension of the Oran Park project which offers a high level of self-containment through a range of living options, schools, shops, community facilities and services, open space and employment opportunities.

The proposal will require amendment to the Camden Local Environmental Plan 2010, facilitated through an amendment under the State Environmental Planning Policy (Precincts – Western Parkland City) 2021.

Part 8 – Appendices

Appendix 1: Assessment against Regional, District and Local Strategic Plans

Appendix 2: Assessment against State Environmental Planning Policies

Appendix 3: Assessment against s9.1 Ministerial Directions

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Appendix 4: Gateway Determination

Appendix 5: Indicative Layout Plan

Appendix 6: Western Parkland City SEPP Maps

Appendix 7: Pondicherry Precinct DCP

Appendix 8: Amended Oran Park ILP and Amended Oran Park DCP

Appendix 9: Camden Local Panel Report and Minutes 21 June 2022

Appendix 10: Council Report and Minutes 13 December 2022

Appendix 11: Housing Market Assessment

Appendix 12: Landscape & Visual Assessment

Appendix 13: Social Infrastructure Assessment (incl. updated school demand assessment addendum)

Appendix 14: Land Capability

Appendix 15: Geotechnical Investigation

Appendix 16: Preliminary Site Investigation

Appendix 17: Aboriginal Heritage Assessment (incl. Connecting with Country Addendum)

Appendix 18: European Heritage Assessment

Appendix 19: Flooding & Water Cycle Management Assessment (incl. response to DCCEEW – Water & Licensing Submission)

Appendix 20: Biodiversity Assessment

Appendix 21: Riparian Assessment

Appendix 22: Bushfire Strategic Study

Appendix 23: Traffic & Transport Study

Appendix 24: Utilities Servicing Plan

Appendix 25: Utilities Implementation Plan

Appendix 26: Odour Impact Assessment

Appendix 27: Pondicherry Development Reverse Amenity Odour Assessment

Appendix 28: Noise and Vibration Assessment

Appendix 29: Pondicherry Tree Strategy

Appendix 30: Housing Typologies

Appendix 31: Biodiversity Consistency Report

Appendix 32: Retail and Employment Assessment

Appendix 33: Advice on Additional Neighbourhood Centre

Appendix 34: Lake Precinct Water Management Act Assessment

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Appendix 35: TransGrid Easement Masterplan

Appendix 36: Peer Review of Flooding and Watercycle Management Report

Appendix 37: Lake Biodiversity Corridor

Appendix 38: Pondicherry Lakes Riparian Strategy

Appendix 39: Assessment of Gateway Determination Conditions

Appendix 40: Public Exhibition Response to Community Submissions

Appendix 41: Agency Consultation Response to Submissions



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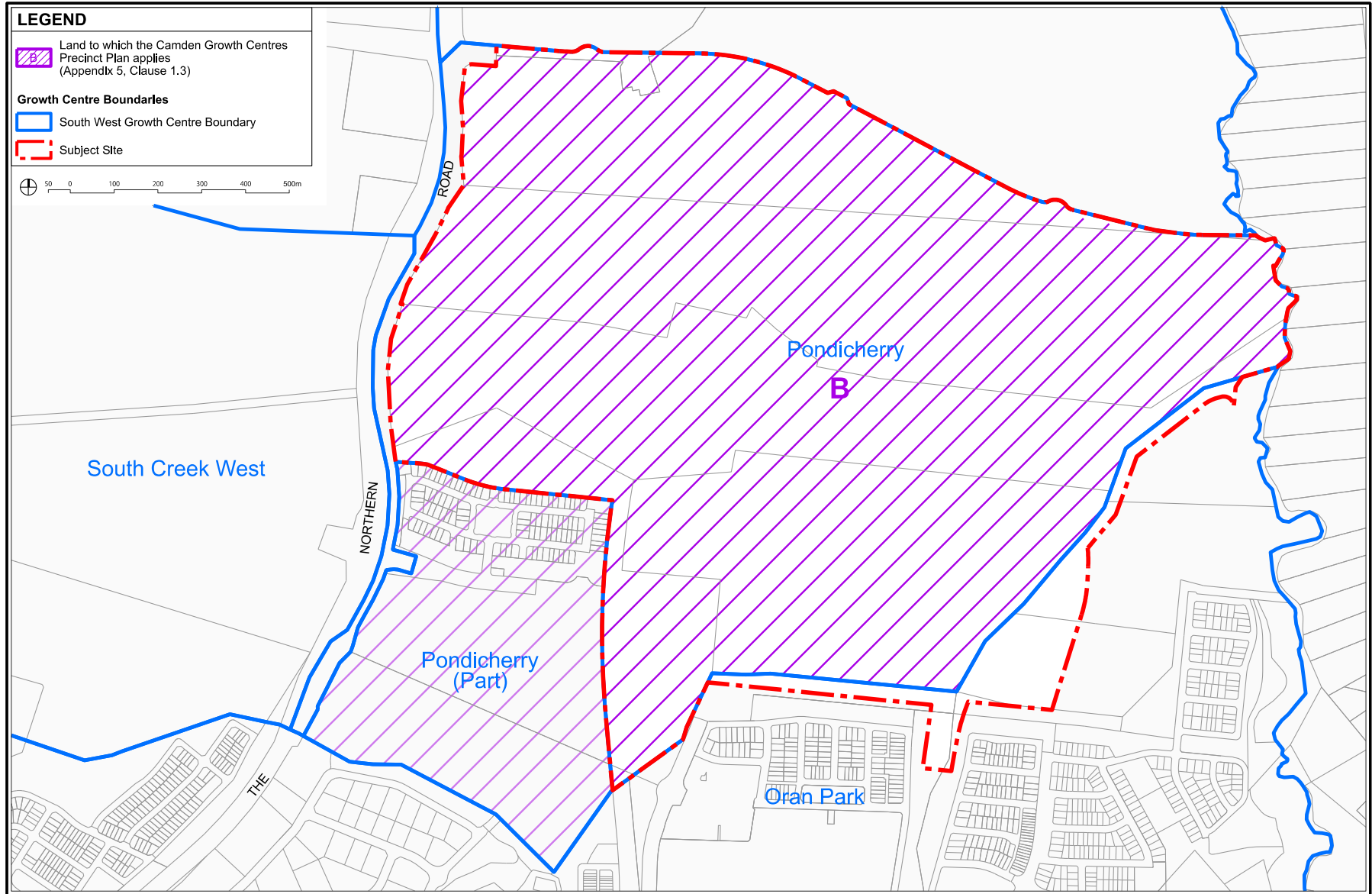
camden.nsw.gov.au

4654 7777

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ABN: 31 117 341 764



Draft Pondicherry Precinct - Land Application Map
WESTERN PARKLAND CITY SEPP 2021 (PROPOSED)

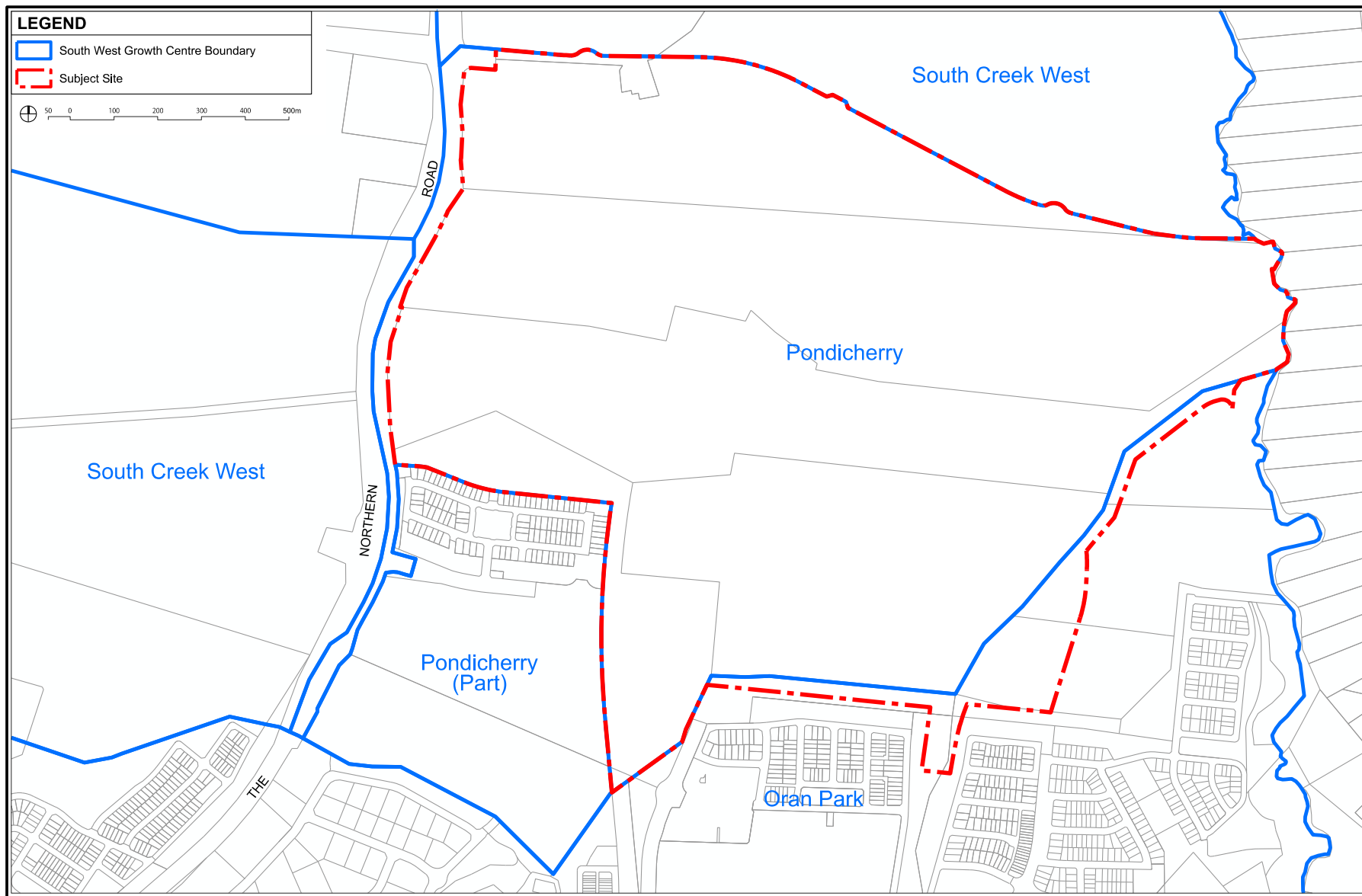
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Ref: DOPPO-11-001a-1 | Date: 2011/2024 | Revision: A | Scale: NTS

Note: All areas and dimensions subject to detailed survey.

50/101/171 Clarence St
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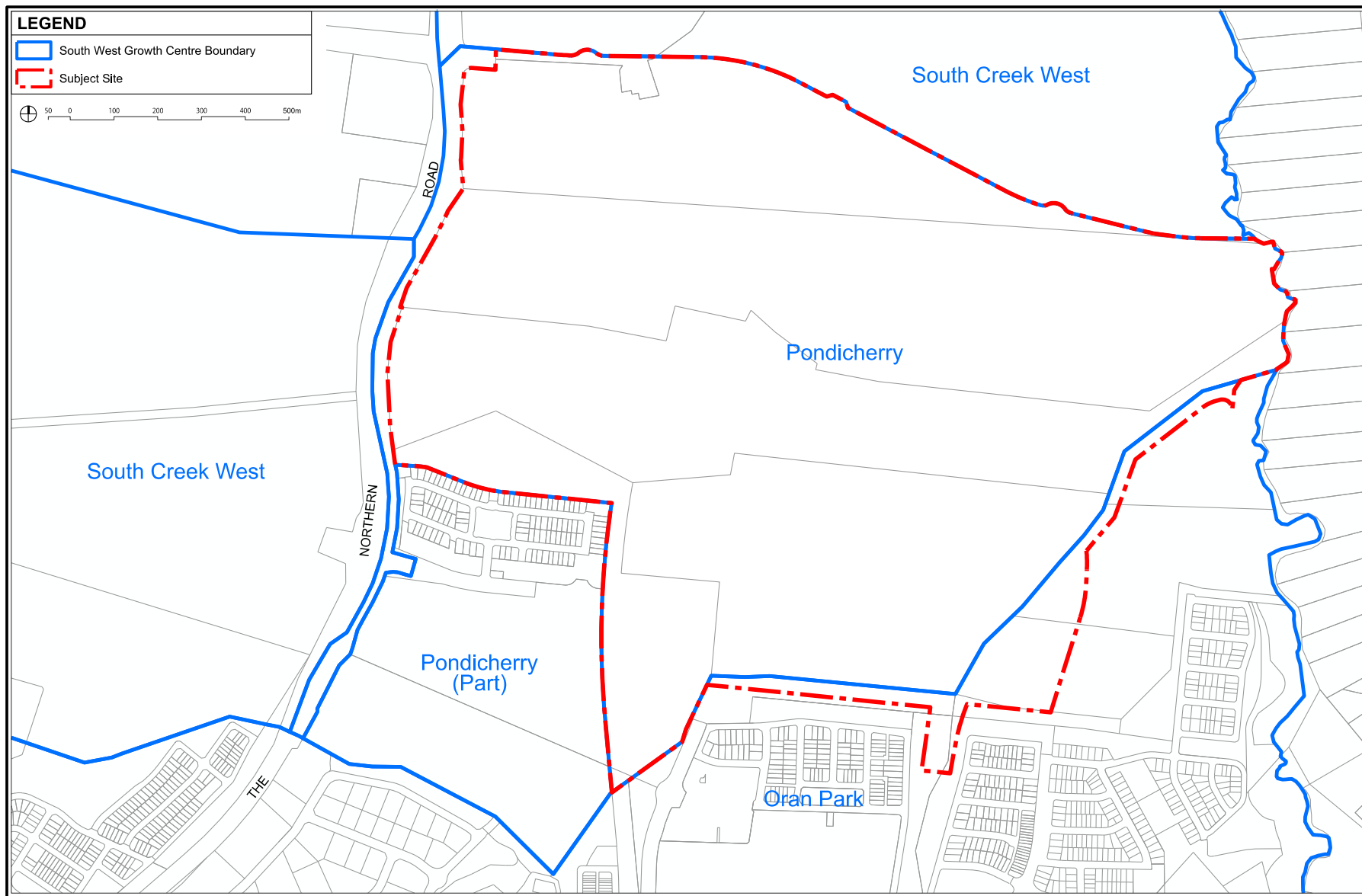


Draft Pondicherry Precinct - Floor Space Ratio Map
WESTERN PARKLAND CITY SEPP 2021 (PROPOSED)

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 Note: All areas and dimensions subject to detailed survey.

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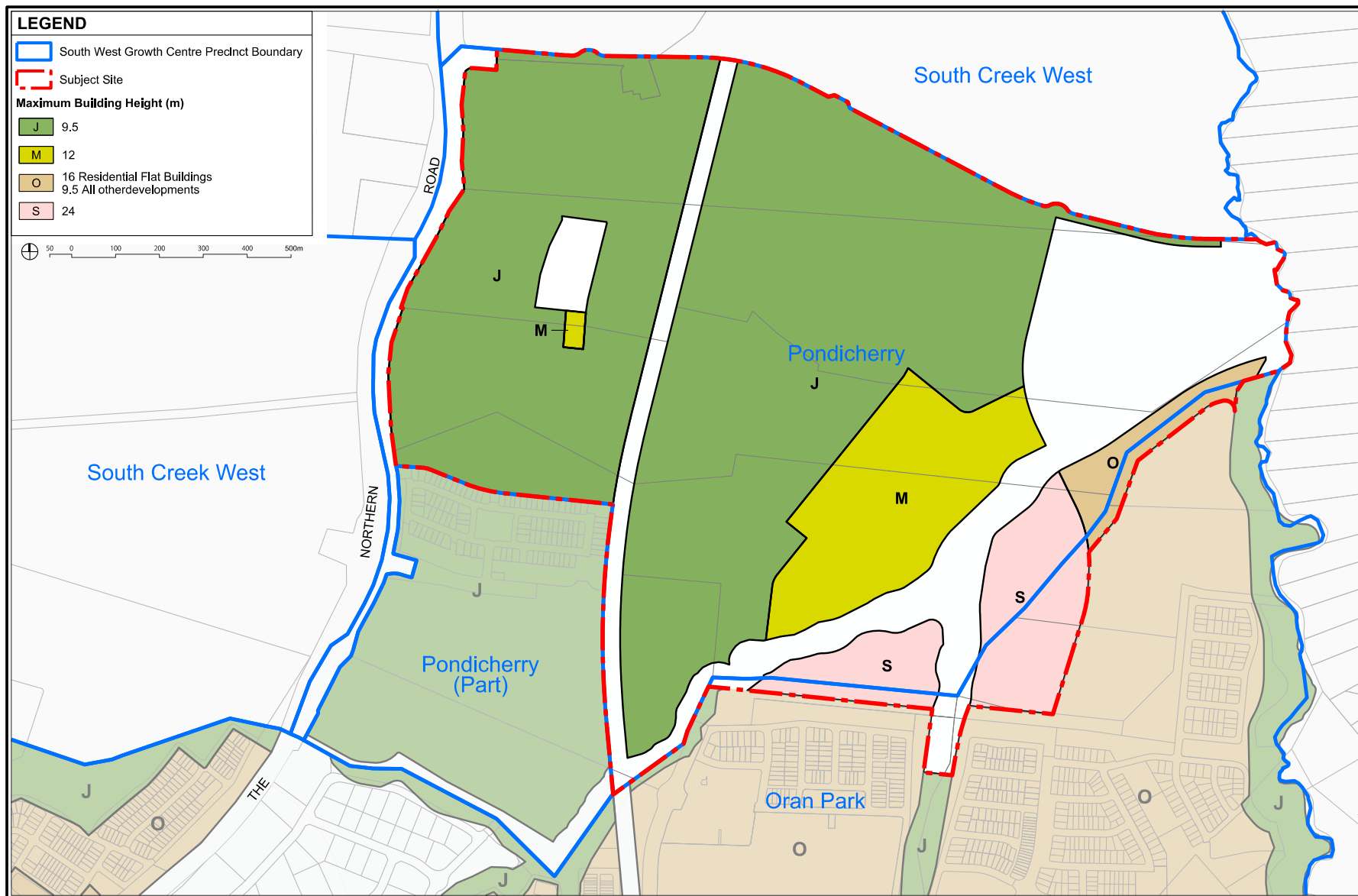


Draft Pondicherry Precinct - Proposed Heritage Map
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 Ref: DOPPO-11-003a-1 | Date: 2011/2024 | Revision: A | Scale: NTS
 Note: All areas and dimensions subject to detailed survey.

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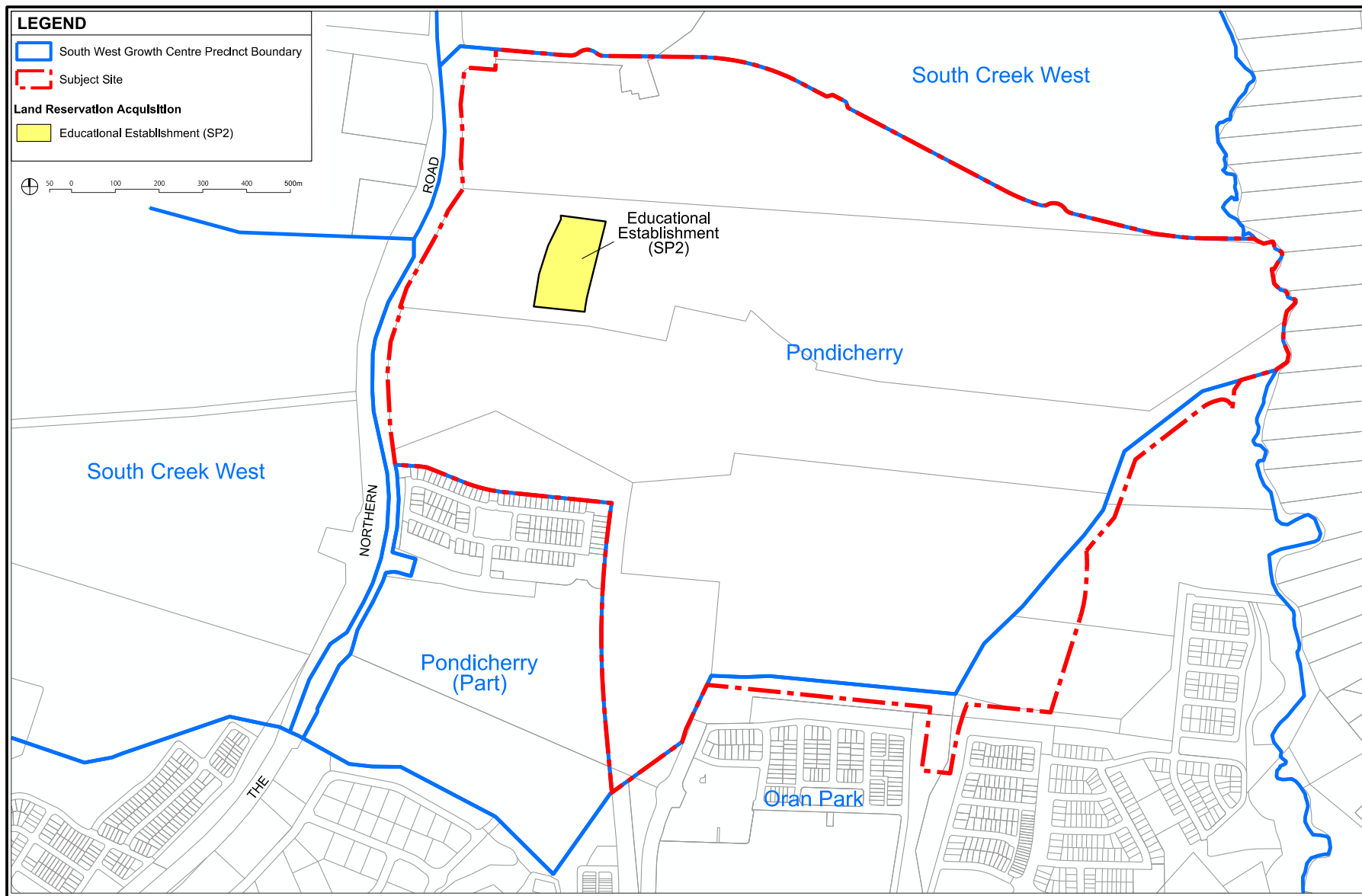
Draft Pondicherry Precinct - Height of Building Map
WESTERN PARKLAND CITY SEPP 2021 (PROPOSED)

Scale: 0 50 100 200 300 400 500m

Ref: DOPPO-11-004a-1 | Date: 20/11/2024 | Revision: A | Scale: NTS

Note: All areas and dimensions subject to detailed survey

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Draft Pondicherry Precinct - Land Reservation Acquisition Map
WESTERN PARKLAND CITY SEPP 2021 (PROPOSED)

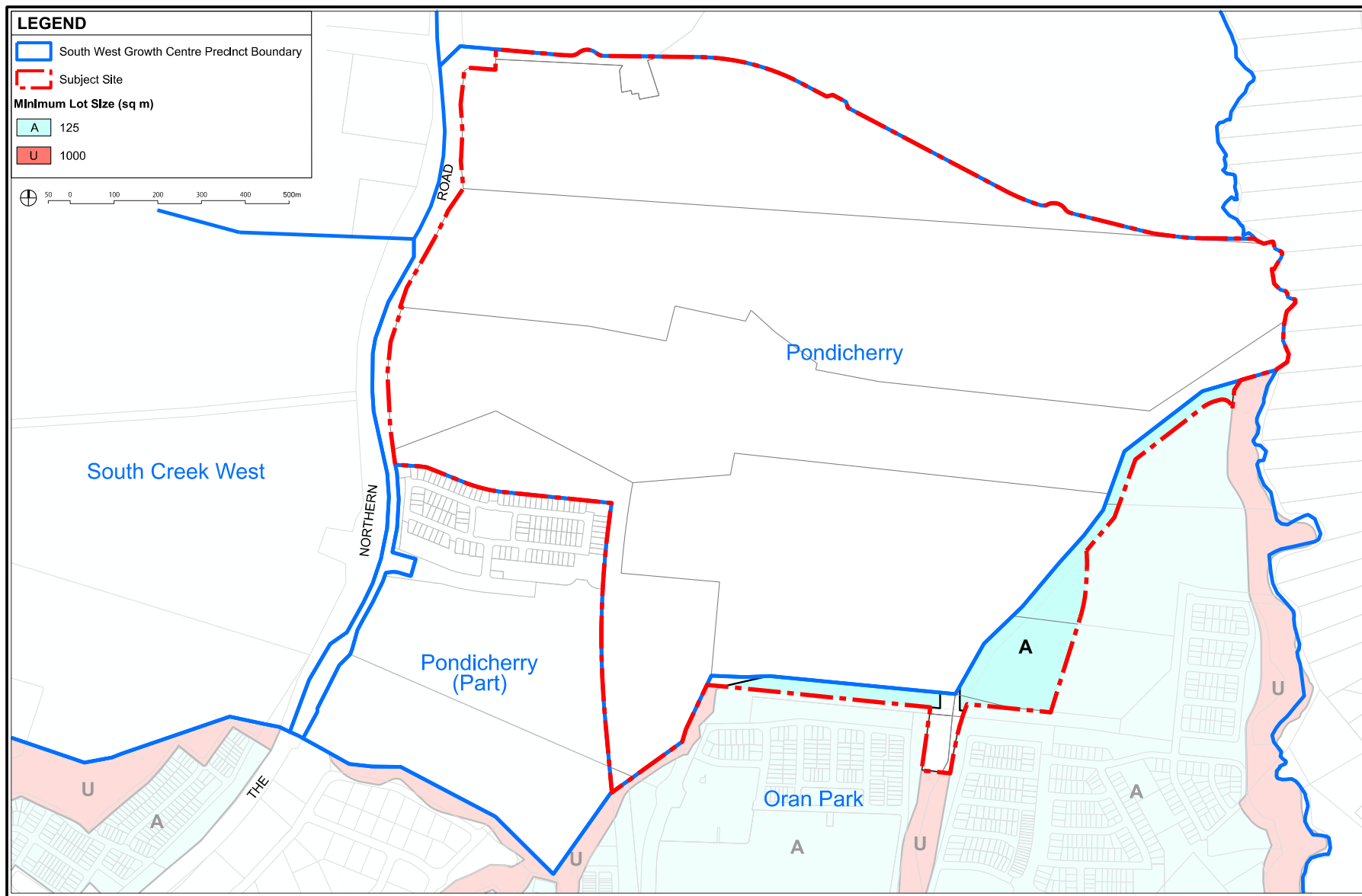
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Draft Pondicherry Precinct - Lot Size Map
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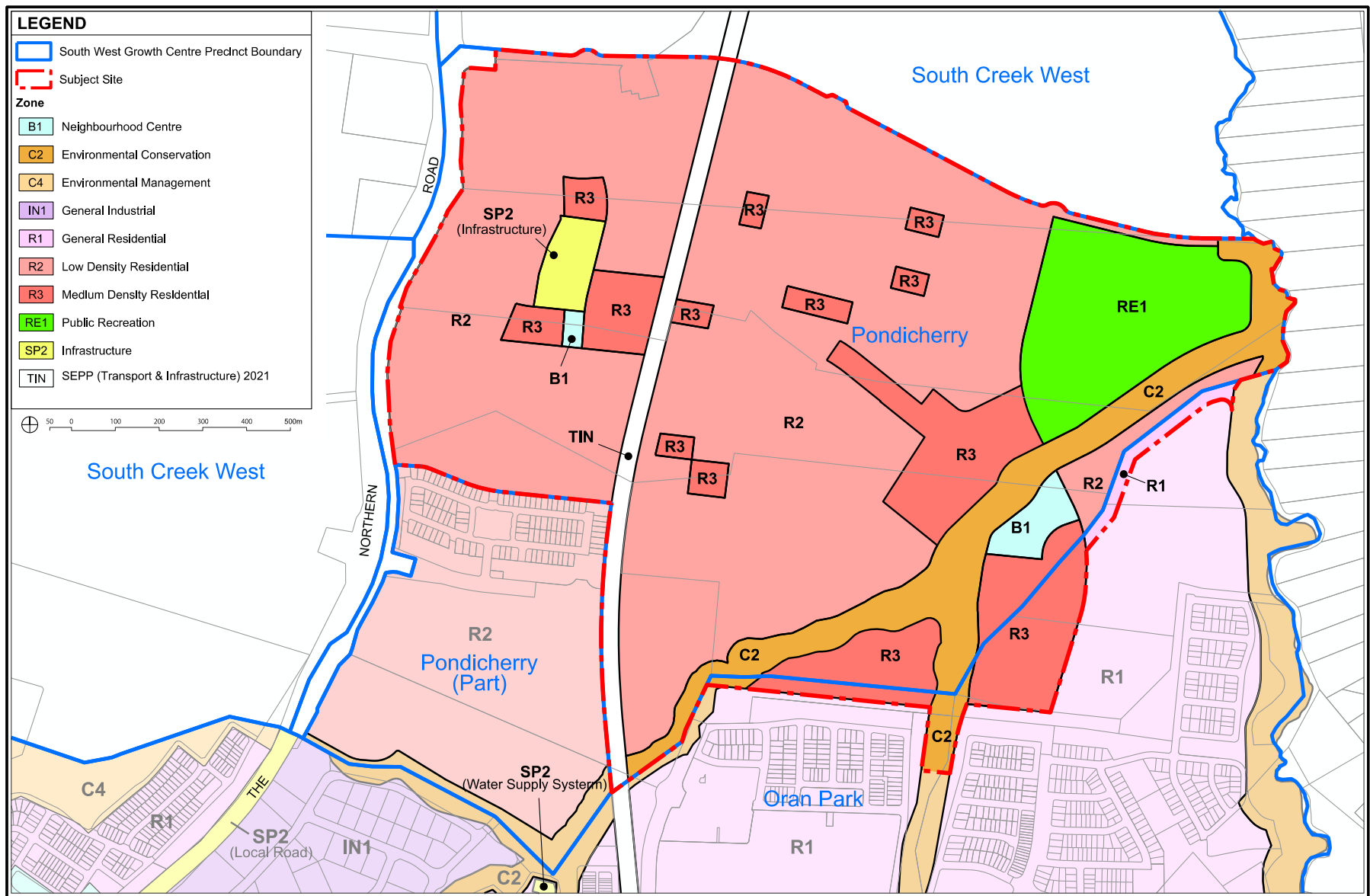
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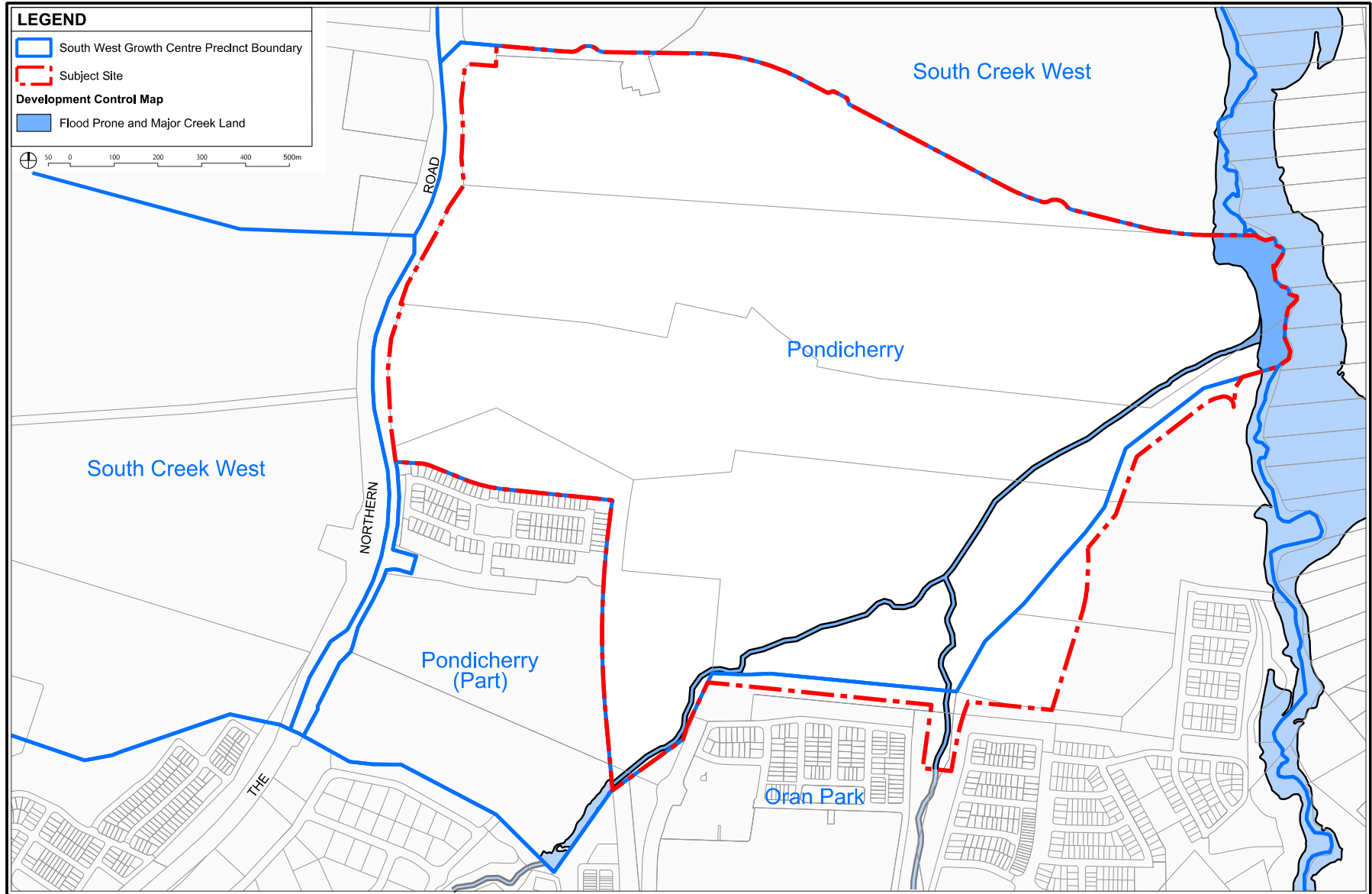


Draft Pondicherry Precinct - Land Zoning Map
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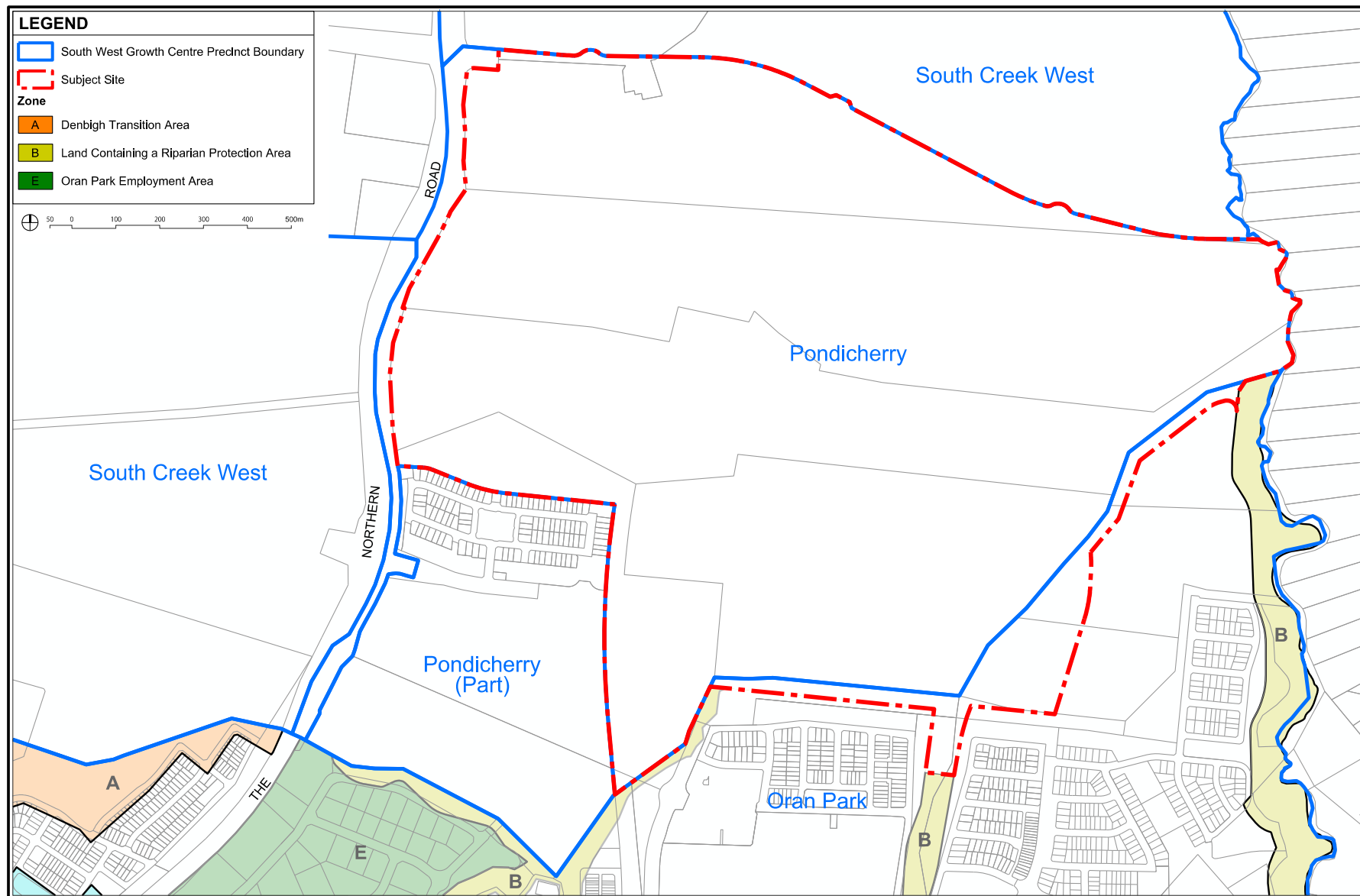


Draft Pondicherry Precinct - Development Control Map
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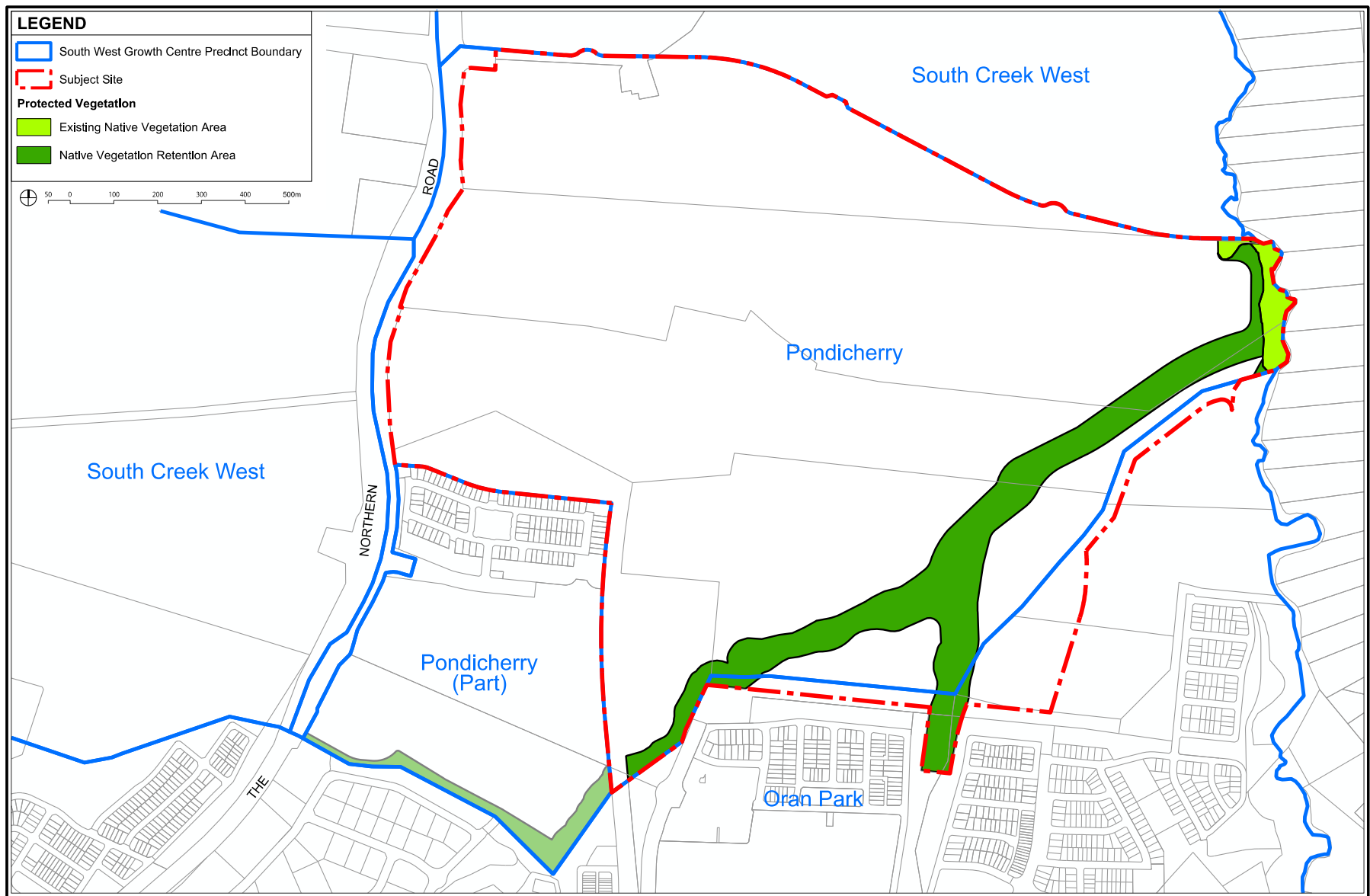
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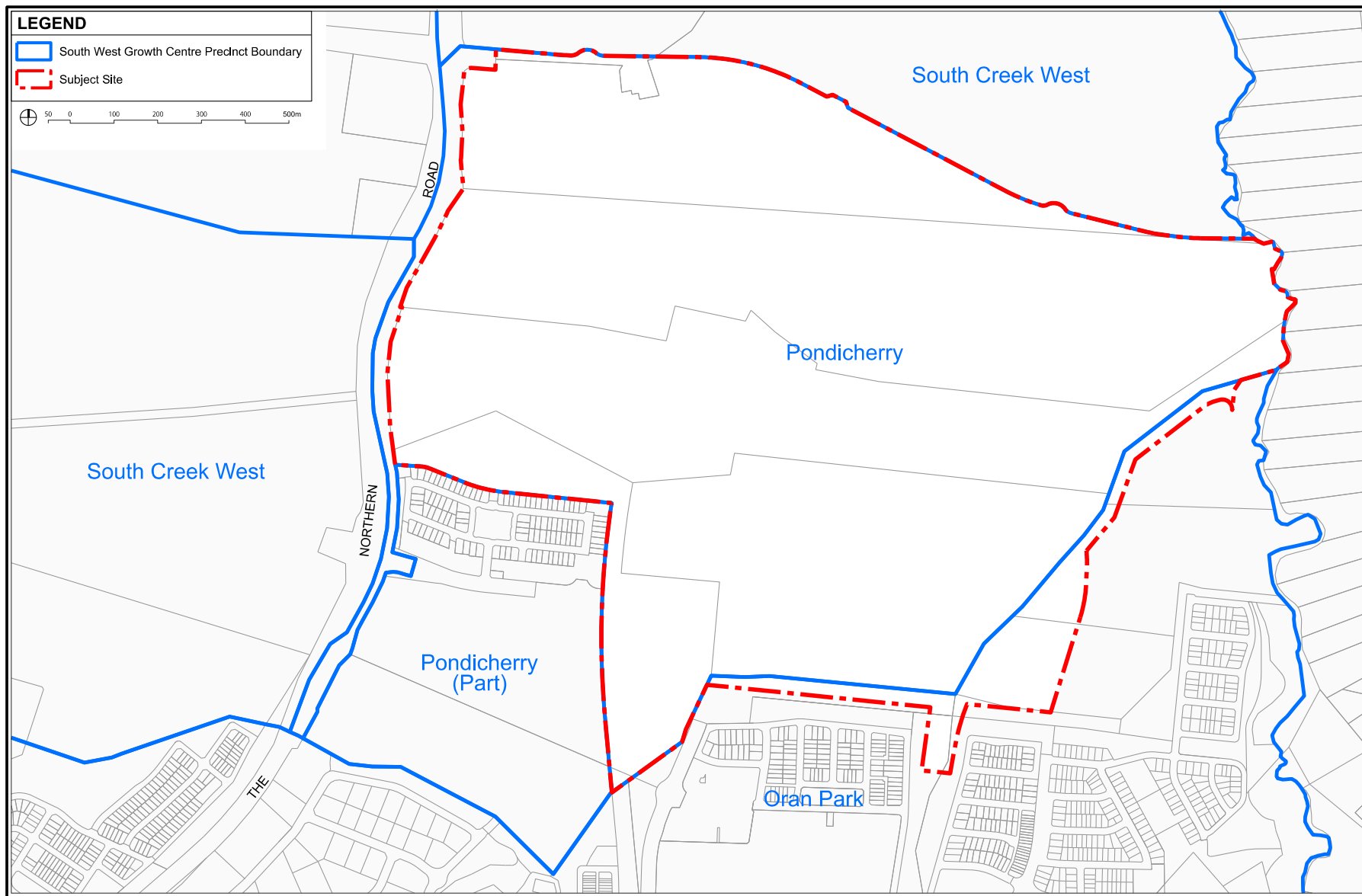
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Draft Pondicherry Precinct - Native Vegetation Protection Map
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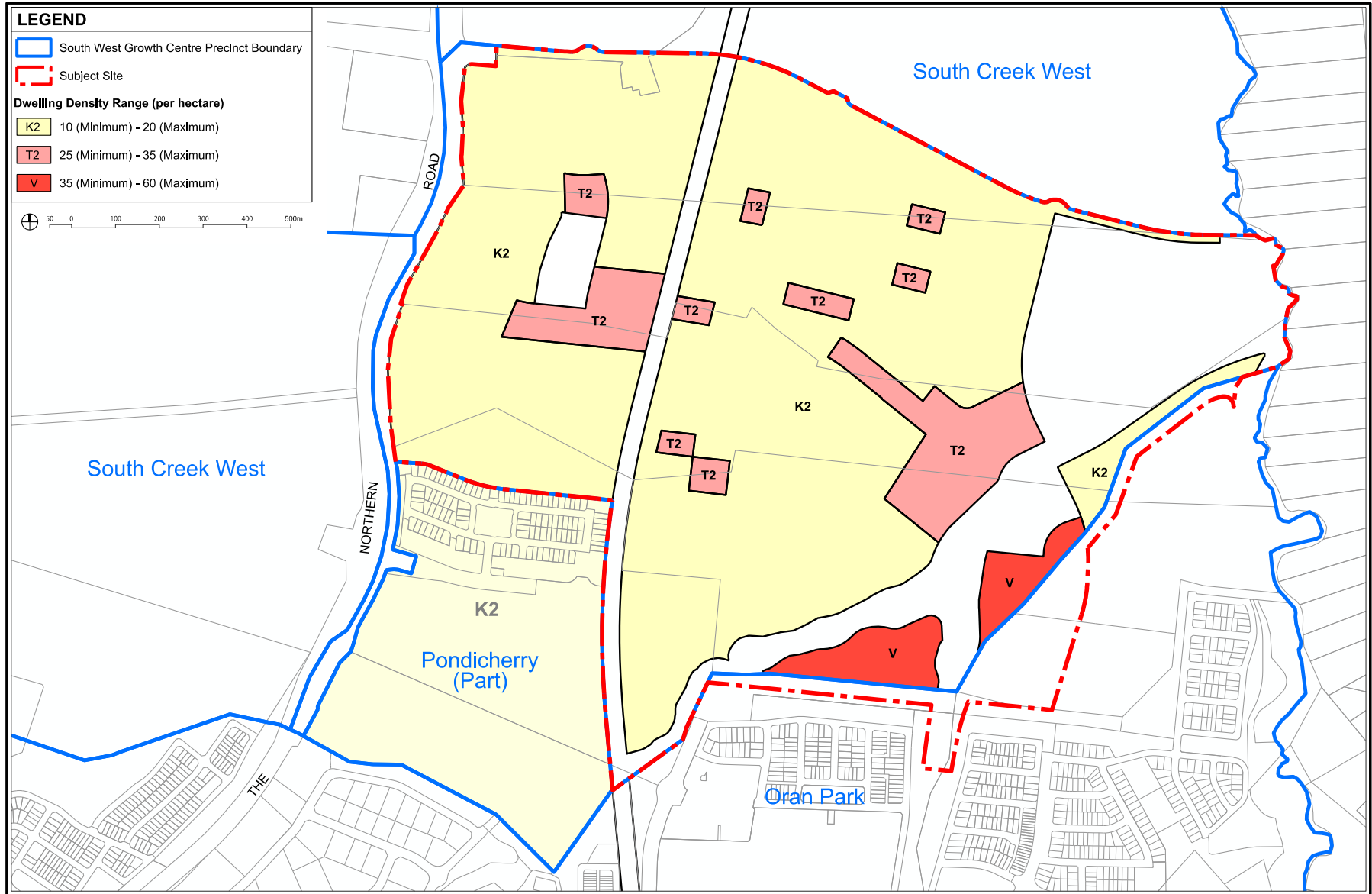


Draft Pondicherry Precinct - Precinct Boundary Map
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Draft Pondicherry Precinct - Residential Density Map
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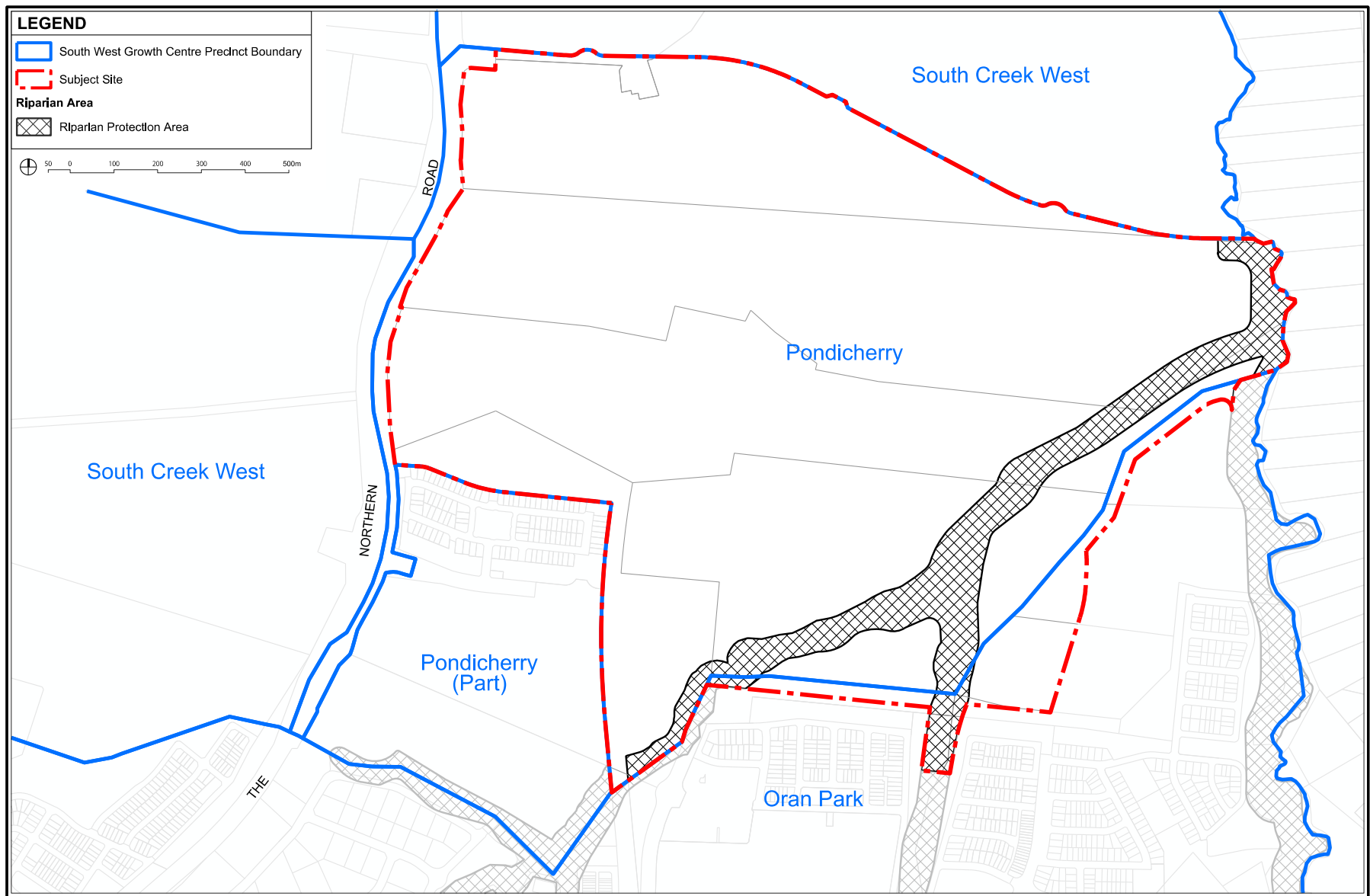
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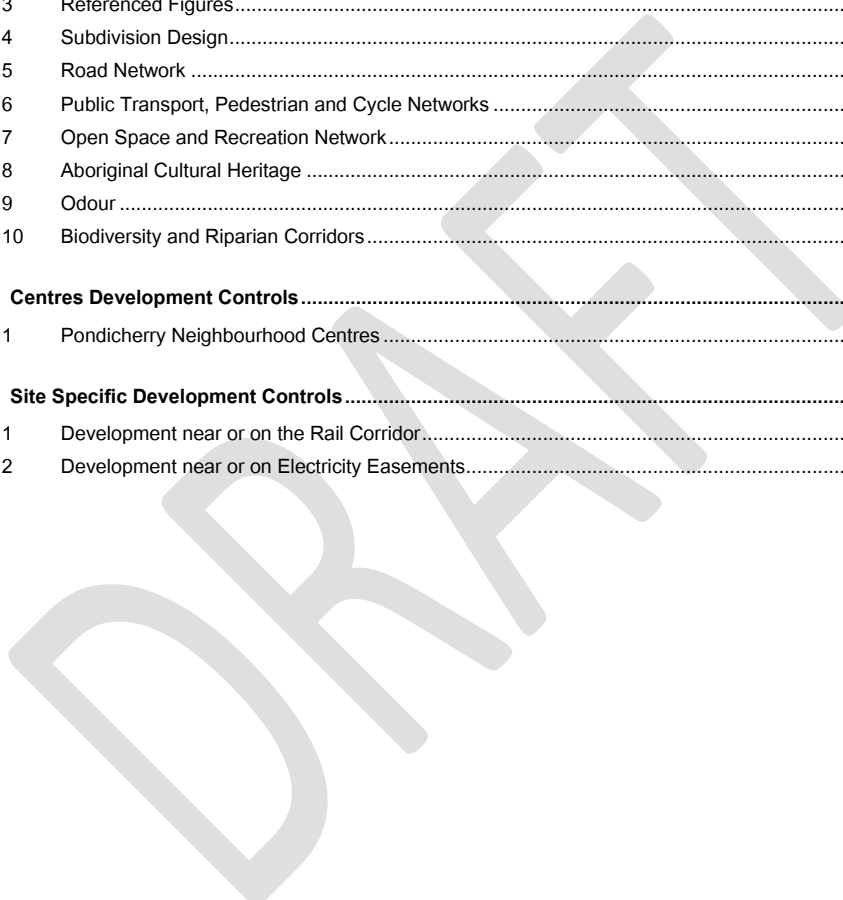
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 - 1.2 Structure of this Schedule 4

- 2 Subdivision Planning and Design..... 6**
 - 2.1 Precinct Vision 6
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Schedule 8 - Pondicherry Precinct**1 Introduction****1.1 Name and Application of this Schedule**

This Schedule forms part of the Camden Growth Centre Precincts Development Control Plan (referred to as “the DCP”).

This Schedule applies to all development on the land shown in **Figure 1-1**: Land Application Map. This Schedule and related amendments to the DCP give effect to the provisions of the DCP for land within the Pondicherry Precinct (‘the Precinct’) as shown on the Land Application Map.

1.2 Structure of this Schedule

This Schedule should be read in conjunction with the main body of the DCP and is in addition to the main body of the DCP. In the event of an inconsistency between this Schedule and the main body of this DCP, this Schedule takes precedence. **Table 1-1** summarises the structure of this Schedule.

Table 1-1: Structure of this Schedule.

Part	Summary
1 – Introduction	Identifies the land to which the Schedule applies.
2 – Subdivision Planning and Design	Establishes an overall vision and Indicative Layout Plan (ILP) for the future development of the Precinct. Provides Precinct specific figures that support the controls in Part 2, Part 3 of the main body of the DCP in relation to the Pondicherry Precinct.
3 – Centres Development Controls	Provide specific objectives and controls that apply to land within the Neighbourhood Centres, identified on the ILP for the Precinct, and which supplement the controls in Part 5 and Part 6 of the main body of the DCP.
4 – Site Specific Development Controls	Specific objectives and controls for development within the Precinct, including land affected by electricity easements and land adjacent to the future rail corridor.

Additional notes to readers are provided throughout this document. These notes are not part of the formal provisions of the DCP but are intended to provide additional guidance and explanation of the provisions. If further guidance is required on the interpretation of provisions in the DCP, readers should refer to the definitions or contact Camden Council for advice.

Schedule 8 - Pondicherry Precinct



Figure 1-1: Land Application Map

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2 Subdivision Planning and Design

Note: This section supports the objectives and controls of Part 2 and Part 3 of the DCP

2.1 Precinct Vision

Pondicherry will deliver a high-quality urban environment following the principles of community pride, well-being, healthy living and educational excellence. Pondicherry will incorporate a series of thoughtfully planned villages with high local amenity and quality connections to the job opportunities, community and recreational facilities afforded within the South West Growth Area. Pondicherry will form an integral component of the local area linking to surrounding precincts including the established Oran Park and future precincts of Lowes Creek Maryland and South Creek West.

The urban framework of Pondicherry will respond to the unique characteristics of the existing built and natural environment including:

- The retention of existing remnant vegetation and hollow bearing trees where possible;
- Creation of meaningful green-grid connections to local creek networks in Oran Park and the wider Western Parkland City;
- Delivery of attractive, high amenity residential streetscapes, open space and pedestrian/cycle connections that are responsive to site constraints; and
- Design of public spaces to incorporate Aboriginal cultural history.

Open space and access to water are among Sydney's greatest assets. As the population expands within Sydney's south-west it is essential that future communities are afforded quality open space areas incorporating, where appropriate high amenity water features which contribute to the blue-green grid, urban heat island offsets and the creation of a strong sense of place. The Lake Precinct will provide a strong recreational focus including both active and passive uses along with the co-location of a District level sporting facility. The Lake Precinct will include a Neighbourhood Centre and opportunity for mixed use activities including retail, commercial, residential, civic, recreation, and social infrastructure. The amenity afforded through the expansive Lake system and adjoining open space will be of District appeal and a key attractor for residents, businesses and visitors alike. The bushland setting and backdrop of South Creek further strengthen the Lake Precinct's appeal. This important ecological asset and bushland setting will continue to be preserved and enhanced for community enjoyment. Together, these landscape features will provide a highly attractive and sought-after place to live as residents seek to capture the amenity and healthy living benefits the Lake Precinct presents.

Pondicherry will provide a broad range of dwelling types with a focus on attractive residential streetscapes structured around well connected, walkable neighbourhoods and local passive open spaces. The high amenity area of the Lake Precinct will also offer the opportunity for estate housing mixed with medium density residential and apartment dwellings encouraging housing diversity and a broad socioeconomic mix.

A key aspect of Pondicherry will be the highly walkable and permeable urban structure, connected by a network of active pedestrian and cycle paths layered and intertwined with the blue-green grid offered through the local creek corridors, South Creek and the Lake Precinct. The local open space areas also provide intimate opportunities for community building and human interaction.

The Precinct is well serviced by public transport with a highly connected sub-arterial and collector road network providing opportunity for local and rapid transit bus services. The North-South Rail corridor also forms part of the planning and design for the Precinct with vehicular and pedestrian crossing points integrated with local neighbourhoods.

Schedule 8 - Pondicherry Precinct**2.2 Precinct Supporting Specialist Studies**

The following supporting specialist studies have informed the Pondicherry Precinct Indicative Layout Plan and planning controls:

- Pondicherry Street Tree Strategy, JMD Design (September 2021)
- Housing Market Analysis, MacroPlan (December 2020)
- Landscape Character, JMD Design (February 2021)
- Social Infrastructure, Elton (March 2021)
- Land Capability Study, Douglas Partners (August 2017)
- Geotechnical Investigations, Douglas Partners (August 2017)
- Preliminary Site Investigations, Douglas Partners (February 2021)
- Aboriginal Heritage, Kelleher Nightingale (December 2020)
- Aboriginal Cultural Heritage Assessment, Kelleher Nightingale (May 2021)
- European Heritage, GML Heritage (March 2021)
- Water Cycle Management and Flooding, Calibre Consulting (March 2021)
- Biodiversity, Eco Logical Australia (March 2021)
- Riparian Corridors, Eco Logical Australia (March 2021)
- Bushfire, Eco Logical Australia (March 2021)
- Traffic and Transport, GHD (March 2021)
- Utilities Servicing Report, IDC (March 2021)
- Utilities Implementation Plan, IDC (March 2021)
- Air Quality, ERM (February 2021)
- Noise and Vibration Assessment, WSP (February 2021)
- Retail Analysis, MacroPlan (March 2021)

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2.3 Referenced Figures

Note: The figures included in this section are those referenced in **Part 2 Precinct Planning Outcomes, Part 3 Neighbourhood and Subdivision Design**, of the DCP as indicated in **Table 2-1**.

Table 2-1: Referenced Figures

Referenced figure	Section in main body of the DCP
Figure 2-1: Indicative Layout Plan	2.2 The Indicative Layout Plan
Figure 2-2: Flood prone land	2.3.1 Flooding
Figure 2-3: Key elements of the water cycle management and ecology strategy	2.3.2 Water Cycle Management 2.3.5. Native Vegetation and Ecology 3.3.1 Layout and Design
Figure 2-4: Areas of potential salinity risk	2.3.3 Salinity and Soil Management
Figure 2-5: Aboriginal cultural heritage	2.3.4 Aboriginal and European heritage
Figure 2-6: Bushfire risk and Asset Protection Zone requirements	2.3.6 Bushfire hazard management
Figure 2-7: Potential contamination risk	2.3.7 Site Contamination
Figure 2-8: Location of easements	2.3.8 Development on and adjacent to electricity easements
Figure 2-9: Noise impact areas	2.3.9 Noise
Figure 2-10: Residential structure	3.1.1 Residential Density
Figure 2-11: Precinct road hierarchy	3.3.1 Layout and Design 3.3.6 Access to arterial roads, sub-arterial road and transit boulevards
Figure 2-12: Pedestrian and cycle network	3.3.4 Pedestrian and Cycle Network
Figure 2-13: Education and Community Facilities	4.4.4 Education Establishment and Places of Worship 6.10.3 Child Care Centres
Figure 2-14: Public Transport Network	3.3 Movement Network
Figure 2-15: Local Street Cross Section (Typical)	3.3 Movement Network
Figure 2-16: Local Street Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-17: Green Link Road Cross Section (Typical)	3.3 Movement Network
Figure 2-18: Green Link Road Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-19: Collector Road Cross Section (Typical)	3.3 Movement Network
Figure 2-20: Collector Road Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-21: Collector Road Cross Section – Median (Typical)	3.3 Movement Network
Figure 2-22: Collector Road Cross Section – Median (Flex Zone)	3.3 Movement Network
Figure 2-23: Sub-Arterial Road Cross Section (On-Road Cycle Lane)	3.3 Movement Network
Figure 2-24: Sub-Arterial Road Cross Section (Off-Road Cycle Lane)	3.3 Movement Network

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Figure 2-25: Dransfield Drive Extension Collector Road (Short Term)	3.3 Movement Network
Figure 2-26: Dransfield Drive Extension Collector Road (Long Term)	3.3 Movement Network
Figure 2-27: Typical Flex Zone Design	3.3 Movement Network
Figure 2-28: Open Space Network	3.1.2 Block and Lot Layout
Figure 4-1: Electricity Easement (Public Ownership)	2.3.8 Development of or Adjacent to Electricity and gas Easements
Figure 4-2: Electricity Easement (Private Ownership)	2.3.8 Development of or Adjacent to Electricity and gas Easements

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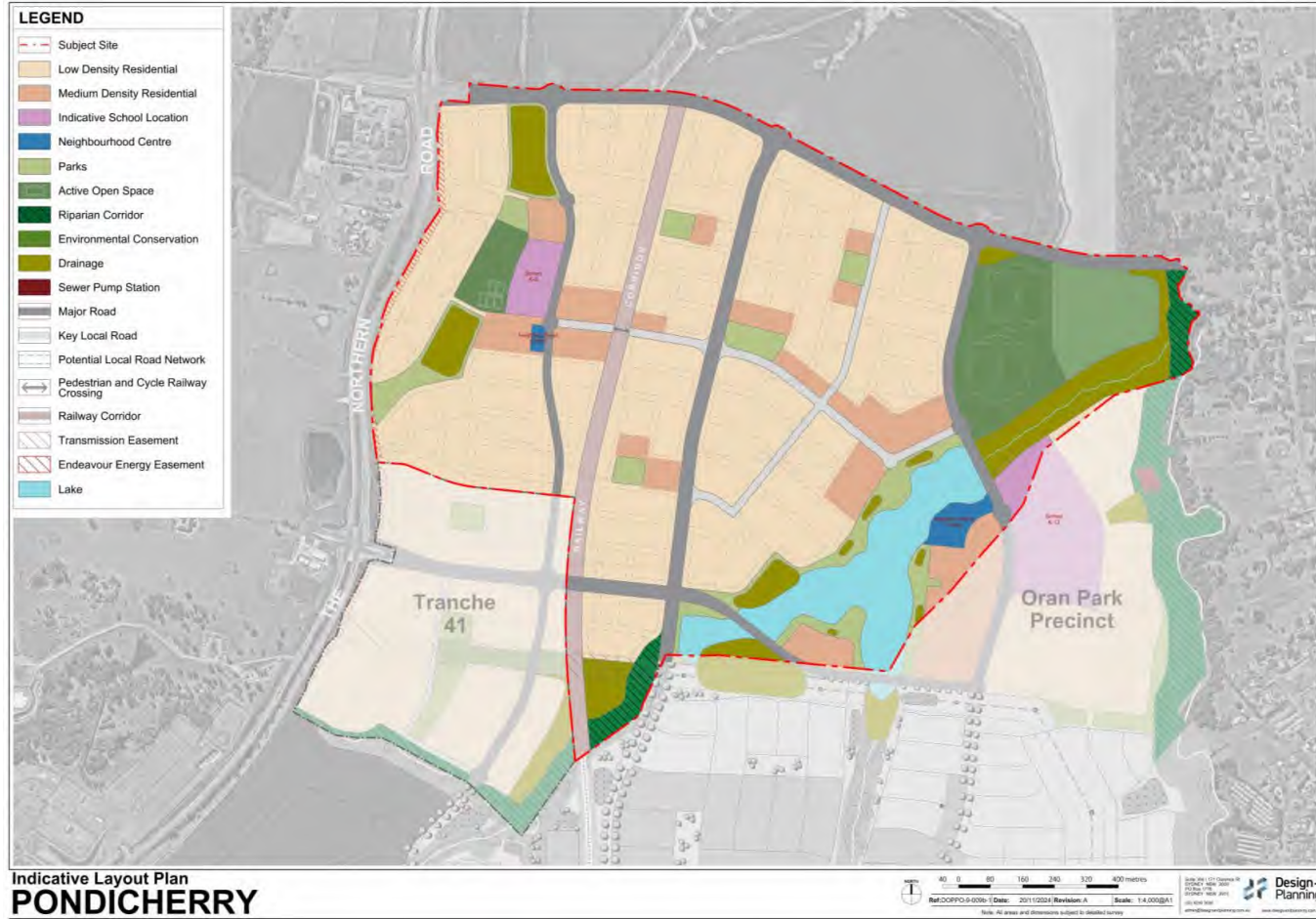


Figure 2-1: Indicative Layout Plan

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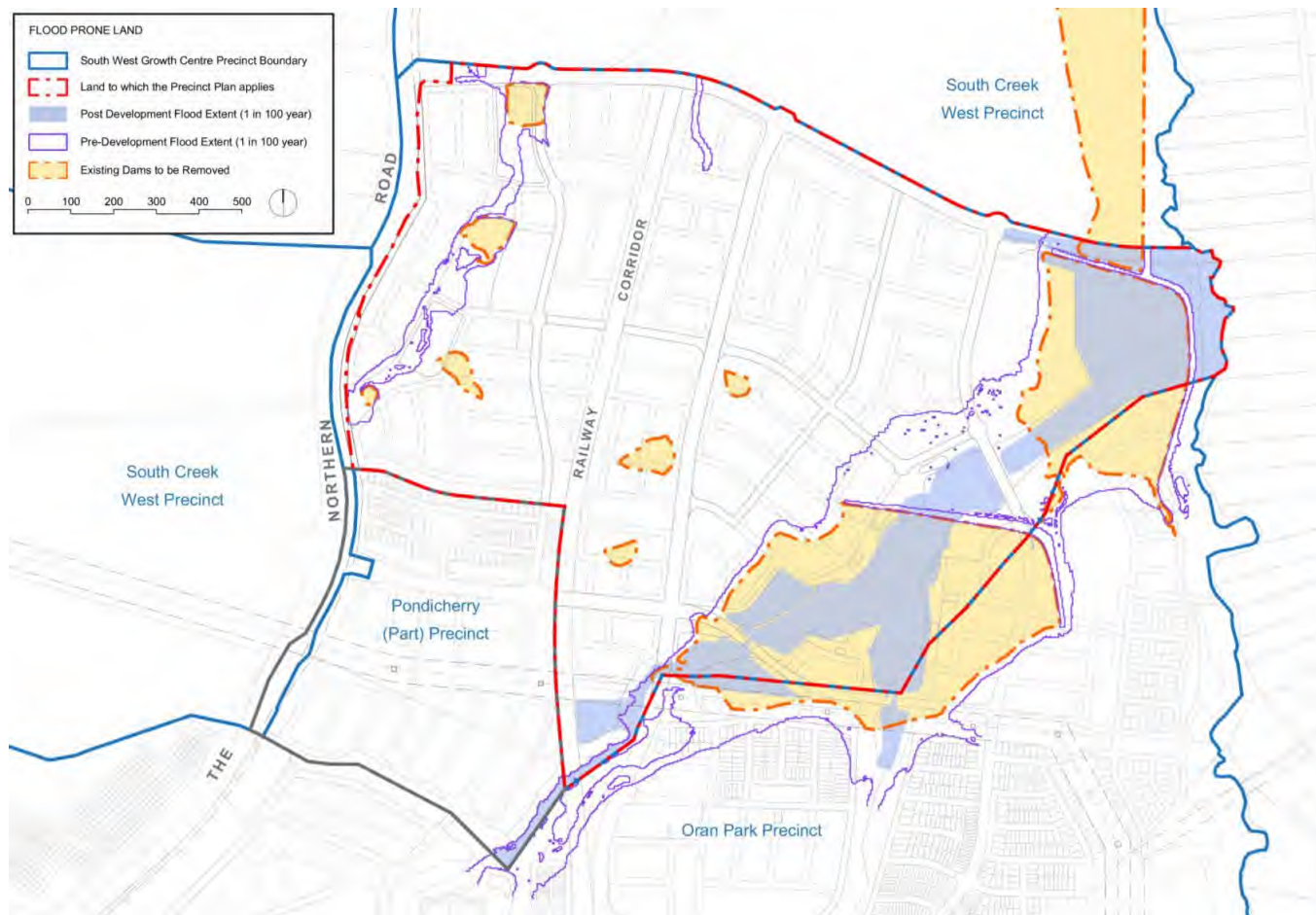


Figure 2-2: Flood Prone Land

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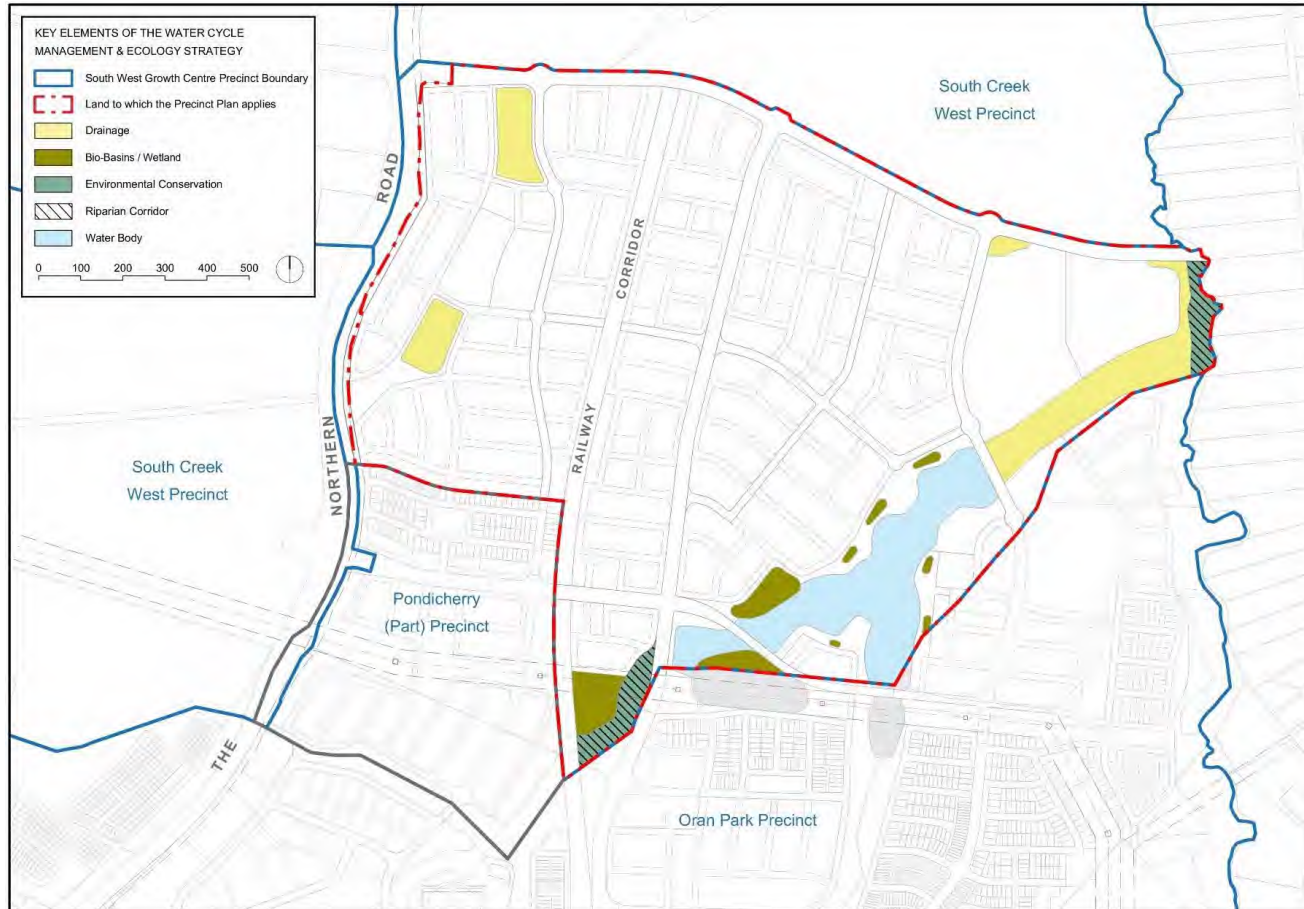


Figure 2-3: Key Elements of the Water Cycle Management and Ecology Strategy

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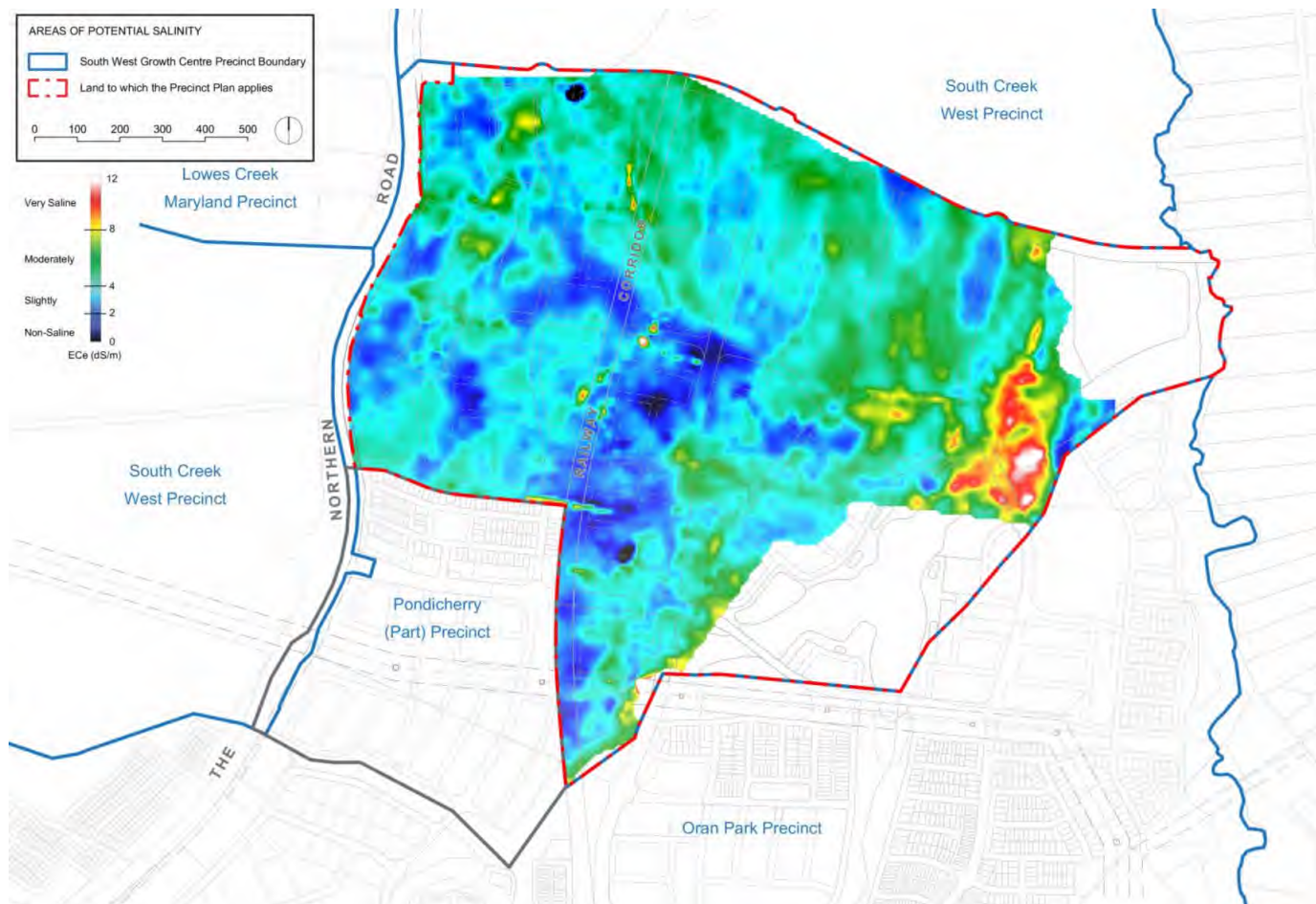


Figure 2-4: Areas of Potential Salinity

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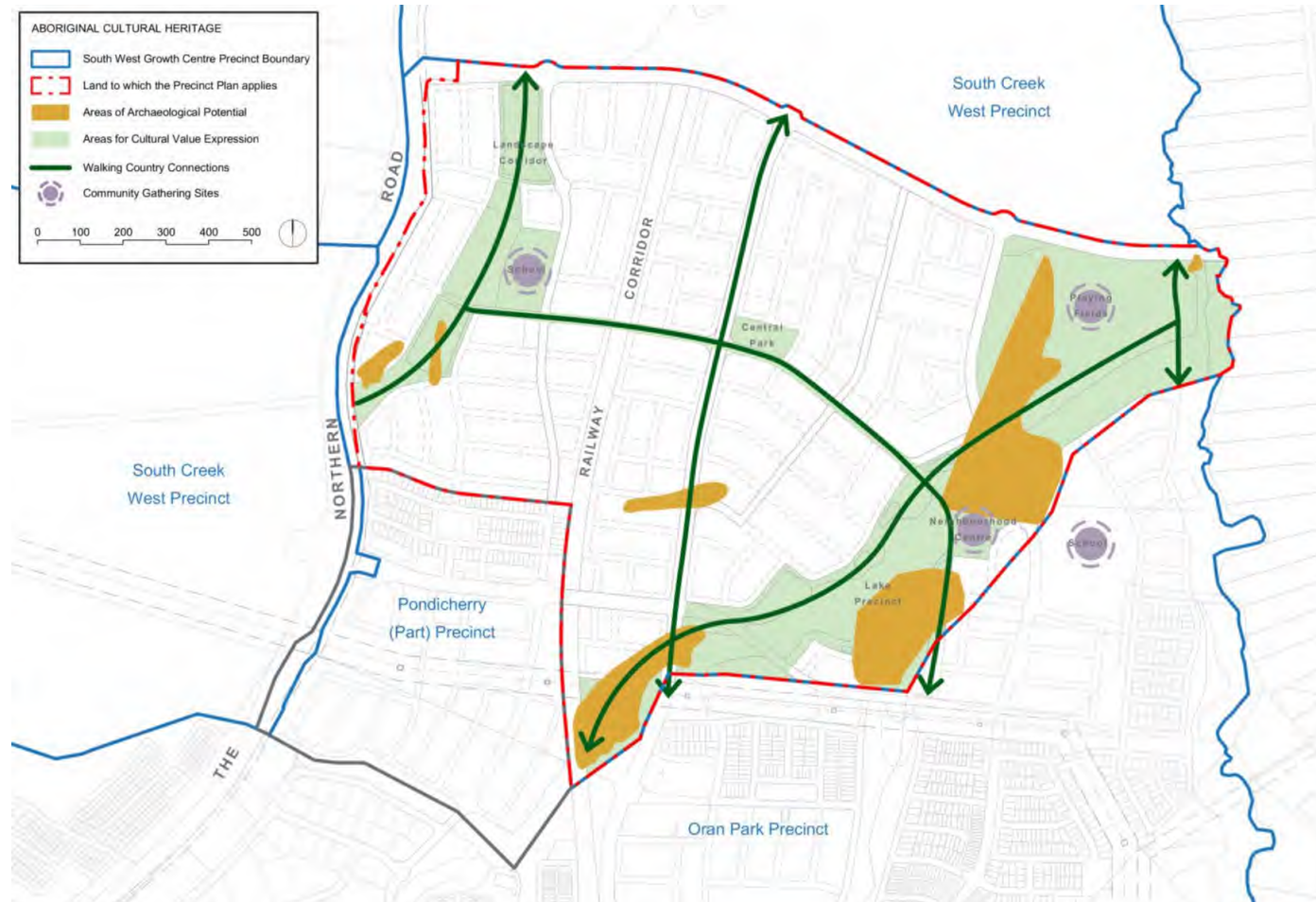


Figure 2-5: Aboriginal Cultural Heritage

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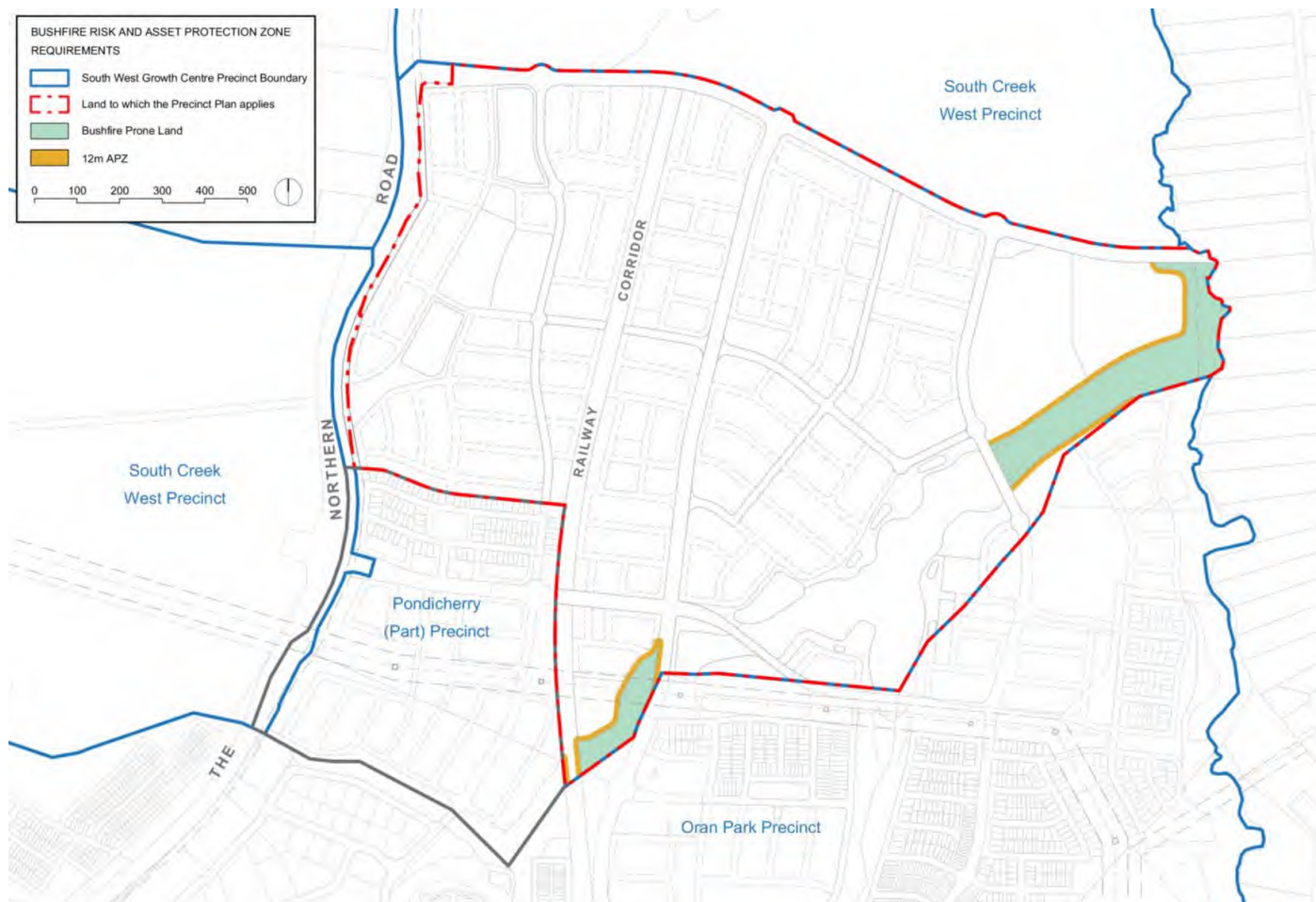


Figure 2-6: Bushfire Risk and Asset Protection Zone Requirements

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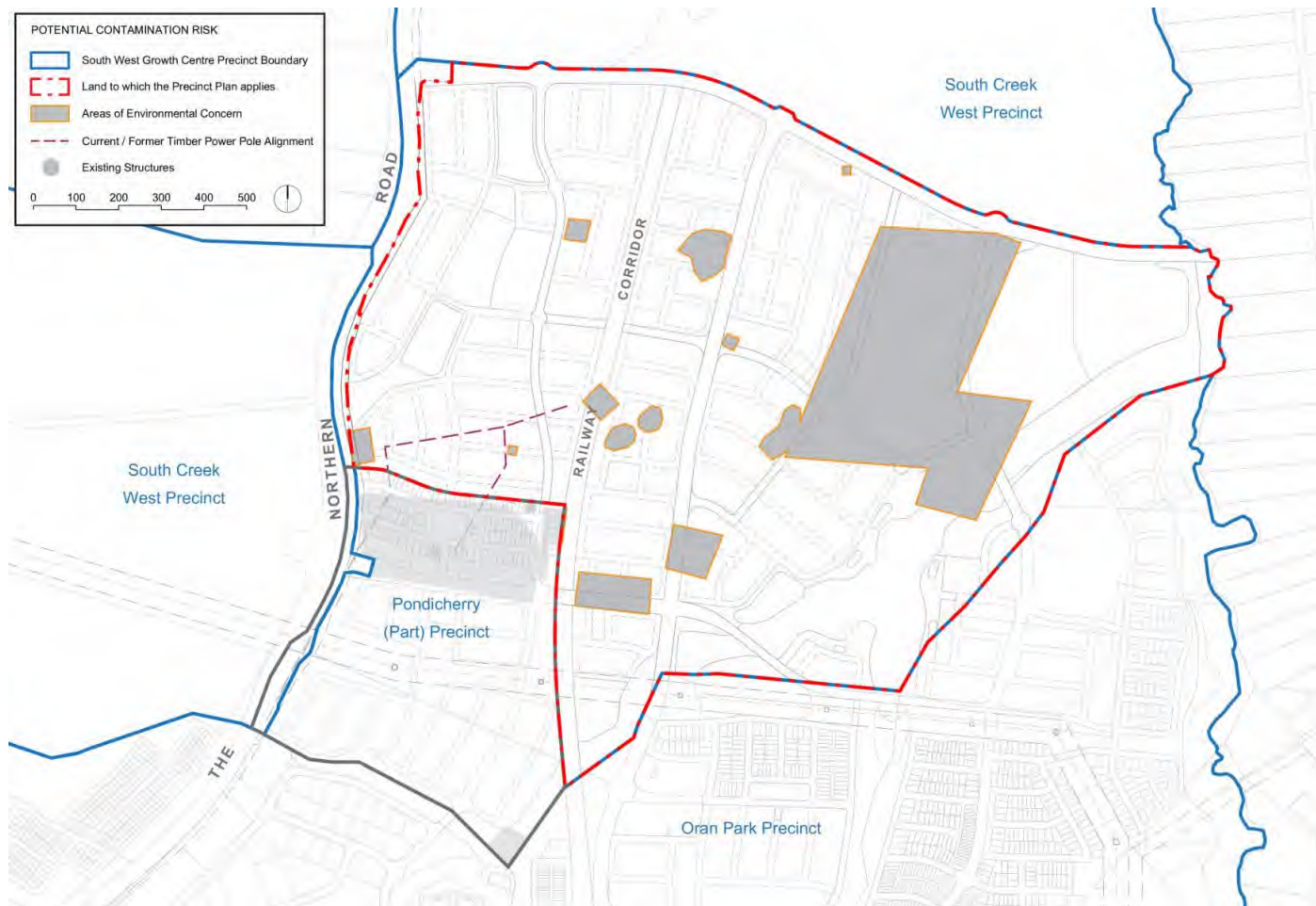


Figure 2-7: Potential Contamination Risk

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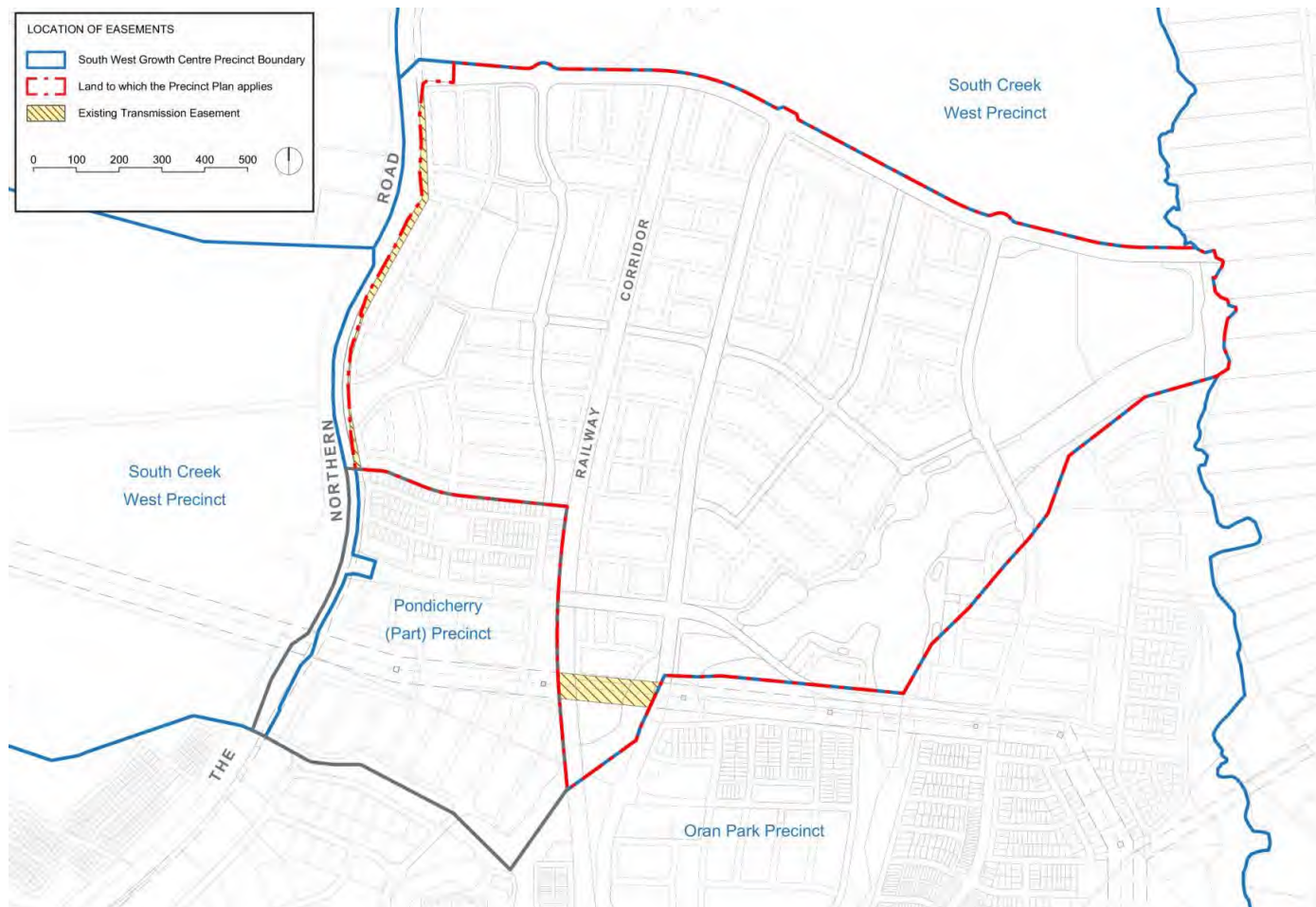


Figure 2-8: Location of Easements

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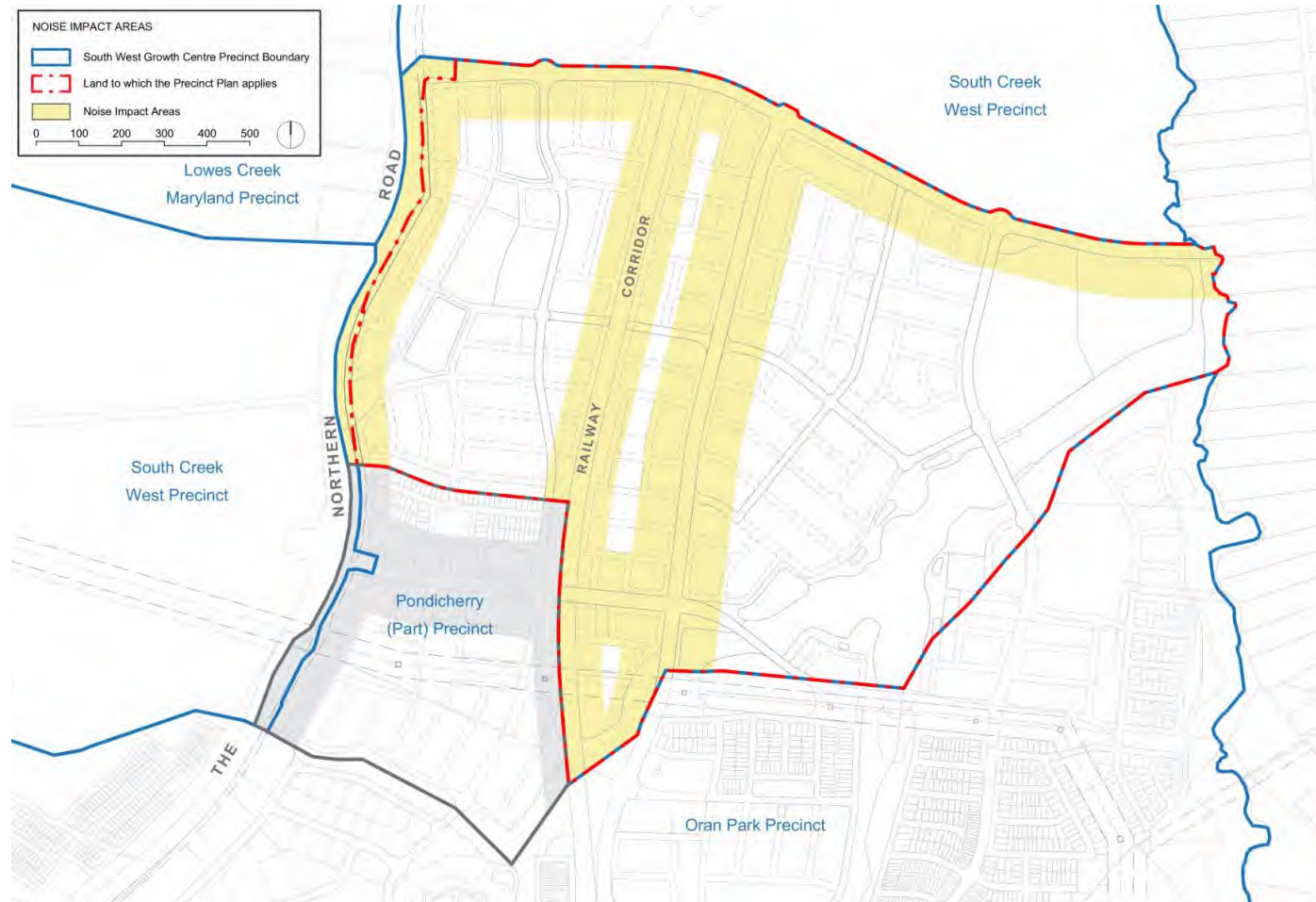


Figure 2-9: Noise Impact Areas

Schedule 8 - Pondicherry Precinct

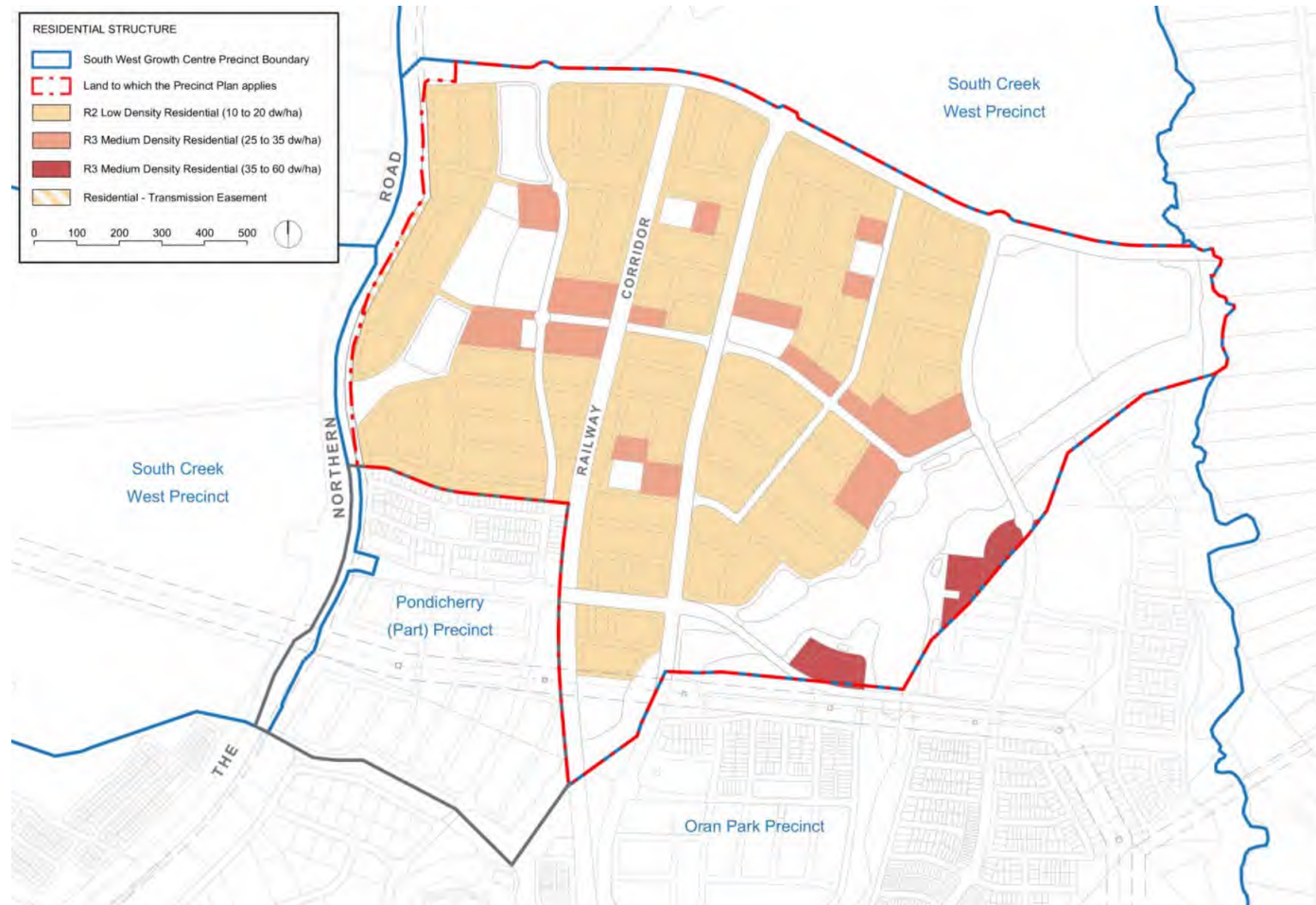


Figure 2-10: Residential Structure

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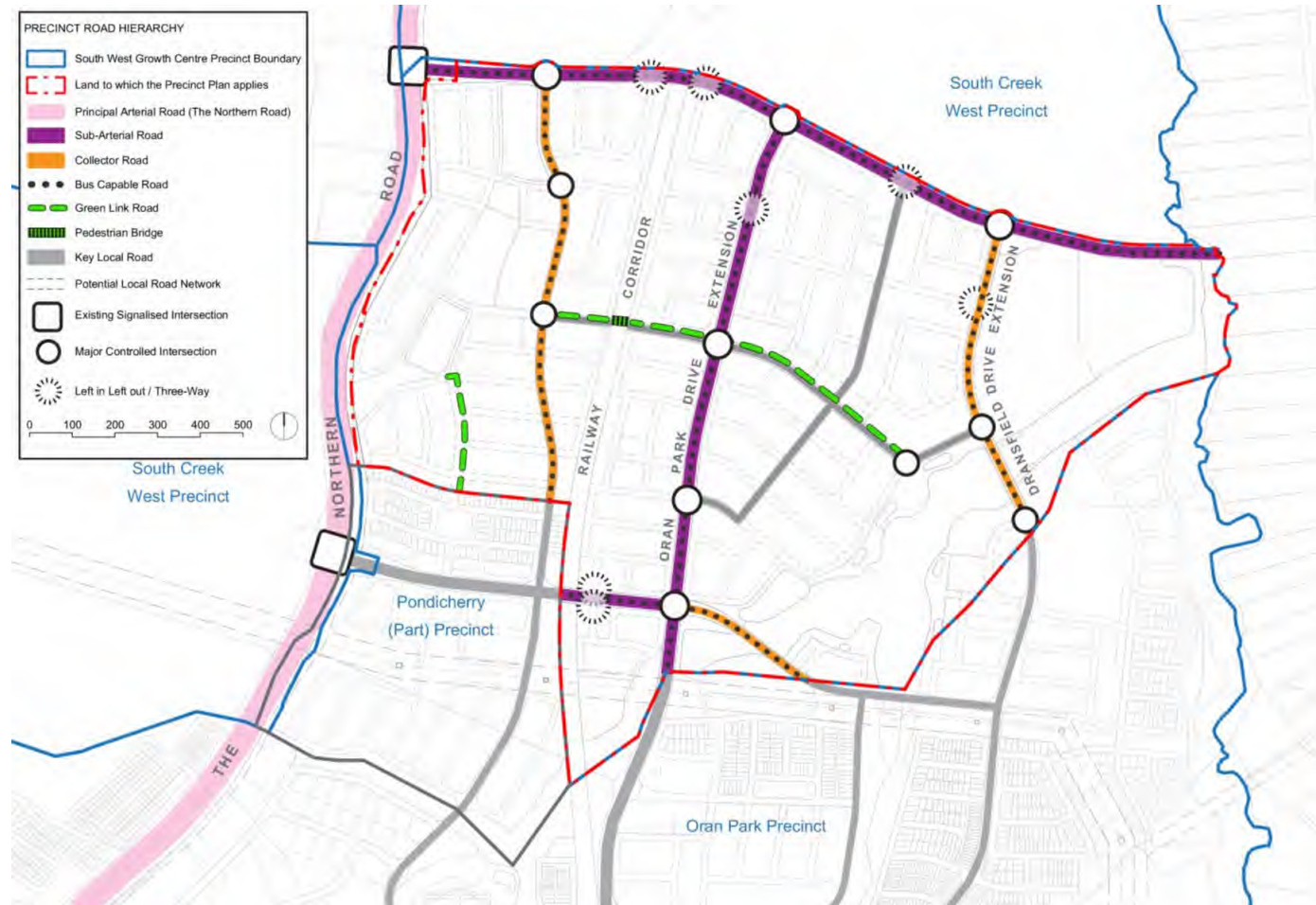


Figure 2-11: Precinct Road Hierarchy

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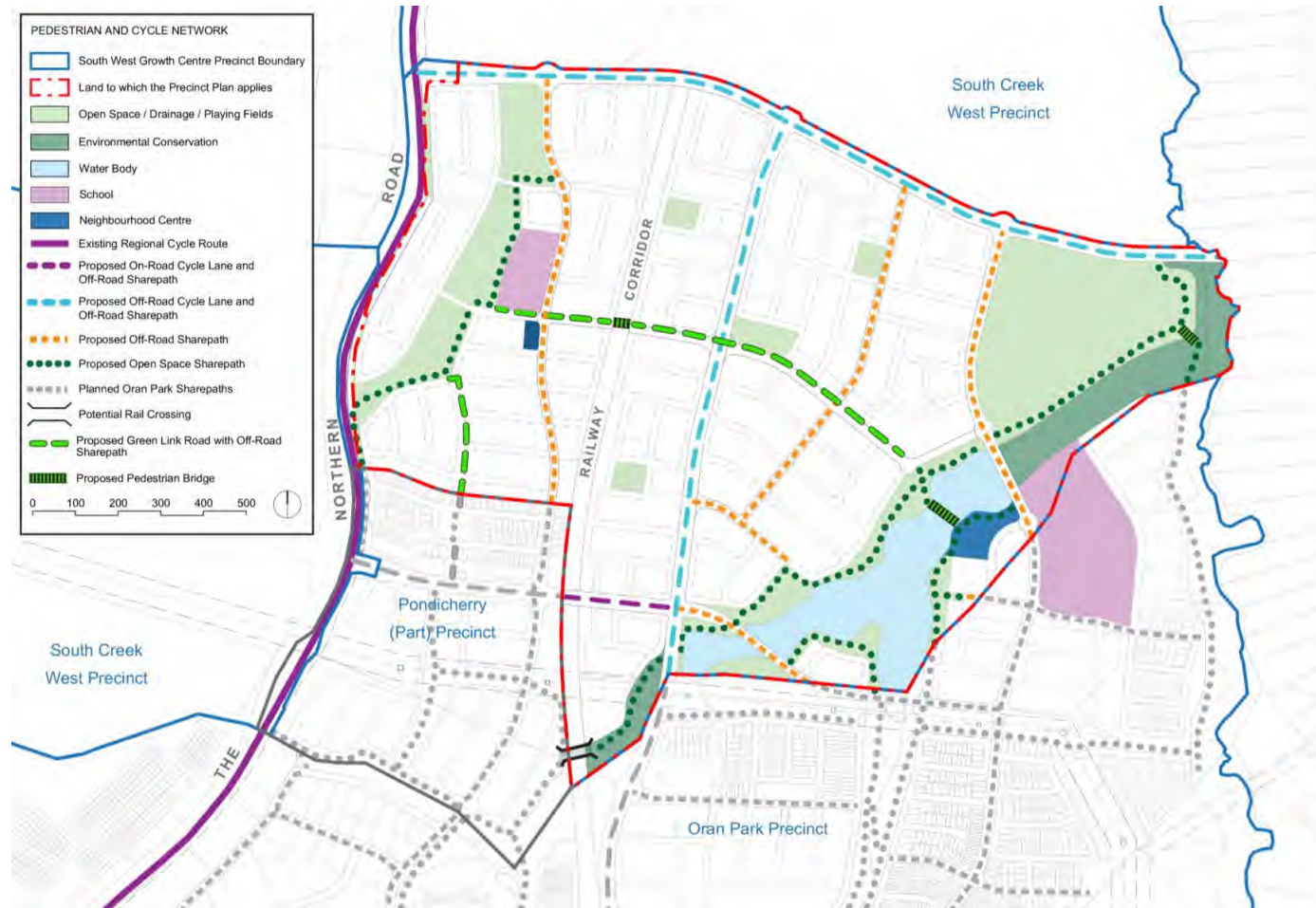


Figure 2-12: Pedestrian and Cycle Network

Schedule 8 - Pondicherry Precinct

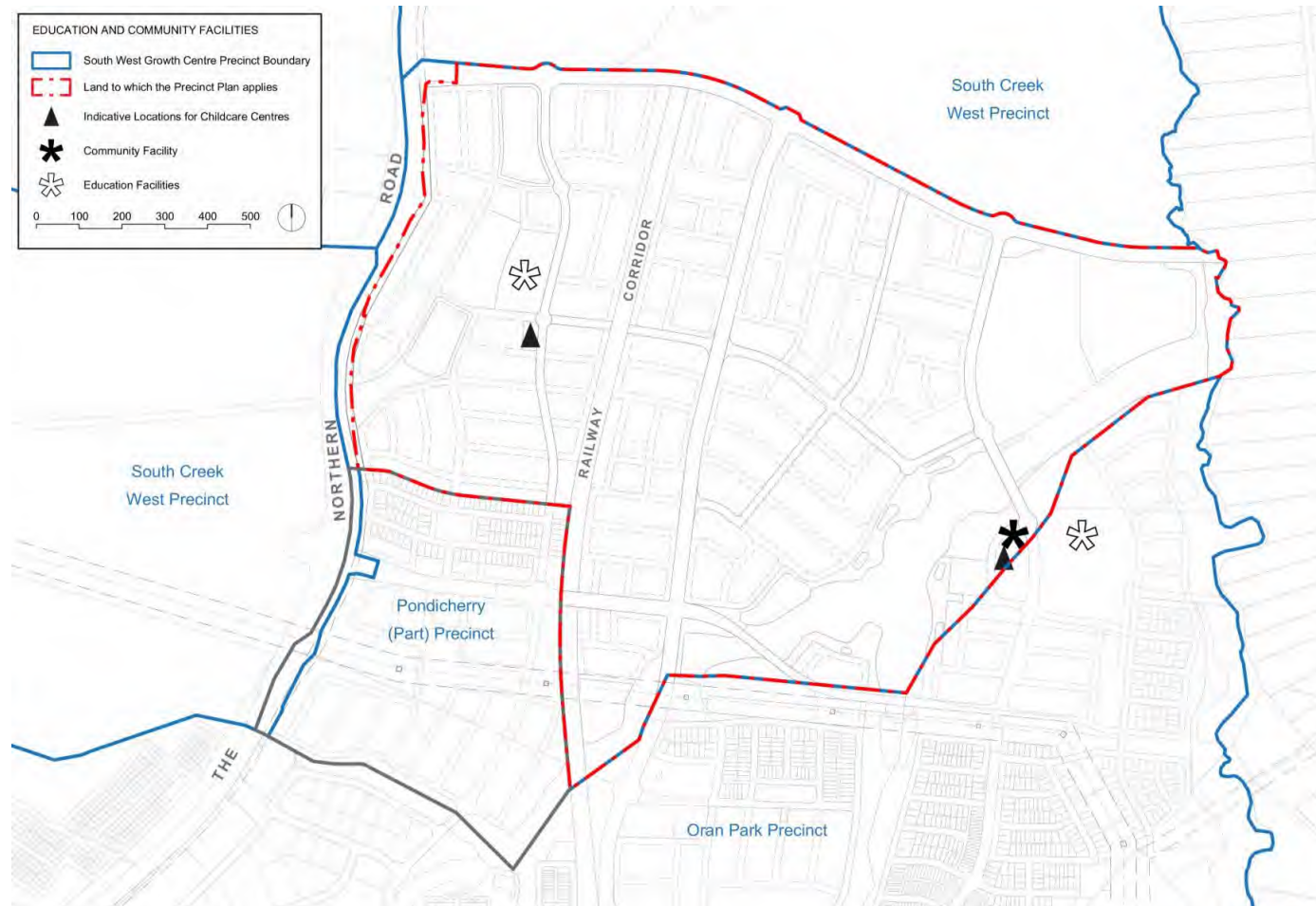


Figure 2-13: Education and Community Facilities

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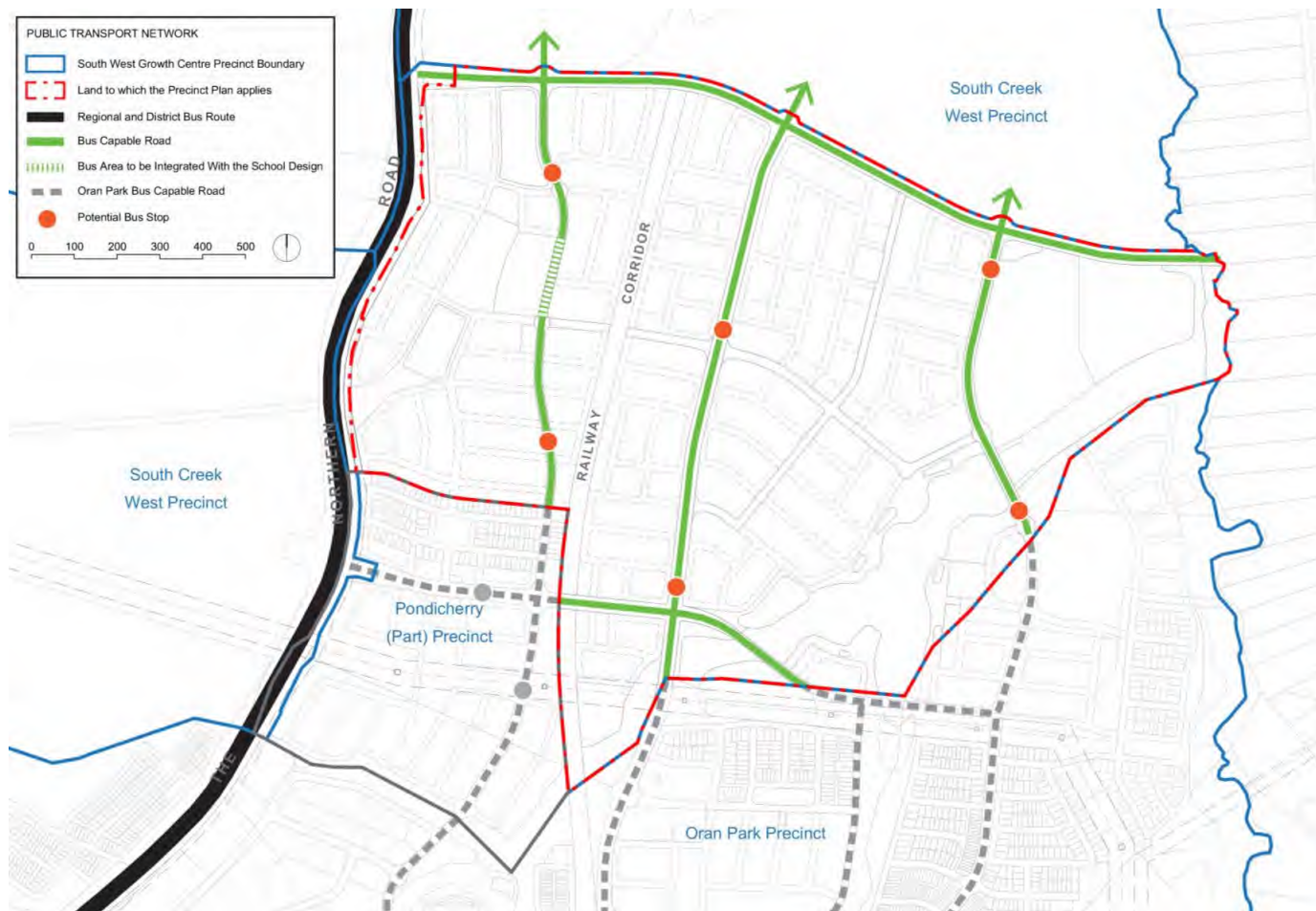


Figure 2-14: Public Transport Network

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2.4 Subdivision Design

Note: The following control supports those contained in Part 7 of the DCP.

Objectives

- a. To encourage variety in dwelling size, type and design to promote housing choice and create attractive streetscapes with distinctive characters.
- b. To accommodate a mix of lot sizes and dwelling types across a precinct.
- c. To establish minimum lot dimensions for different residential dwelling types.

Controls

- (1) No more than 40% of the total residential lots proposed in a subdivision development application may be of the same lot type. For the purposes of this control, a lot type is primarily determined by lot frontage, but other variables that may be considered are access and configuration. Lot width categories are determined by a range of plus or minus 1.0m. For example, lots between 9.0m and 11.0m are classified as the one type of lot for the purposes of this control. Every DA for subdivision must be accompanied by a Lot Mix table showing the lot types, number and percentage of the overall total. Lots subdivided using Subdivision Approval Pathways B1 or B2 (Integrated Housing) for attached or abutting dwellings are exempt from this control.

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Schedule 8 - Pondicherry Precinct**2.5 Road Network****Objectives**

- a. To create a safe and permeable road network for vehicles and active forms of transport.
- b. To ensure streets contribute to the liveability of the urban area.
- c. To improve accessibility and walkability within streets and encourage active transportation within and around the Precinct.
- d. To increase street tree canopy cover through the provision of increased flex zones and wider verges.
- e. To ensure "Green Link" streets promote green infrastructure within residential neighbourhoods and increase connectivity to major points of interest within the Precinct.

Controls

- (1) The design and construction of streets are to be consistent with the relevant designs in **Figures 2-15 to 2-26**.
- (2) Alternative street designs may be permitted on a case by case basis if they preserve the functional objectives and requirements of the design standards and meet the minimum road cross sections contained in the main body of the DCP.
- (3) The corresponding street types are to be located as identified in **Figure 2-11** Precinct Road Hierarchy.
- (4) Driveway crossovers of the Green Link Roads (**Figure 2-11**) are to be minimised along the green link verge.
- (5) Flex zones provide increased area of verge as shown in **Figure 2-27** Typical Flex Zone Design and are to be incorporated at intersections and regular intervals within the street where it is determined they are needed to perform the following functions:
 - I. Reduce crossing distances for pedestrians;
 - II. Define kerb side parking and travel lanes;
 - III. Assist with traffic calming; and
 - IV. Provide increased opportunity for tree planting and canopy cover to support the Greater Sydney Region Plan target of achieving 40% tree canopy cover across Greater Sydney.
- (6) Street trees are to be of a species that maximise height and canopy cover, with larger and/or additional trees provided within the flex zones.
- (7) Paths are to be provided on both sides of all streets.
- (8) Sharepaths and cycle lanes are to be provided as directed by **Figure 2-12**.
- (9) Street tree plantings must be in accordance with the Pondicherry Street Tree Masterplan (September 2021) – JMD design.

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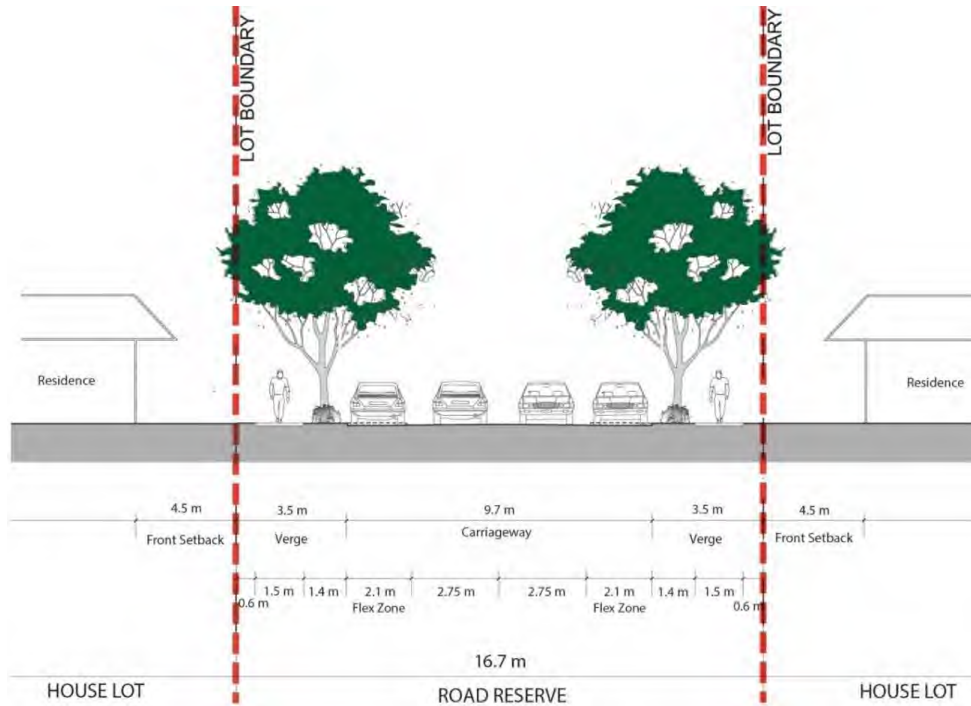


Figure 2-15: Local Street Cross Section (Typical)

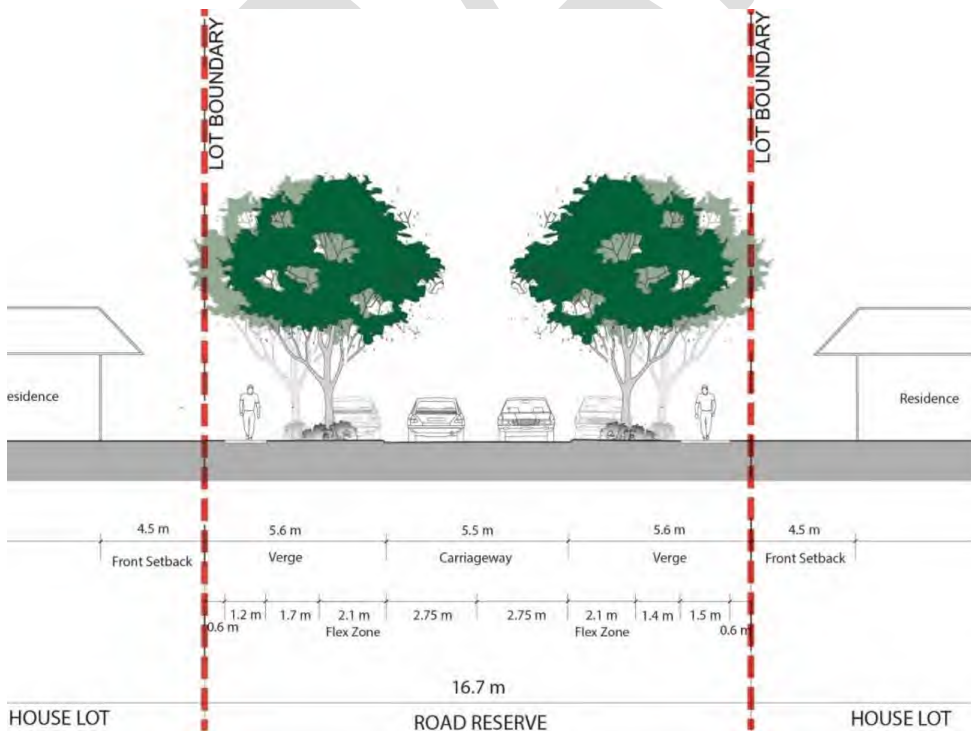


Figure 2-16: Local Street Cross Section (Flex Zone)

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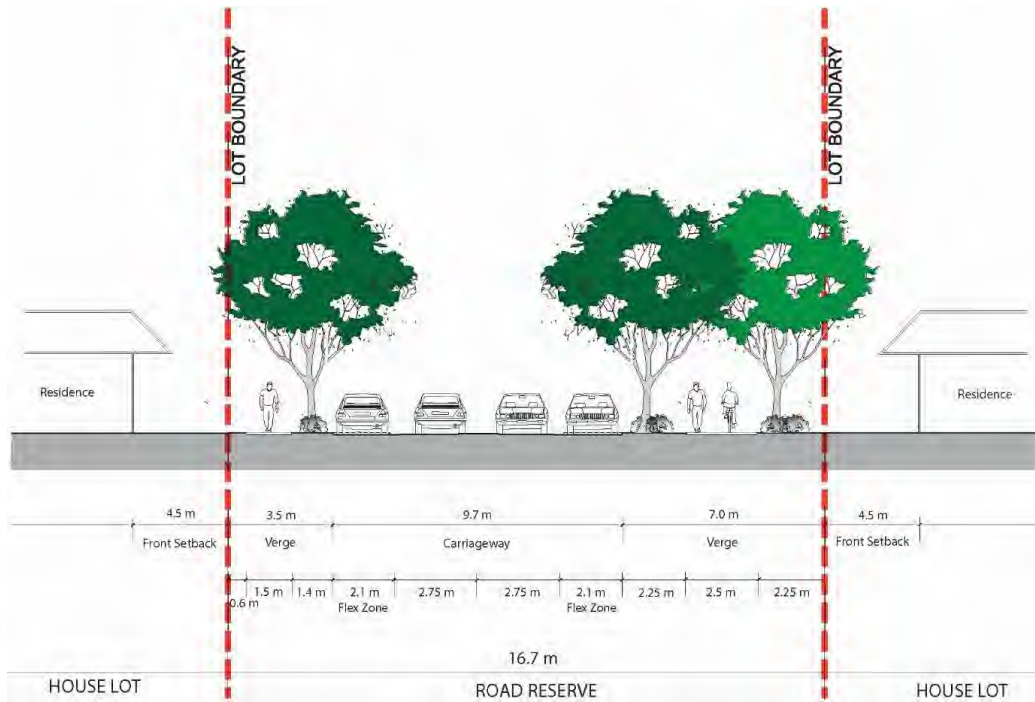


Figure 2-17: Green Link Road Cross Section (Typical)

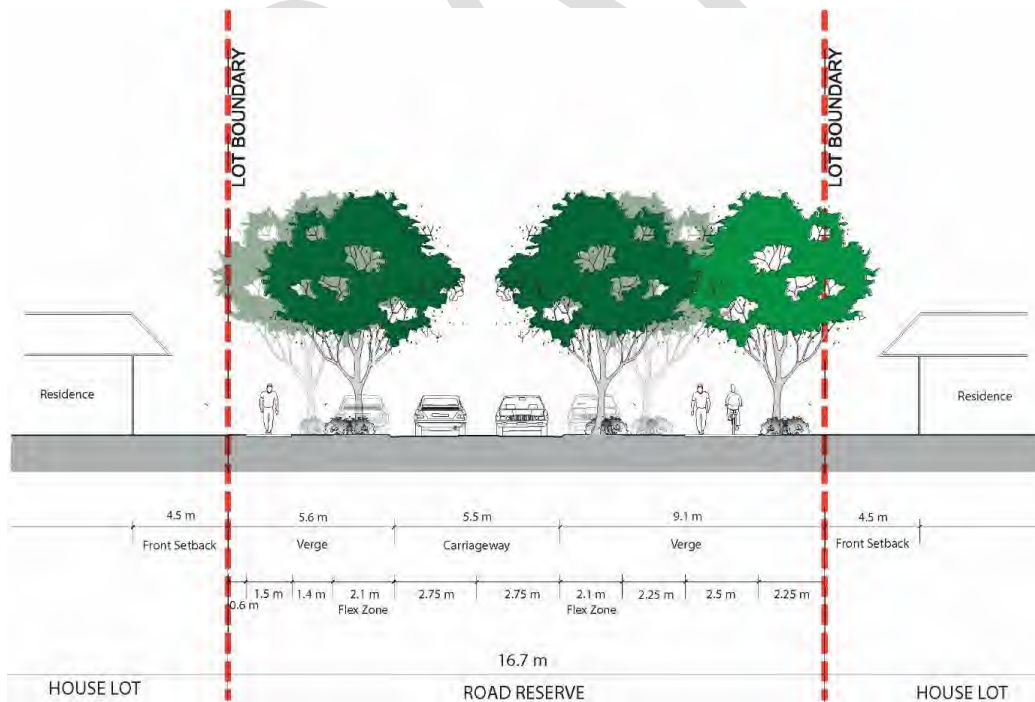


Figure 2-18: Green Link Road Cross Section (Flex Zone)

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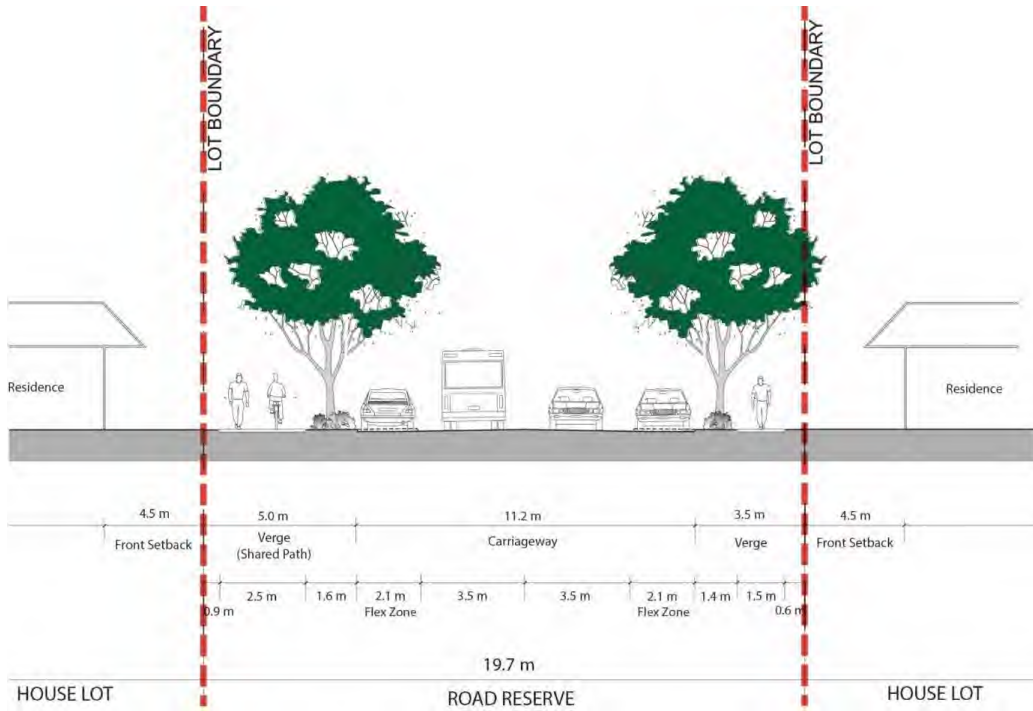


Figure 2-19: Collector Road Cross Section (Typical)

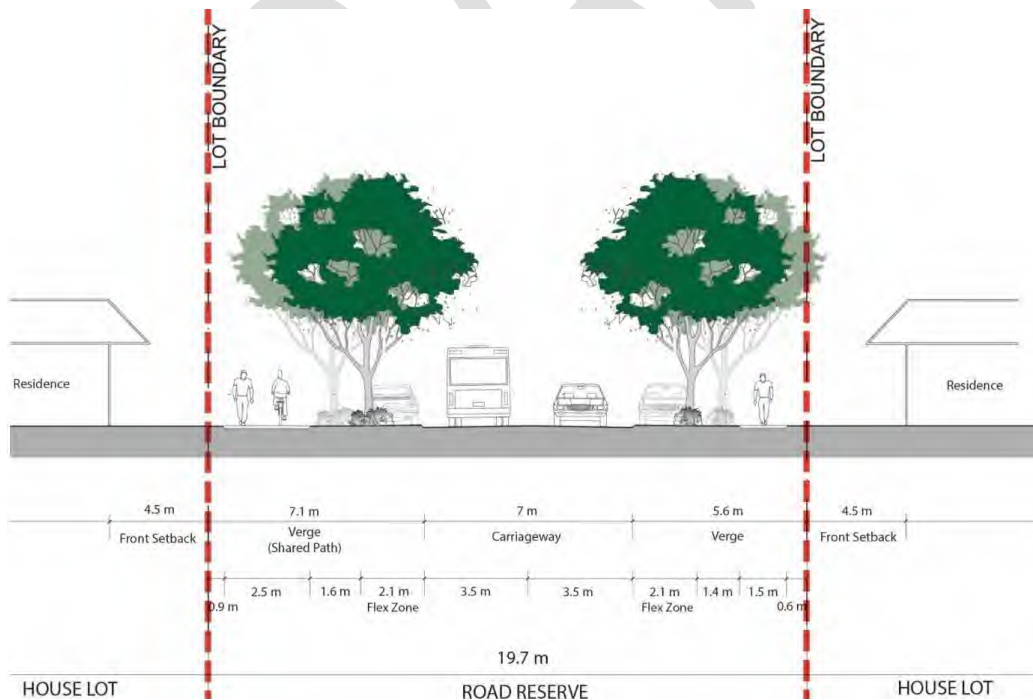


Figure 2-20: Collector Road Cross Section (Flex Zone)

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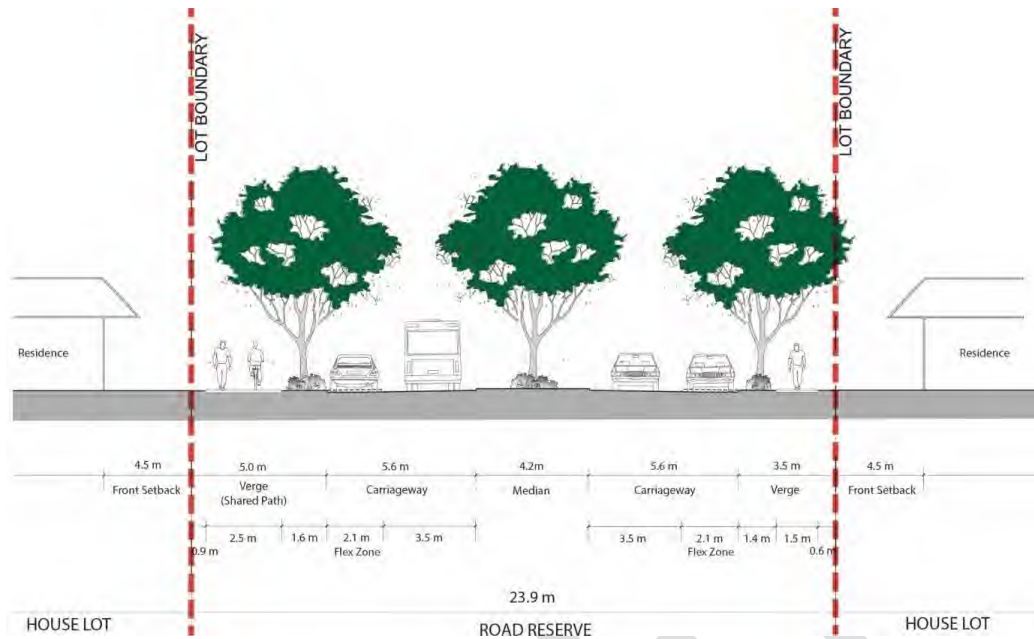


Figure 2-21: Collector Road Cross Section – Median (Typical)

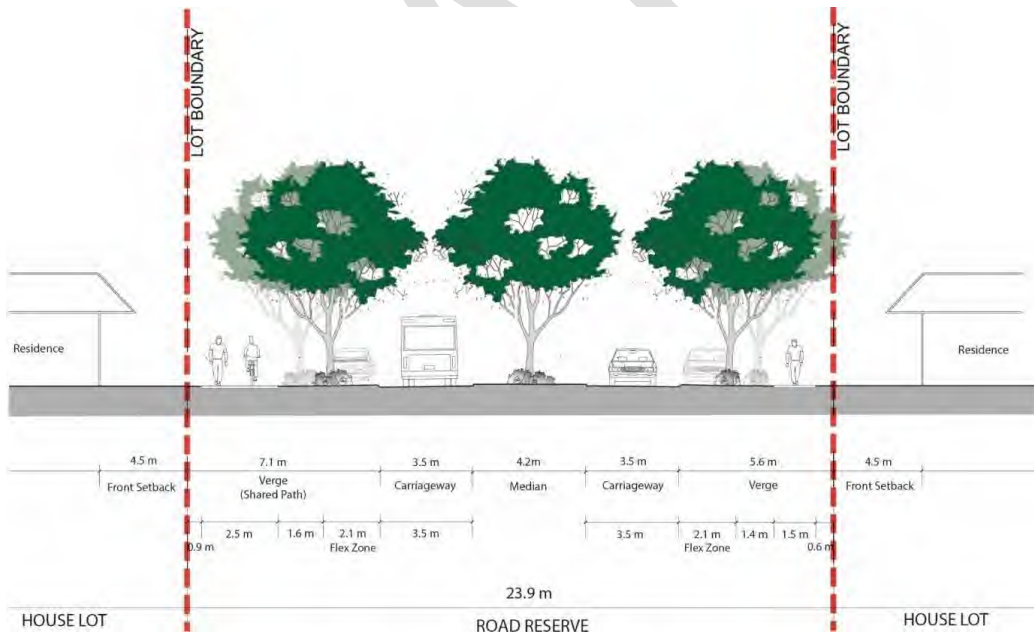


Figure 2-22: Collector Road Cross Section – Median (Flex Zone)

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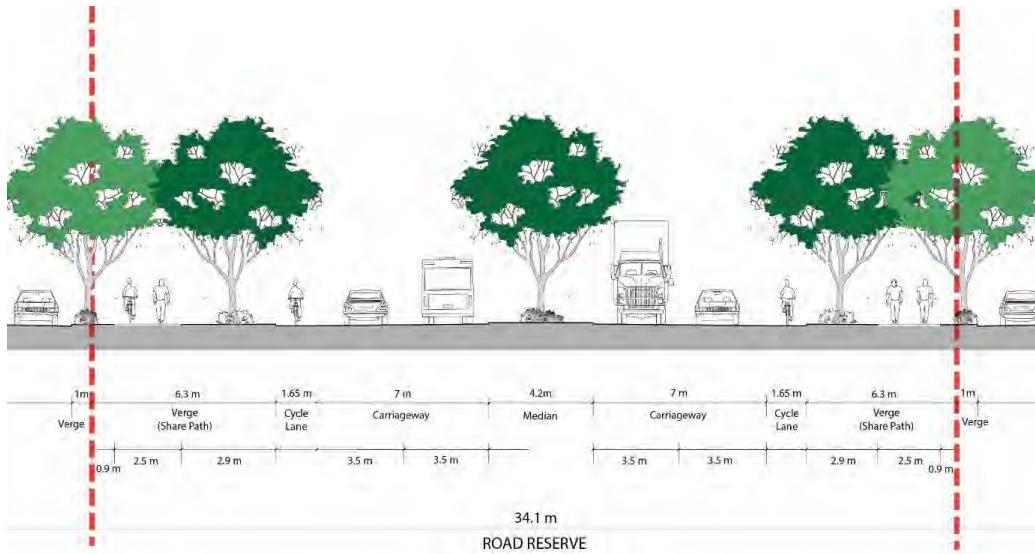


Figure 2-23: Sub-Arterial Road Cross Section (On-Road Cycle Lane)

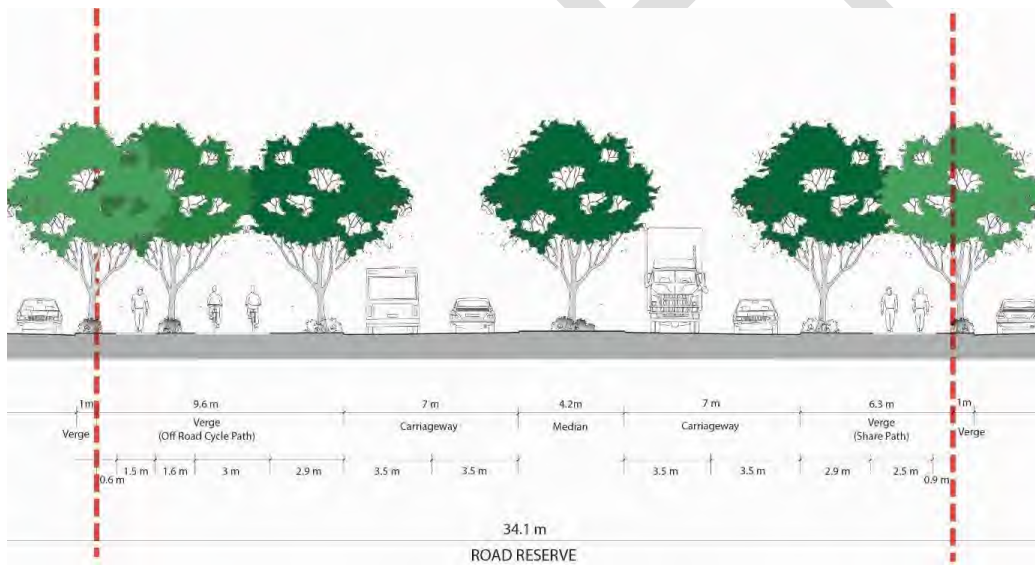


Figure 2-24: Sub-Arterial Road Cross Section (Off-Road Cycle Lane)

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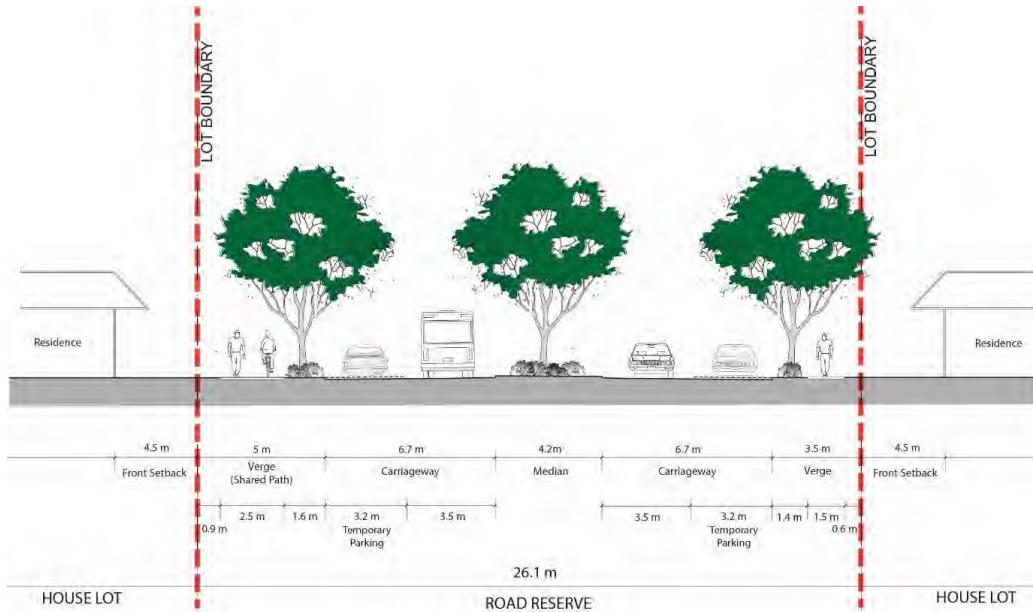


Figure 2-25: Dransfield Drive Extension Collector Road (Short Term)

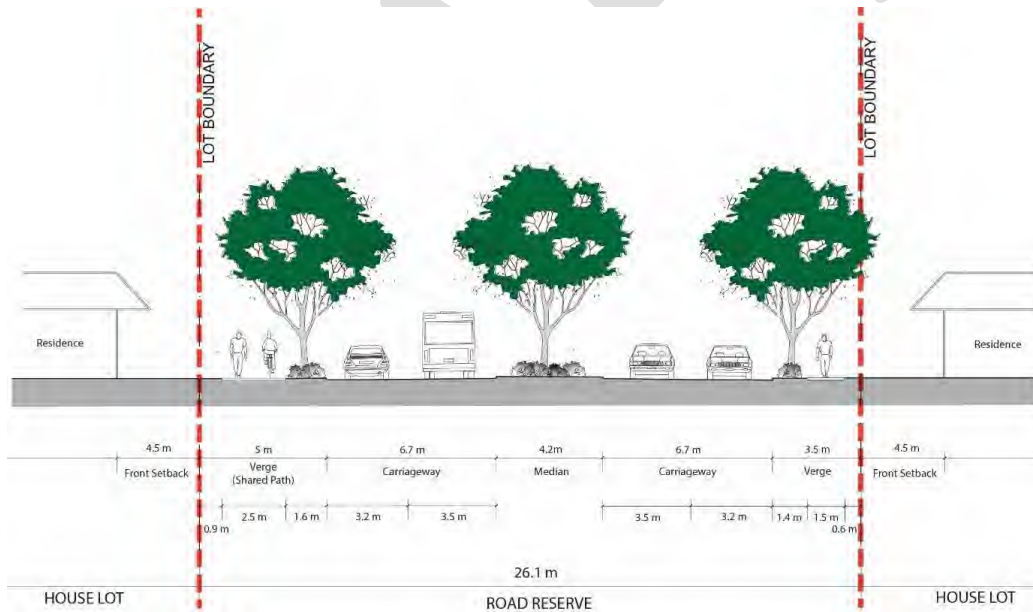


Figure 2-26: Dransfield Drive Extension Collector Road (Long Term)

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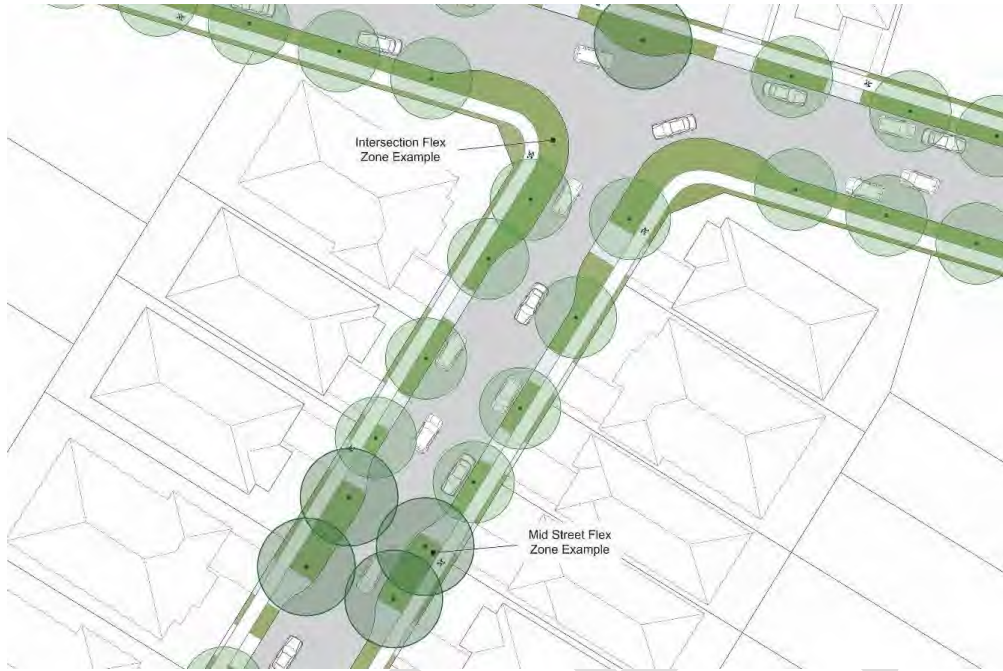


Figure 2-27: Typical Flex Zone Design

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Schedule 8 - Pondicherry Precinct**2.6 Public Transport, Pedestrian and Cycle Networks****Objectives**

- a. Provide accessible public transport options within the Pondicherry Precinct.
- b. Encourage the use of public transport through the provision of integrated bus, pedestrian and cycle routes within the Precinct.
- c. Encourage the use of active transport through the provision of pedestrian and cycle routes that provide links between key activities, community facilities, open space areas and local centres within and surrounding the Precinct.

Controls

1. Bus Capable Roads within the Precinct are to be generally in accordance with **Figure 2-11** and **2-14**.
2. Bus stops are to be provided on-street and not within indented bays. Indicative locations for bus shelters are included on **Figure 2-14**, with final locations to be coordinated with the relevant bus service provider prior to construction.
3. Key pedestrian and cycle routes, including crossing are to be generally provided in accordance with **Figure 2-12**.
4. The design of footpaths, sharepaths and cycle lanes must be consistent with road sections provided in Section 2.4 Road Network.

Schedule 8 - Pondicherry Precinct**2.7 Open Space and Recreation Network****Objectives**

- a. Promote a healthy, liveable community that is characterised by an equitable distribution of public open space and recreational opportunities across the Precinct.
- b. To provide open space to local residents for social interaction and passive recreation activities.
- c. To establish a sense of place and orientation within the neighbourhood by locating open space to take advantage of significant or prominent landscape features, such as views, high points and areas of natural and cultural heritage significance.
- d. To provide equitable distribution of public open space and recreation opportunities.
- e. To ensure high quality design and embellishment of all public open space.
- f. To encourage the use of the major creek corridors for passive recreation purposes consistent with environmental objectives.

Controls

1. The open space and recreation network of the Precinct is to be delivered generally in accordance with **Figure 2-28** and **Table 2-2**.
2. Neighbourhood parks are to generally have a minimum area of 3,000m². The following principles are to be taken into consideration in the location of neighbourhood parks:
 - i. where possible, parks are to be located in accordance with the Indicative Layout Plan (refer to **Figure 2-1**);
 - ii. parks are to be located as focal points within residential neighbourhoods. All dwellings should be located no further than 800m from a neighbourhood park;
 - iii. where possible parks shall be co-located with community and education facilities, be highly accessible and linked by pedestrian and/or cycle routes;
 - iv. parks shall be located and designed to accommodate remnant vegetation and areas of cultural heritage significance where appropriate and should be linked to and integrated with riparian corridors;
 - v. parks shall be generally bordered by streets on all sides with houses oriented towards them for surveillance; and
 - vi. the open space surrounding the lake is to include predominantly areas for passive enjoyment of the lake, with targeted locations of active play spaces for use across a range of age profiles.
3. Where riparian corridors are proposed to be in public ownership, they are to provide opportunities for pedestrian paths and cycleways, fitness trails and additional open space in a manner that maintains the environmental significance of these areas.
4. A Public Domain and Landscape Plan is to be submitted for each neighbourhood park and other passive open space areas in accordance with the timing indicated in a Voluntary Planning Agreement or at the time of subdivision of the adjoining residential area. The selection of landscape species for public open space areas is to consider bush fire risk. The Plan is to provide details on these elements:
 - i. earthworks;
 - ii. public furniture and fixtures;
 - iii. Seating areas and shade structures;

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- iv. plant species and sizes;
- v. play equipment;
- vi. utilities and services;
- vii. public art;
- viii. hard and soft landscaping treatments;
- ix. signage and lighting;
- x. any entry statements or retaining wall features;
- xi. waste facilities; and
- xii. interpretative material.

Table 2-2: Summary of Open Space and Recreation Requirements

Open Space Type	Minimum size	Facilities
Playing Fields (AOS1)	9.2ha	Facilities to be determined as part of the production of the Voluntary Planning Agreement.
Active Open Space (AOS2)	2.3ha	
Neighbourhood Park (LP1)	0.5ha	
Neighbourhood Park – Lake (LP2)	4.5ha	
Neighbourhood Park (LP3)	0.5ha	
Neighbourhood Park (LP4)	0.9ha	
Neighbourhood Park (LP5)	0.5ha	
Neighbourhood Park – Green Corridor (LP6)	0.5ha	
Neighbourhood Park – Green Corridor (LP7)	0.5ha	
Neighbourhood Park – Green Corridor (LP8)	1.4ha	

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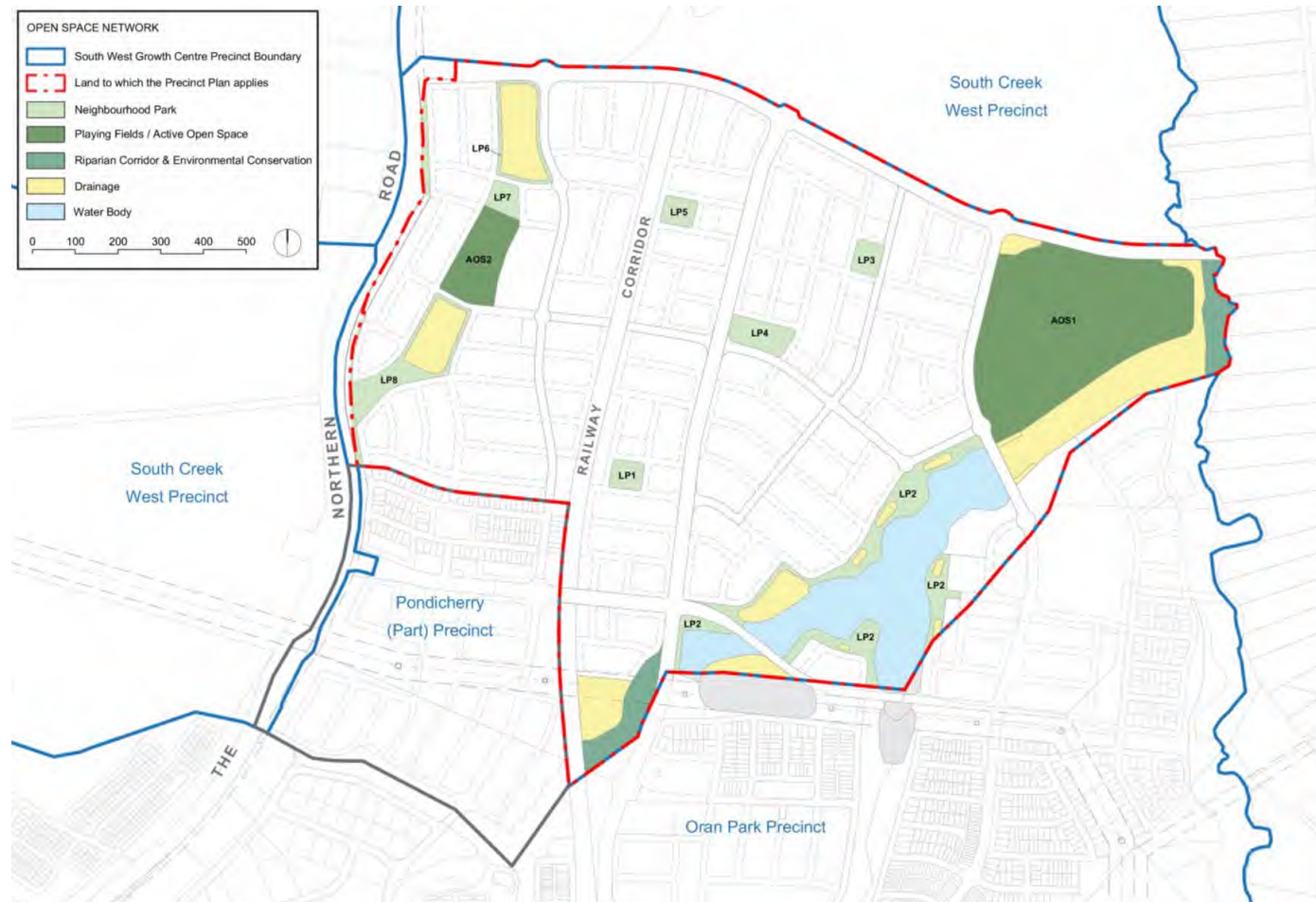


Figure 2-28: Open Space Network

Schedule 8 - Pondicherry Precinct**2.8 Aboriginal Cultural Heritage****Objectives**

- a. To facilitate the conservation of Aboriginal heritage items and areas of cultural value.
- b. To integrate Aboriginal cultural values into the urban setting, ensuring development is designed to connect to and care for Country.
- c. To recognise Aboriginal culture and heritage through the realisation of stories through art, architecture, and landscape.
- d. To engage with registered Aboriginal stakeholders in the design, planning and delivery of Pondicherry.

Controls

1. A strategy for Connecting with Country throughout the Pondicherry Precinct is to be submitted and approved by Council with the first development application in the Precinct following finalisation of the rezoning. The strategy must:
 - a. Demonstrate engagement with Aboriginal stakeholders in the development of the strategy;
 - b. Demonstrate consideration of Government Architect NSW's Connecting with Country Framework in forming the principles of the strategy;
 - c. Outline how development of the Precinct will design with Country, with particular regard to the following areas identified on **Figure 2-5**:
 - i. Walking Country Connections;
 - ii. Central Park; and
 - iii. Community Gathering Sites.
2. Subsequent development applications in Pondicherry must be consistent with the approved Connecting with Country Strategy identified in Control 2.8.1 above and provide any further detailed designing with Country assessments if required.
3. Walking Country Connections are to be seamlessly integrated into the natural and urban fabric of Pondicherry. Walking Country Connections are to prioritise people movement ahead of vehicular movement using road and rail underpasses and pedestrian crossings and signalised intersections where possible (**Figure 2-5**).
4. Ecological Biodiversity corridors are to be returned to community land, restored, enhanced and cared for to promote local biodiversity. Refer also to controls in section 2.10 Biodiversity and Riparian Corridors.
5. Further investigations are required to confirm the nature, extent and significance of Aboriginal heritage identified in the Precinct (**Figure 2-5**) including seeking the required approvals under the National Parks and Wildlife Act 1974.

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2.9 Odour

Objectives

- a. To ensure impacts associated with odour do not adversely impact the health and quality of life for future residents.

Controls

1. Any residential subdivision development application within the Pondicherry Precinct shall be accompanied by a Level 3 Odour Impact Assessment (using the dispersion modelling program CALPUFF) developed in accordance with *NSW EPA Technical Framework Notes – Assessment and management of odour from stationary sources in NSW*, to verify the nuisance levels of odour generated from the existing Greenlife Resource Recovery Facility at 761 The Northern Road Bringelly. The Odour Impact Assessment must make odour predictions based on an adequate number of odour samples taken in accordance with the Approved Methods for the Modelling and Assessment of Air Pollutants in NSW, 2022 and must demonstrate odour contours based on worst case scenarios of full approved operations.

Note: Council must be satisfied with the findings of an odour impact assessment prior to development consent being granted and may consider any other information regarding potential odour impacts from a particular facility available to Council in making its assessment.

2. Any land identified by the Level 3 Odour Impact Assessment as being inside the 99th percentile, 2 odour unit contour shall not be developed for residential purposes until either:
 - i. Council is satisfied that the odour generating business ceases to operate, or
 - ii. Mitigation measures are agreed by Council to lessen the impact of the odour on future properties.

Schedule 8 - Pondicherry Precinct**2.10 Biodiversity and Riparian Corridors****Objectives**

- a. To protect, enhance and restore water sources, their associated ecosystems, ecological processes and biological diversity.
- b. To provide biodiversity connectivity (including riparian style vegetation) between Wianamatta South Creek, Rons Creek and Anthony Creek.
- c. To protect and improve water quality.
- d. To maintain and enhance bed and bank stability.
- e. To ensure development within the Precinct inclusive of the Lake Precinct embodies the principles of ecological sustainable development, delivering optimum social, economic and environmental outcomes.

Controls

1. Riparian corridors identified on **Figure 2-3** are to be delivered in accordance with the Department of Climate Change, Energy, the Environment and Water – Water (Licensing and Approvals) (DCCEEW) Controlled Activities - Guidelines for Riparian Corridors on Waterfront Land.
2. A Biodiversity Corridor Calculation is to be submitted with any development application for riparian corridors identified on **Figure 2-3** which considers:
 - a. The structural integrity, extent and connectivity of the riparian vegetation -PCT 4025 Cumberland Red Gum Riverflat Forest;
 - b. Fauna that is identified and likely to be accommodated by the terrestrial habitat corridor
3. A Pondicherry Lake Design Strategy will be required to be submitted and approved by Council prior to development consent being granted for the lake and its surrounding open spaces. This strategy needs to demonstrate the following:
 - a. Riparian style embellishment must be provided to open space areas adjoining the lake's edge while incorporating passive recreational uses, achieving a balance and integration of open space, biodiversity and riparian outcomes. Passive recreational uses may include:
 - i. Pedestrian paths and cycle ways;
 - ii. Fitness stations and exercise equipment;
 - iii. Picnic shelters and park furniture;
 - iv. Viewing platforms and jetties;
 - v. Interpretative and educational signage/instalments; and
 - vi. Public art.
 - b. Neighbourhood Park areas adjoining the lake identified on **Figure 2-28** must provide lake edge vegetation. Any inconsistencies are to be justified as part of the Lake Design Strategy.
 - c. Consideration of the fauna that is likely to be present in the area. Fauna types are to inform the vegetation used for riparian style embellishment and lake-edge vegetation.

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4. A Vegetation Management Plan (VMP) is to be prepared and implemented for riparian corridors identified on **Figure 2-3** and areas of the lake's edge with riparian style embellishment. The VMP must be submitted in accordance with the timing indicated in a Voluntary Planning Agreement. The VMP is to be prepared taking into account the above controls and in accordance with the following:
 - a. For riparian corridors, the VMP must consider the requirements and principles of the Controlled Activities – Guidelines for Riparian Corridors on Waterfront Land and Water Management Act 2000.
 - b. Riparian style embellishment must consider the requirements of Control 3 in this section;
 - c. The VMP shall designate management zones which must be revegetated with the PCT 4025 Cumberland Red Gum Riverflat Forest which shall have structural integrity (groundcover, mid-storey and canopy), typical vegetation characteristics and species diversity;
 - d. Where wetlands incorporate canopy trees such as *Melaleuca linariifolia* as stepping stones to provide better riparian / fauna connectivity, water sensitive urban design principles shall not be compromised; and
 - e. The VMP shall incorporate the inclusion of best practice biodiversity management guidelines.
5. Detailed Landscape Plans must be submitted with the Lake Design Strategy and VMP which meet the above controls. It should provide full details for each management zone.
6. Justification for the Lake waterbody (**Figure 2-3**) is to consider compliance with the Objects and Principles of the *Water Management Act 2000*.
7. The drainage area located between the Lake waterbody and South Creek is to perform a dual use of providing dry detention, in accordance with the Precinct Water Cycle Management objectives and be revegetated to a functioning biodiversity corridor in accordance with an appropriately documented VMP. Revegetation is to consider requirements of DCCEEW Controlled Activities - Guidelines for Riparian Corridors on Waterfront Land.

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3 Centres Development Controls

Pondicherry will provide two Neighbourhood Centres (zoned B1 Neighbourhood Centre) to accommodating the needs of the community. This includes a vibrant mixed-use neighbourhood centre based around the Pondicherry Lake in the east and a small scale convenience centre in the west.

The following sections are supported by the objectives and controls contained in Part 5 of the DCP.

3.1 Pondicherry Neighbourhood Centres

Note: This section supports the objectives and controls of Part 5 of the DCP

Lake Neighbourhood Centre Desired Future Character

The Pondicherry Lake neighbourhood centre will comprise a total site area of approximately 1.2ha in the location shown on the ILP and zoned *B1 Neighbourhood Centre* in the Western Parkland City SEPP. The neighbourhood centre is anticipated to accommodate a total floor area of 5,000m² and provide a broad mix of uses including retail (1,500m²), commercial, residential, civic and recreation. The centre will form the focal point of the surrounding Lake Precinct while serving the convenience retail needs of the local community, as well as supporting walkability and social interaction within the Precinct.

The amenity afforded through the expansive Lake system and adjoining open space will be of district appeal and a key attractor for residents, businesses and visitors alike. The Lake Precinct will espouse the principles of connected community achieved through an efficient road network, extensive active transport links and the interconnection of surrounding land uses including the neighbourhood centre, nearby district playing fields, a K-12 school, a community centre, extensive passive open space and surrounding medium density residential development.

Development should be sensitive to the character of the local area and shall enhance the local residential and environmental amenity through appropriate and sustainable urban design.

The built form of the neighbourhood centre shall deliver modern landmark building(s) fitting of its location within the broader Lake Precinct. The built form shall be of a scale which supports the integration of appropriate retail and commercial uses with the possibility for residential accommodation. Shops shall be addressed to the street to create a sense of place, with active streets and public domain providing a high amenity pedestrian environment.

Integration of the public domain will be a feature of the centre with visitors also appreciating the entertainment and recreation activities on offer in the precinct.

Western Neighbourhood Centre Desired Future Character

The western neighbourhood centre is to be located as shown on the ILP and zoned *B1 Neighbourhood Centre* in the Western Parkland City SEPP. The centre will provide a small-scale convenience based offering providing accessible retail, community and business services for local residents. The centre is anticipated to accommodate a retail floor area of 1,000m² and be supported by the precinct principles of walkability and community interaction.

Development should be sensitive to the character of the local area including height and shall enhance the local residential and environmental amenity through appropriate and sustainable urban design.

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- a. Create vibrant, mixed use neighbourhood centres with opportunities for shop top housing that provide a range of small-scale retail, business and community uses to cater for the needs of the local population.
- b. Achieve high quality architecture through the appropriate composition and articulation of building elements, textures, materials and colours that respond to the building's use and locality.
- c. Ensure adjacent residential buildings, other adjoining development and public open spaces retain sufficient solar access.
- d. Encourage development which makes a positive contribution to the streetscape, promotes active transport use, and contributes to the amenity of the centre.
- e. Create entrances which provide a desirable and safe identity for the development and which assist in visitor orientation.
- f. Minimise potential conflicts between pedestrians and vehicles.

ControlsGeneral

1. The neighbourhood centres must be located in accordance with the Indicative Layout Plan (**Figure 2-1**) and defined by the *B1 Neighbourhood Centre* zone boundary in the Western Parkland City SEPP.
2. Active street frontages are to be prioritised to public domain areas and maximised where possible to the surrounding public streets. Fine grained and intensive land uses that provide visual interest and encourage pedestrian activity is encouraged. Residential development is not permitted at the ground floor level unless it is for an entrance or lobby, access for fire services or vehicular access.
3. Incorporate residential/shop top housing above the ground floor retail/commercial tenancies where feasible.

Layout

4. The arrangement of built forms must consider potential future noise and amenity conflicts to surrounding uses inside and outside of the neighbourhood centres.

Built form

5. Development must be designed and sited so that it visually addresses the street and must have a clearly identifiable entry.
6. Buildings are not to exceed the maximum building height identified on the Height of Buildings map of the Western Parkland City SEPP, with buildings in the Lake neighbourhood centre not to exceed six storeys.
7. Buildings are to be articulated and visually address the street through the selection of materials, openings and entries. Where buildings are not proposed to be built to the street frontage, setbacks are to be minimised. Buildings are also to be designed and located to address, activate and enhance nearby public domain.
8. The building and landscape design is to be complementary to ensure it is legible, safe, and accessible for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate.
9. Avoid the occurrence of blank walls on buildings through façade articulation that clearly delineates points of interest e.g. building entries, and vertical and horizontal elements. In circumstances where walls with minimal or no openings (i.e. windows, doors and balconies) are unavoidable, they are to be treated with appropriate design detail and visual articulation through the use of colours and materials.

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10. Building heights are to take into account view lines and protect solar access to nearby parks, streets and the public domain.
11. Establish a 'sense of place' and contemporary character for the precinct through a high quality built form and energy efficient architectural design.
12. Highly reflective materials are not acceptable for roof or wall cladding.

Public Domain

13. Provide a high-quality landscape design including a coordinated package of street furniture and lighting that enhances the character of the neighbourhood centre.
14. Provide street tree and open space planting to provide generous shade for pedestrians.
15. Provide continuous weather protection to the building perimeter where appropriate with a focus on those active entries and shop fronts which integrate with the public domain.
16. Shop fronts are to be glazed to ensure visual interest, provide borrowed light and surveillance to the street in alignment with Safer by Design principles.

Transport and Access

17. Walking and cycling leading to and within the neighbourhood centres is to take priority over traffic circulation.
18. Incorporate transport interchanges which accommodate bicycle parking, in addition to park and ride facilities.
19. Provide on-street parking for convenience and to contribute to the activation of the street, where appropriate to support the use and function of the neighbourhood centres.
20. The visibility of parking areas at street frontages shall be minimised through:
 - i. parking layout and design, building location and design and landscaping treatments;
 - ii. bitumen and cars are not to be the dominant features of the landscape; and
 - iii. the design of parking areas is to consider pedestrian legibility, safety and accessibility from street frontages, within the centre and to adjoining land where appropriate.
21. Waste storage and collection areas are to be designed to minimise amenity impacts and should not impede the use of the public domain.

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4 Site Specific Development Controls

4.1 Development near or on the Rail Corridor

Note: This section is supplementary to **Section 2.3.9 Noise** of the main body of the DCP and provides further guidance in relation to noise management on or near the North-South Rail Corridor.

Objectives

- a. To ensure that development on or near the rail corridor does not impact the integrity or safety of the corridor.
- b. To ensure reasonable standards of amenity for residential development within the vicinity of the rail corridor.

Controls

1. Development within and adjacent the North South Rail Corridor must take into consideration the following documentation
 - i. Sydney Metro – Technical Services Sydney Metro Underground Corridor Protection Technical Guidelines;
 - ii. Sydney Metro – Technical Services Sydney Metro at Grade and Elevated Sections Corridor Protection Guidelines; and
 - iii. Development Near Rail Corridors and Busy Roads – Interim Guideline.
2. Developments adjacent to the North South Rail Corridor must be oriented towards the street.
3. Where residential or sensitive use development is proposed within 100m of the North South Rail Corridor an acoustic assessment must be undertaken in accordance with Council's Environmental Noise Policy. Where alternative noise mitigation is not proposed and residential dwellings are located within 25m of a rail corridor, dwelling noise mitigation must incorporate "Category 3" acoustic measures (or equivalent) in accordance with the Department of Planning, Industry and Environment – Development Near Rail Corridors and Busy Roads – Interim Guideline (Figure 3.3a and Appendix C). Similarly, where residential dwellings are located between 25m and 60m from a rail corridor "Category 2" acoustic measures (or equivalent) in accordance with the Department of Planning Industry and Environment – Development Near Rail Corridors and Busy Roads – Interim Guideline (Figure 3.3a and Appendix C).

Schedule 8 - Pondicherry Precinct**4.2 Development near or on Electricity Easements****Objectives**

- a. To ensure that development on or near electricity easements does not impact on the integrity and safety of electricity infrastructure.
- b. To ensure reasonable standards of amenity for residential development within the vicinity of electricity easements.
- c. To encourage passive surveillance of electricity easements.

Controls

1. Development within and adjacent electricity easements including but not limited to, landscape and fencing is to consider the appropriate and current TransGrid Development Guidelines including:
 - I. TransGrid Easement Guidelines, Third Party Development;
 - II. Subdivision and Development Guidelines; and
 - III. Living and Working with electricity transmission lines.
 - IV. Relevant Endeavour Energy specification
2. Open space and drainage contained within an electricity easement and any road crossings of an easement should generally be in accordance with the Indicative Layout Plan (**Figure 2-1**) and Precinct Road Hierarchy Plan (**Figure 2-11**).
3. Public roads within residential areas are encouraged adjacent to electricity easements to allow easy access to transmission towers and passive surveillance of open space (**Figure 4-1**).
4. Where private ownership of the electricity easement is proposed, the number of private lots should be limited and contain a building footprint outside the easement (**Figure 4-2**).
5. All proposed activities within electricity easements require approval from the relevant authority. Applicants should consult with electricity supply authorities prior to submitting a development application to Council. Evidence of approval is to be submitted with the development application.
6. No buildings are permitted in electricity easements without the approval of the relevant electricity supply authority.

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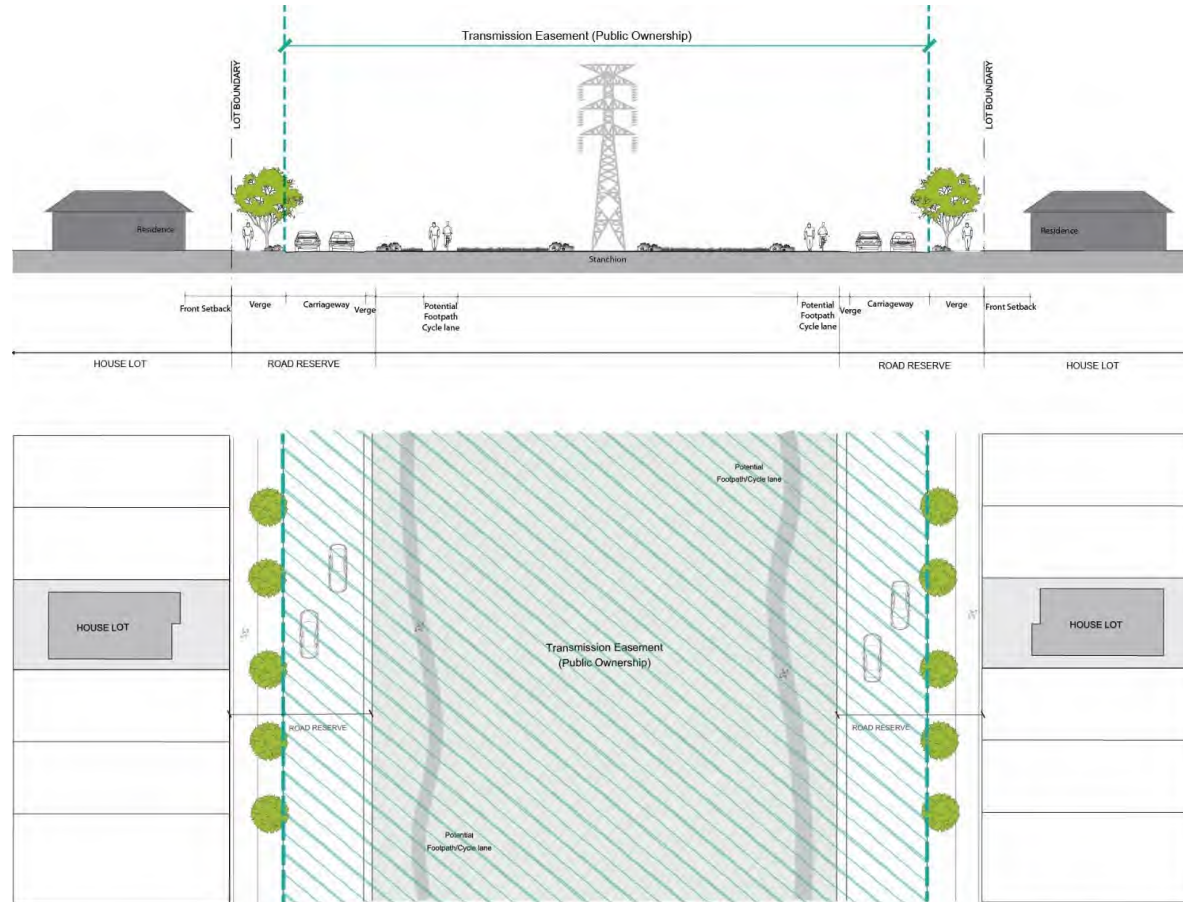


Figure 4-1: Electricity Easement (Public Ownership)

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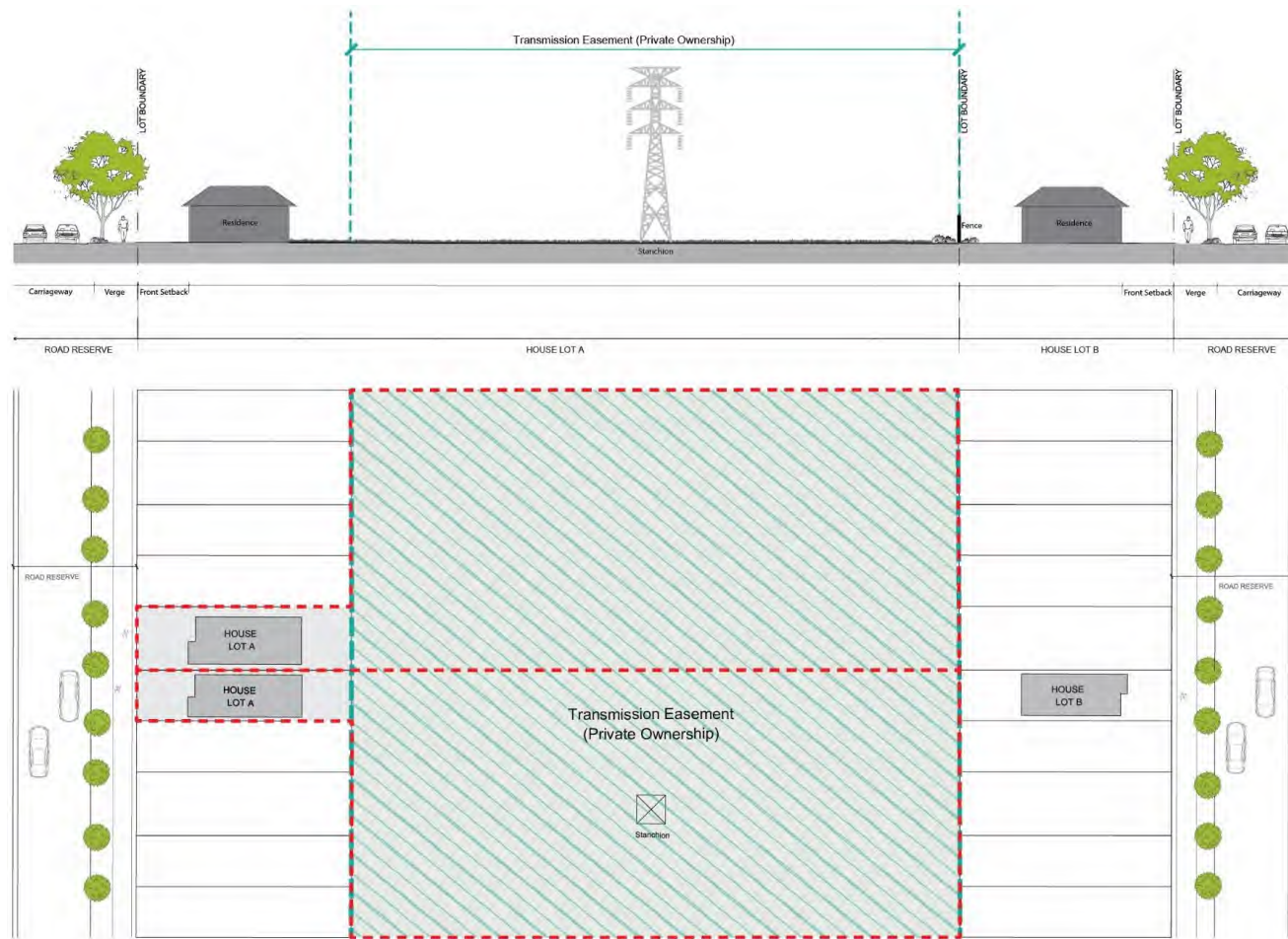


Figure 4-2: Electricity Easement (Private Ownership)

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1 Introduction

1.1 Name and Application of this Schedule

This Schedule forms part of the Camden Growth Centre Precincts Development Control Plan (referred to as “the DCP”).

This Schedule applies to all development on the land shown in **Figure 1-1**: Land Application Map. This Schedule and related amendments to the DCP give effect to the provisions of the DCP for land within the Pondicherry Precinct (‘the Precinct’) as shown on the Land Application Map.

1.2 Structure of this Schedule

This Schedule should be read in conjunction with the main body of the DCP and is in addition to the main body of the DCP. In the event of an inconsistency between this Schedule and the main body of this DCP, this Schedule takes precedence. **Table 1-1** summarises the structure of this Schedule.

Table 1-1: Structure of this Schedule.

Part	Summary
1 – Introduction	Identifies the land to which the Schedule applies.
2 – Subdivision Planning and Design	Establishes an overall vision and Indicative Layout Plan (ILP) for the future development of the Precinct. Provides Precinct specific figures that support the controls in Part 2, Part 3 of the main body of the DCP in relation to the Pondicherry Precinct.
3 – Centres Development Controls	Provide specific objectives and controls that apply to land within the Neighbourhood Centres, identified on the ILP for the Precinct, and which supplement the controls in Part 5 and Part 6 of the main body of the DCP.
4 – Site Specific Development Controls	Specific objectives and controls for development within the Precinct, including land affected by electricity easements and land adjacent to the future rail corridor.

Additional notes to readers are provided throughout this document. These notes are not part of the formal provisions of the DCP but are intended to provide additional guidance and explanation of the provisions. If further guidance is required on the interpretation of provisions in the DCP, readers should refer to the definitions or contact Camden Council for advice.

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Figure 1-1: Land Application Map

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2 Subdivision Planning and Design

Note: This section supports the objectives and controls of Part 2 and Part 3 of the DCP

2.1 Precinct Vision

Pondicherry will deliver a high-quality urban environment following the principles of community pride, well-being, healthy living and educational excellence. Pondicherry will incorporate a series of thoughtfully planned villages with high local amenity and quality connections to the job opportunities, community and recreational facilities afforded within the South West Growth Area. Pondicherry will form an integral component of the local area linking to surrounding precincts including the established Oran Park and future precincts of Lowes Creek Maryland and South Creek West.

The urban framework of Pondicherry will respond to the unique characteristics of the existing built and natural environment including:

- The retention of existing remnant vegetation and hollow bearing trees where possible;
- Creation of meaningful green-grid connections to local creek networks in Oran Park and the wider Western Parkland City;
- Delivery of attractive, high amenity residential streetscapes, open space and pedestrian/cycle connections that are responsive to site constraints; and
- Design of public spaces to incorporate Aboriginal cultural history.

Open space and access to water are among Sydney's greatest assets. As the population expands within Sydney's south-west it is essential that future communities are afforded quality open space areas incorporating, where appropriate high amenity water features which contribute to the blue-green grid, urban heat island offsets and the creation of a strong sense of place. The Lake Precinct will provide a strong recreational focus including both active and passive uses along with the co-location of a District level sporting facility. The Lake Precinct will include a Neighbourhood Centre and opportunity for mixed use activities including retail, commercial, residential, civic, recreation, and social infrastructure. The amenity afforded through the expansive Lake system and adjoining open space will be of District appeal and a key attractor for residents, businesses and visitors alike. The bushland setting and backdrop of South Creek further strengthen the Lake Precinct's appeal. This important ecological asset and bushland setting will continue to be preserved and enhanced for community enjoyment. Together, these landscape features will provide a highly attractive and sought-after place to live as residents seek to capture the amenity and healthy living benefits the Lake Precinct presents.

Pondicherry will provide a broad range of dwelling types with a focus on attractive residential streetscapes structured around well connected, walkable neighbourhoods and local passive open spaces. The high amenity area of the Lake Precinct will also offer the opportunity for estate housing mixed with medium density residential and apartment dwellings encouraging housing diversity and a broad socioeconomic mix.

A key aspect of Pondicherry will be the highly walkable and permeable urban structure, connected by a network of active pedestrian and cycle paths layered and intertwined with the blue-green grid offered through the local creek corridors, South Creek and the Lake Precinct. The local open space areas also provide intimate opportunities for community building and human interaction.

The Precinct is well serviced by public transport with a highly connected sub-arterial and collector road network providing opportunity for local and rapid transit bus services. The North-South Rail corridor also forms part of the planning and design for the Precinct with vehicular and pedestrian crossing points integrated with local neighbourhoods.

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2.2 Precinct Supporting Specialist Studies

The following supporting specialist studies have informed the Pondicherry Precinct Indicative Layout Plan and planning controls:

- Pondicherry Street Tree Strategy, JMD Design (September 2021)
- Housing Market Analysis, MacroPlan (December 2020)
- Landscape Character, JMD Design (February 2021)
- Social Infrastructure, Elton (March 2021)
- Land Capability Study, Douglas Partners (August 2017)
- Geotechnical Investigations, Douglas Partners (August 2017)
- Preliminary Site Investigations, Douglas Partners (February 2021)
- Aboriginal Heritage, Kelleher Nightingale (December 2020)
- Aboriginal Cultural Heritage Assessment, Kelleher Nightingale (May 2021)
- European Heritage, GML Heritage (March 2021)
- Water Cycle Management and Flooding, Calibre Consulting (March 2021)
- Biodiversity, Eco Logical Australia (March 2021)
- Riparian Corridors, Eco Logical Australia (March 2021)
- Bushfire, Eco Logical Australia (March 2021)
- Traffic and Transport, GHD (March 2021)
- Utilities Servicing Report, IDC (March 2021)
- Utilities Implementation Plan, IDC (March 2021)
- Air Quality, ERM (February 2021)
- Noise and Vibration Assessment, WSP (February 2021)
- Retail Analysis, MacroPlan (March 2021)

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2.3 Referenced Figures

Note: The figures included in this section are those referenced in **Part 2 Precinct Planning Outcomes, Part 3 Neighbourhood and Subdivision Design**, of the DCP as indicated in **Table 2-1**.

Table 2-1: Referenced Figures

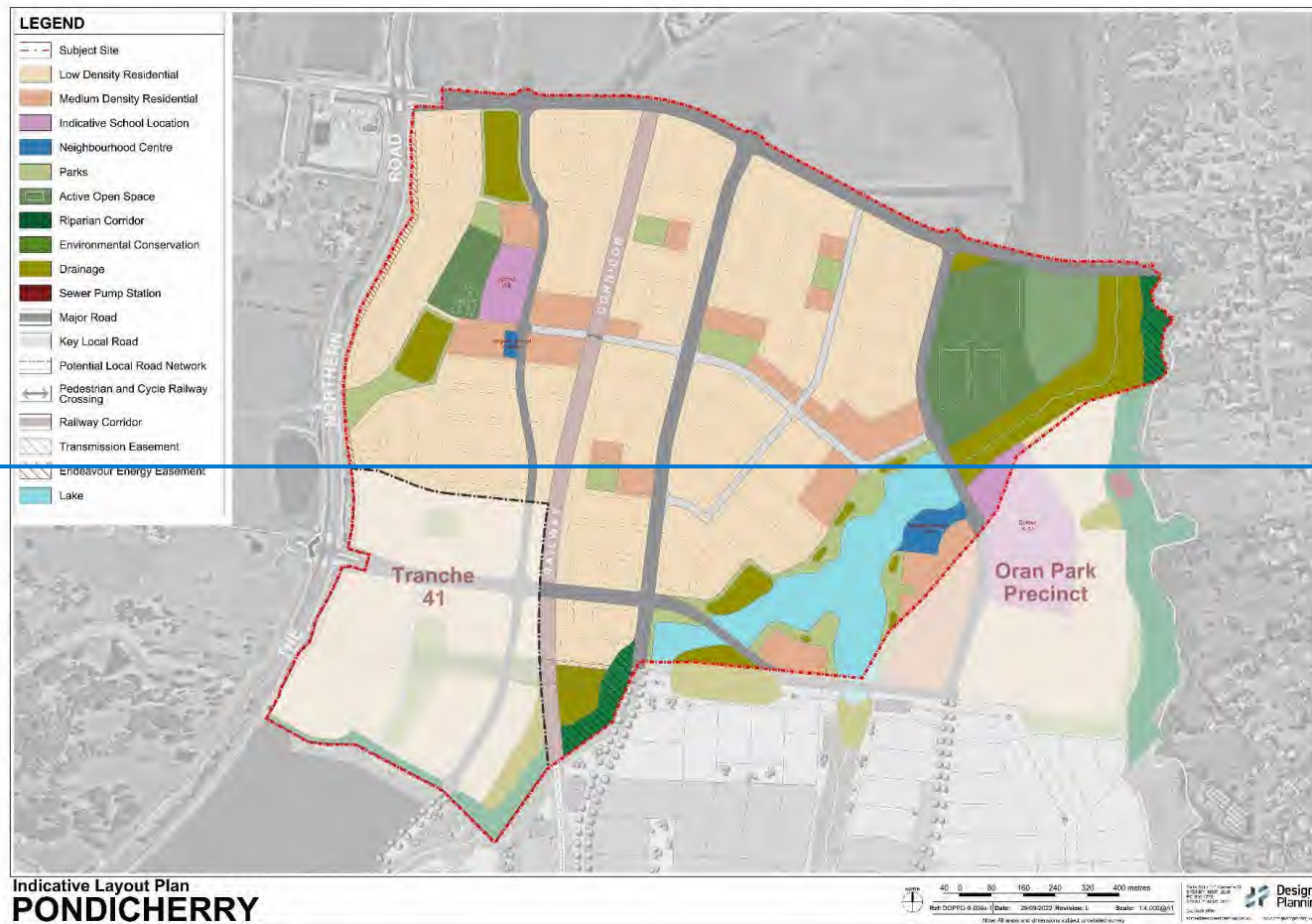
Referenced figure	Section in main body of the DCP
Figure 2-1: Indicative Layout Plan	2.2 The Indicative Layout Plan
Figure 2-2: Flood prone land	2.3.1 Flooding
Figure 2-3: Key elements of the water cycle management and ecology strategy	2.3.2 Water Cycle Management 2.3.5. Native Vegetation and Ecology 3.3.1 Layout and Design
Figure 2-4: Areas of potential salinity risk	2.3.3 Salinity and Soil Management
Figure 2-5: Aboriginal cultural heritage	2.3.4 Aboriginal and European heritage
Figure 2-6: Bushfire risk and Asset Protection Zone requirements	2.3.6 Bushfire hazard management
Figure 2-7: Potential contamination risk	2.3.7 Site Contamination
Figure 2-8: Location of easements	2.3.8 Development on and adjacent to electricity easements
Figure 2-9: Noise impact areas	2.3.9 Noise
Figure 2-10: Odour impact area	2.3.10 Odour Assessment and control
Figure 2-104: Residential structure	3.1.1 Residential Density
Figure 2-112: Precinct road hierarchy	3.3.1 Layout and Design 3.3.6 Access to arterial roads, sub-arterial road and transit boulevards
Figure 2-123: Pedestrian and cycle network	3.3.4 Pedestrian and Cycle Network
Figure 2-134: Education and Community Facilities	4.4.4 Education Establishment and Places of Worship 6.10.3 Child Care Centres
Figure 2-145: Public Transport Network	3.3 Movement Network
Figure 2-156: Local Street Cross Section (Typical)	3.3 Movement Network
Figure 2-167: Local Street Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-187: Green Link Road Cross Section (Typical)	3.3 Movement Network
Figure 2-189: Green Link Road Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-1920: Collector Road Cross Section (Typical)	3.3 Movement Network
Figure 2-204: Collector Road Cross Section (Flex Zone)	3.3 Movement Network
Figure 2-212: Collector Road Cross Section – Median (Typical)	3.3 Movement Network
Figure 2-223: Collector Road Cross Section – Median (Flex Zone)	3.3 Movement Network
Figure 2-243: Sub-Arterial Road Cross Section (On-Road Cycle Lane)	3.3 Movement Network

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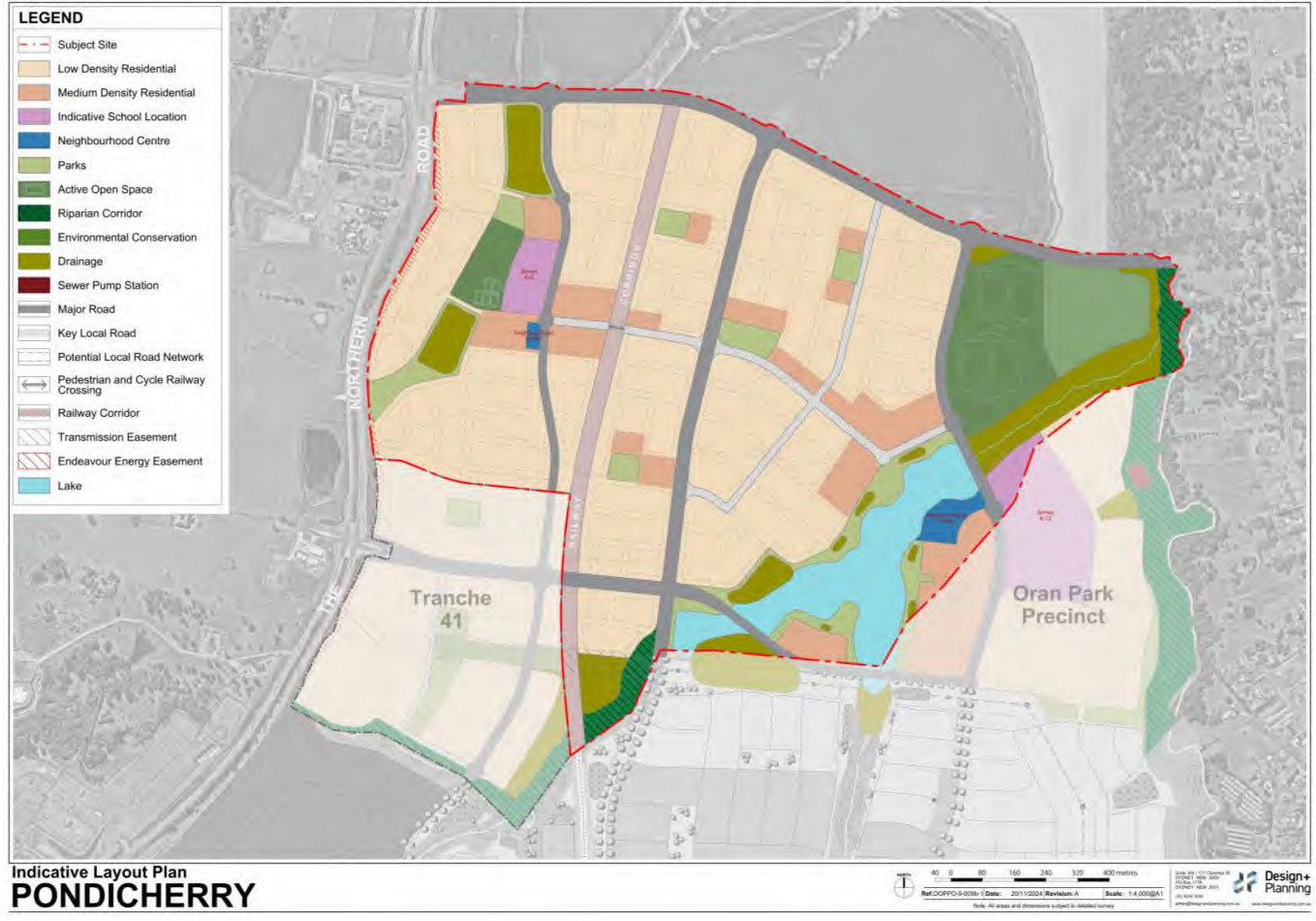
Figure 2-254: Sub-Arterial Road Cross Section (Off-Road Cycle Lane)	3.3 Movement Network
Figure 2-265: Dransfield Drive Extension Collector Road (Short Term)	3.3 Movement Network
Figure 2-276: Dransfield Drive Extension Collector Road (Long Term)	3.3 Movement Network
Figure 2-287: Typical Flex Zone Design	3.3 Movement Network
Figure 2-298: Open Space Network	3.1.2 Block and Lot Layout
Figure 4-1: Electricity Easement (Public Ownership)	2.3.8 Development of or Adjacent to Electricity and gas Easements
Figure 4-2: Electricity Easement (Private Ownership)	2.3.8 Development of or Adjacent to Electricity and gas Easements

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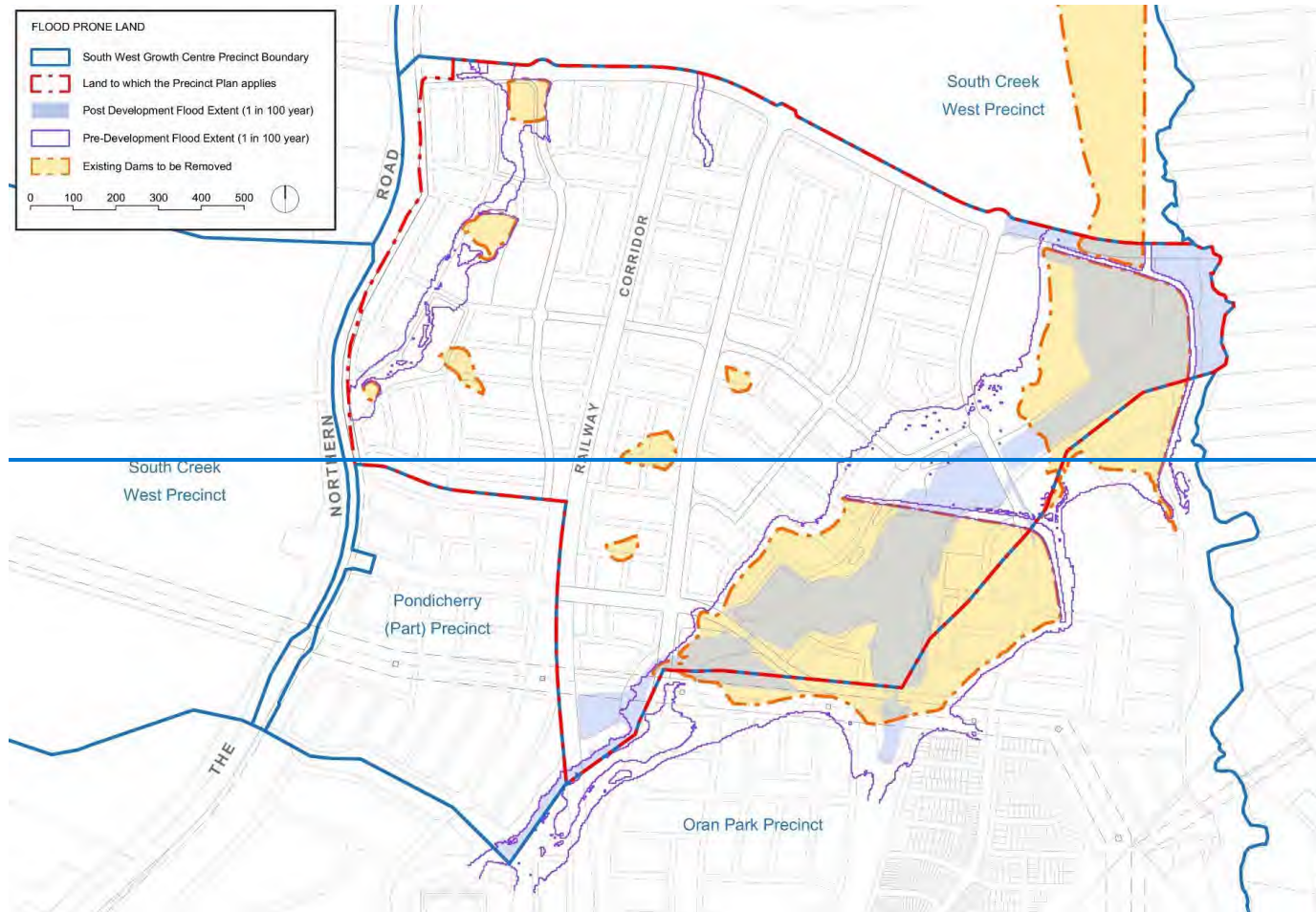


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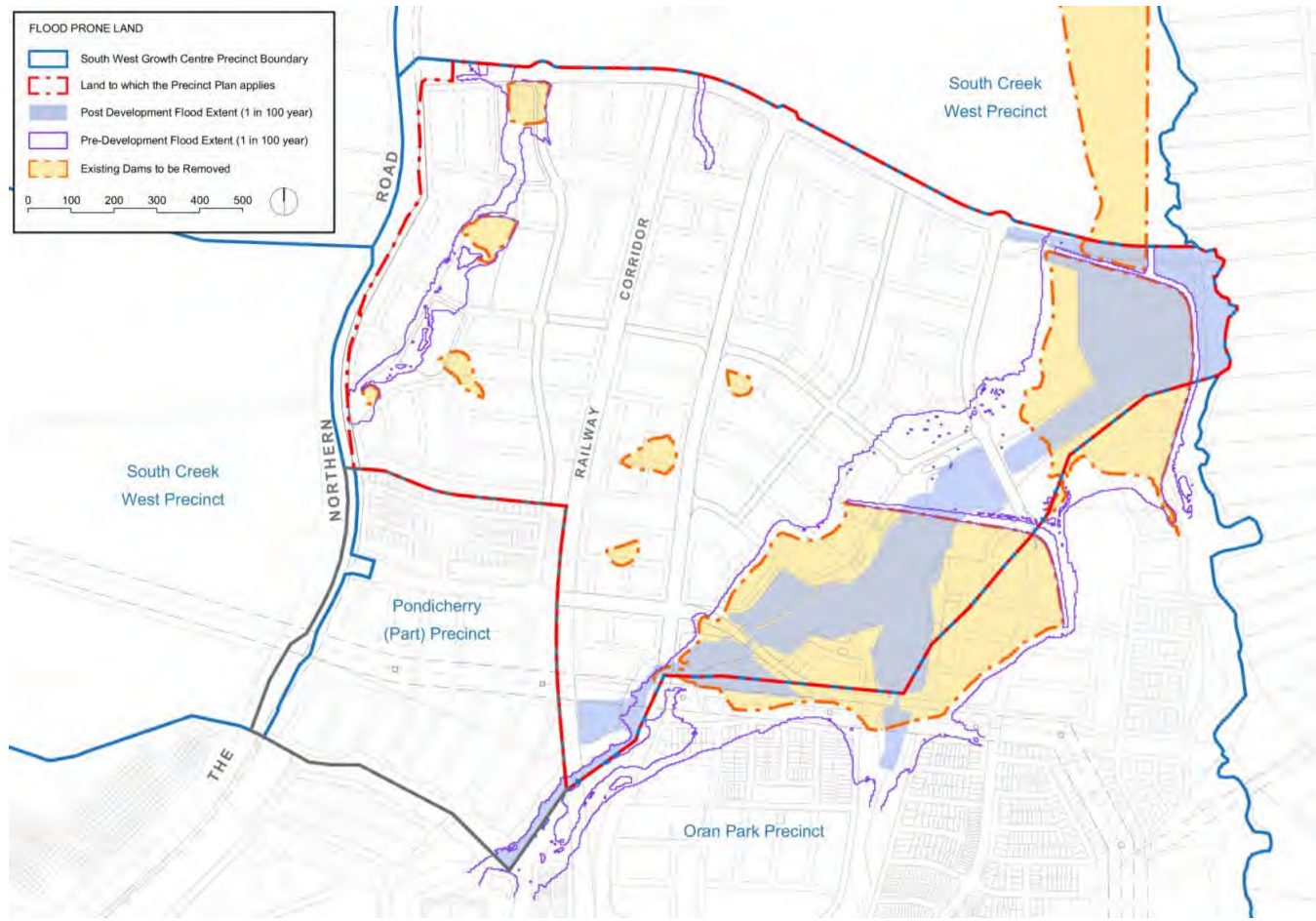
Figure 2-1: Indicative Layout Plan

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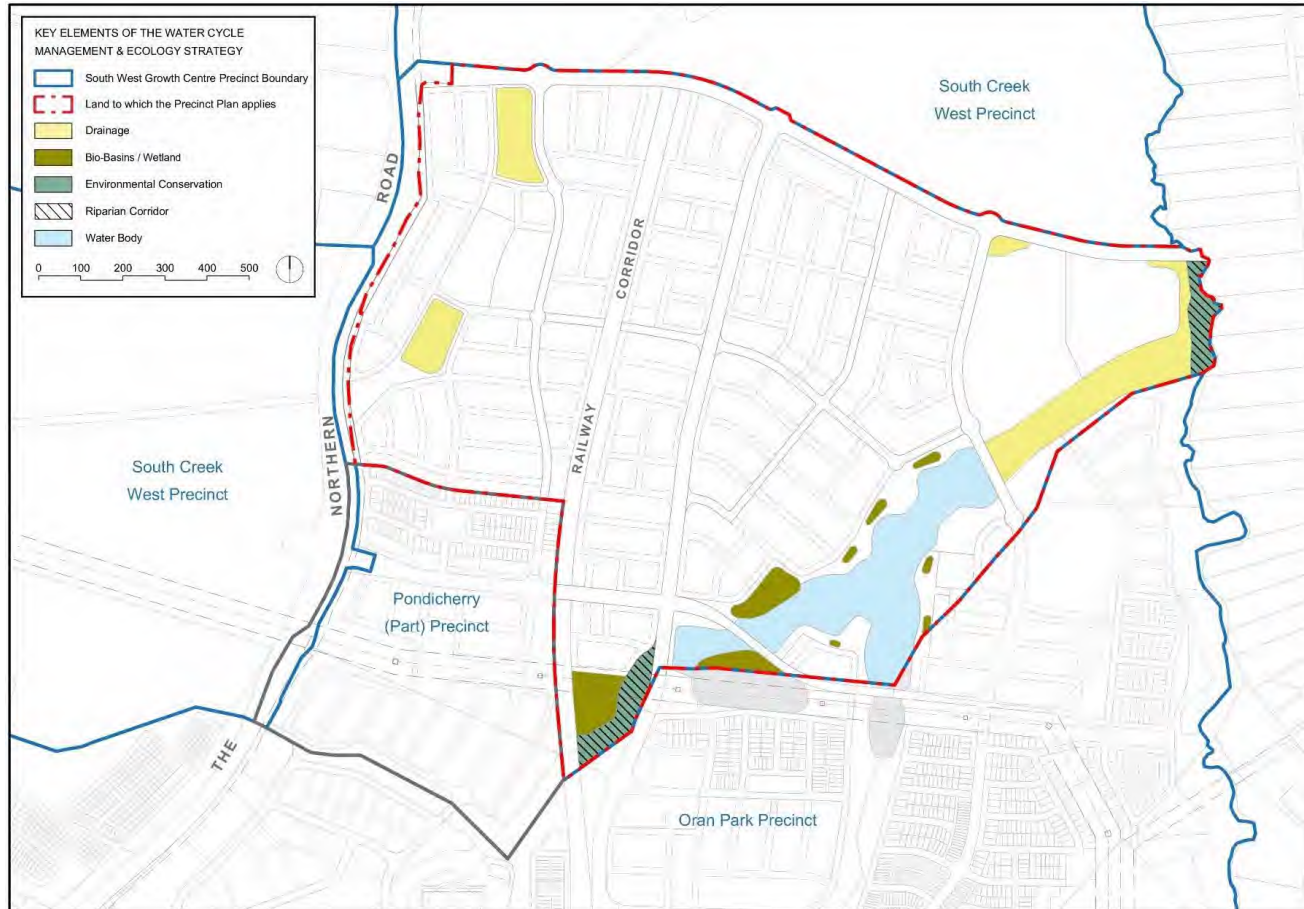


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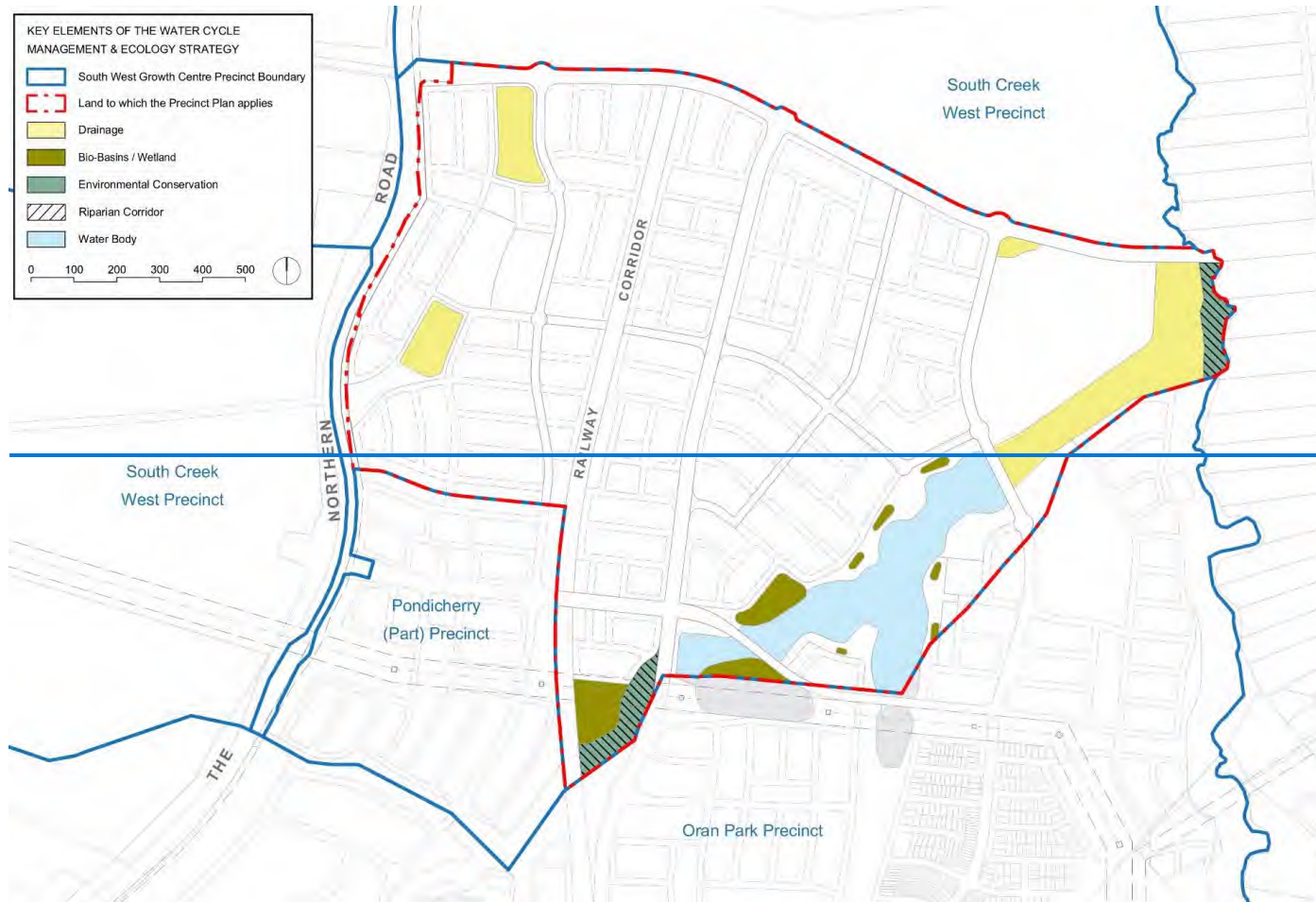


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Figure 2-2: Flood Prone Land



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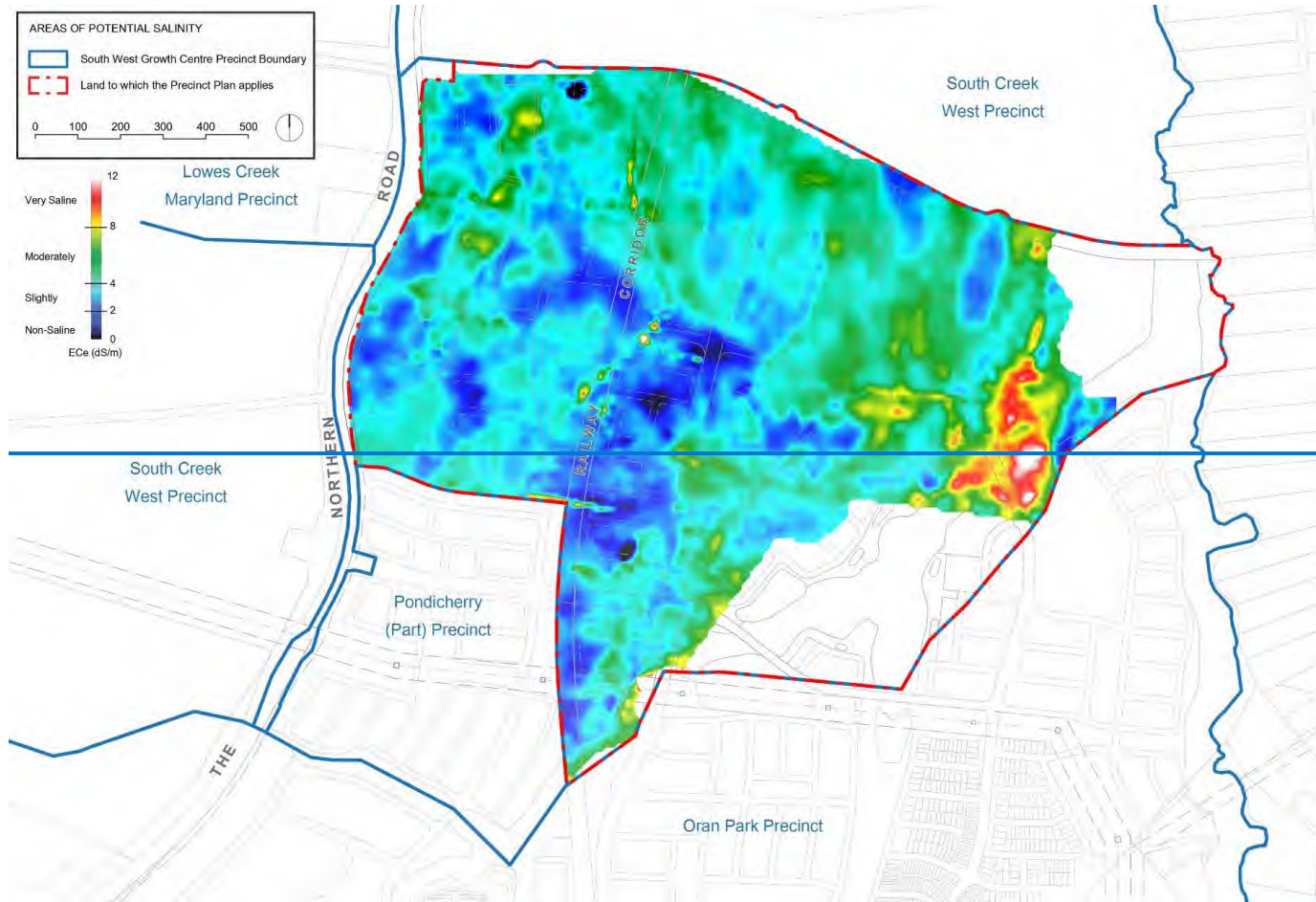


| [Schedule 88 - Pondicherry Precinct](#)

Figure 2-3: Key Elements of the Water Cycle Management and Ecology Strategy

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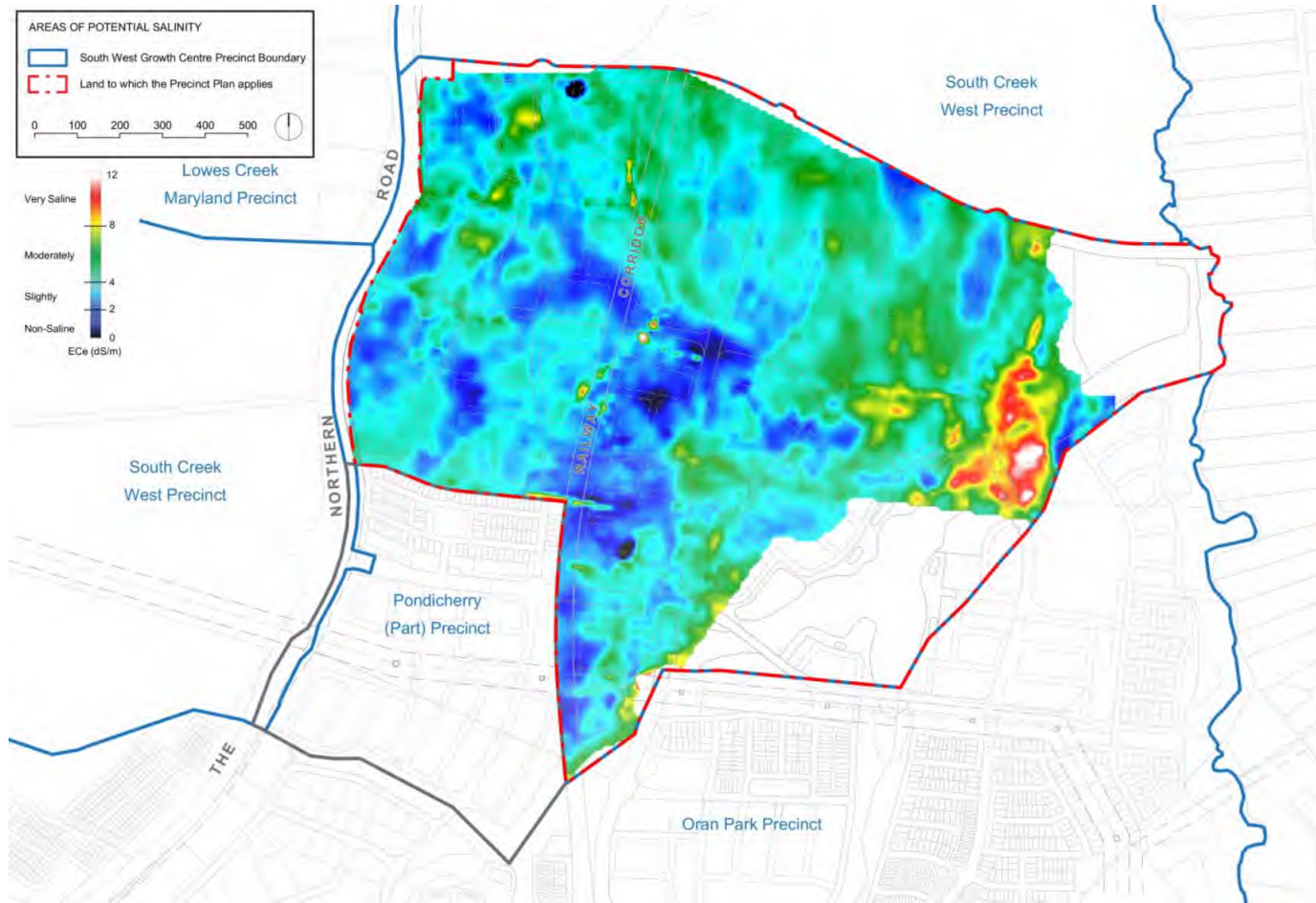
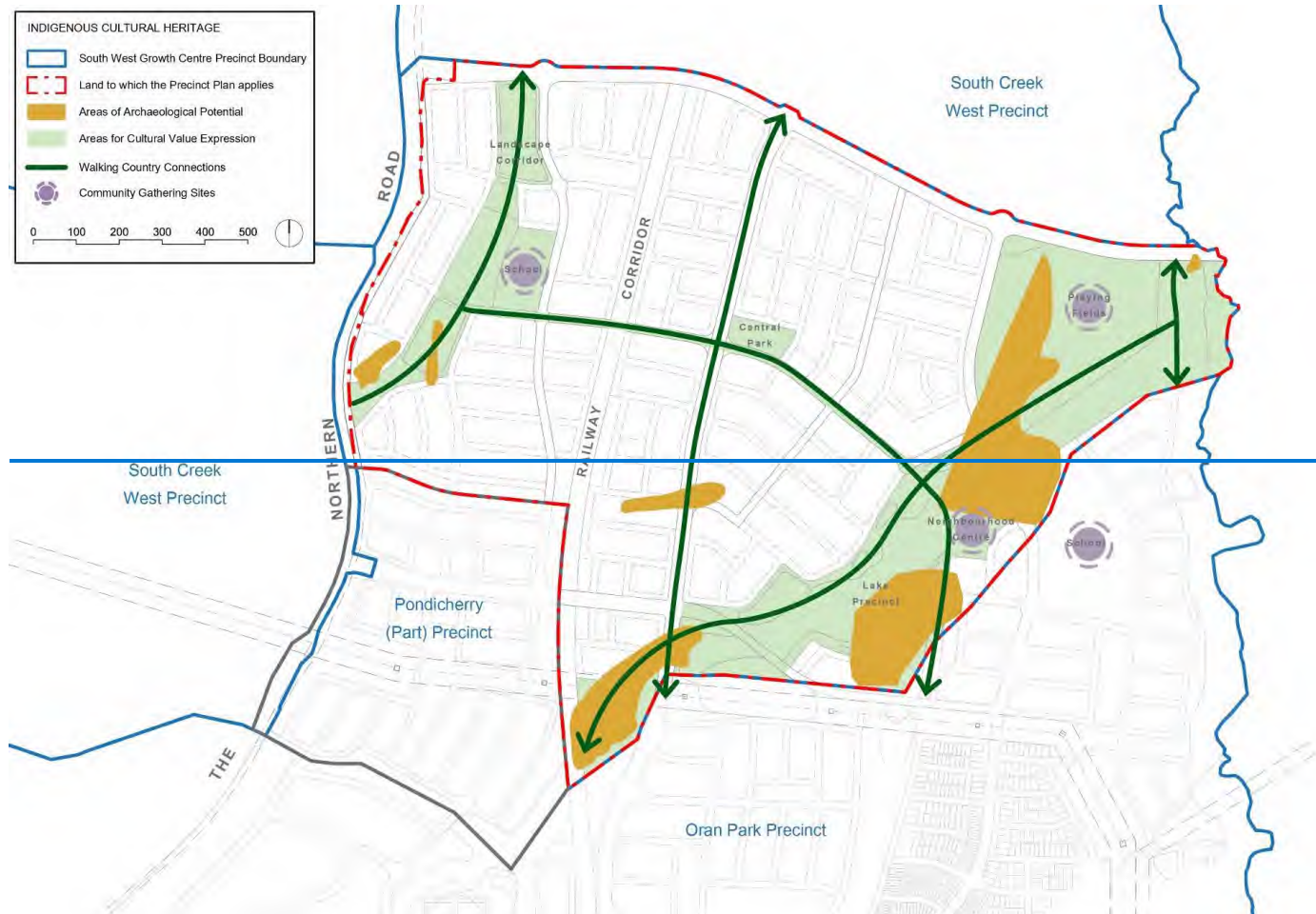


Figure 2-4: Areas of Potential Salinity

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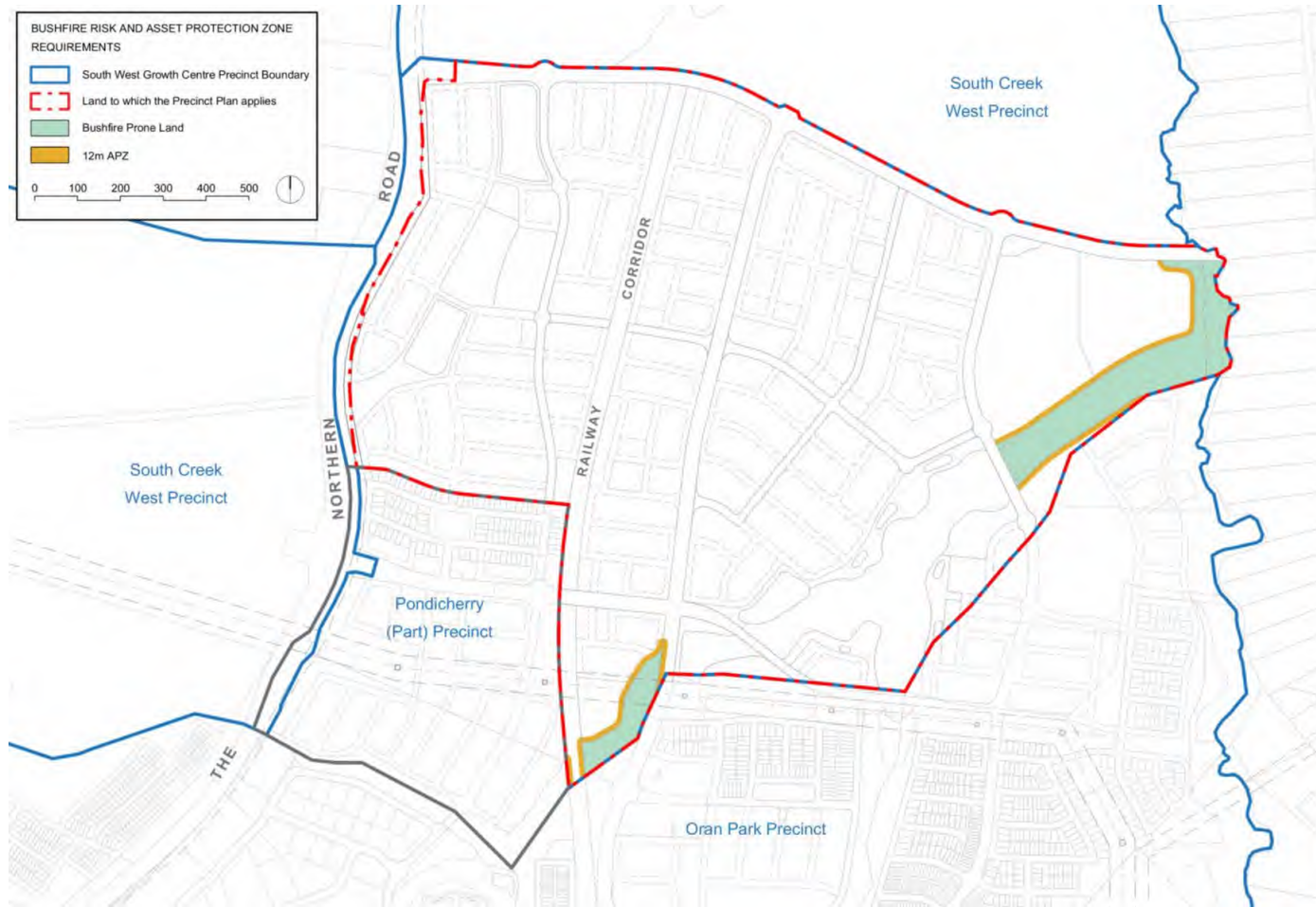
Figure 2-5: Aboriginal Cultural Heritage

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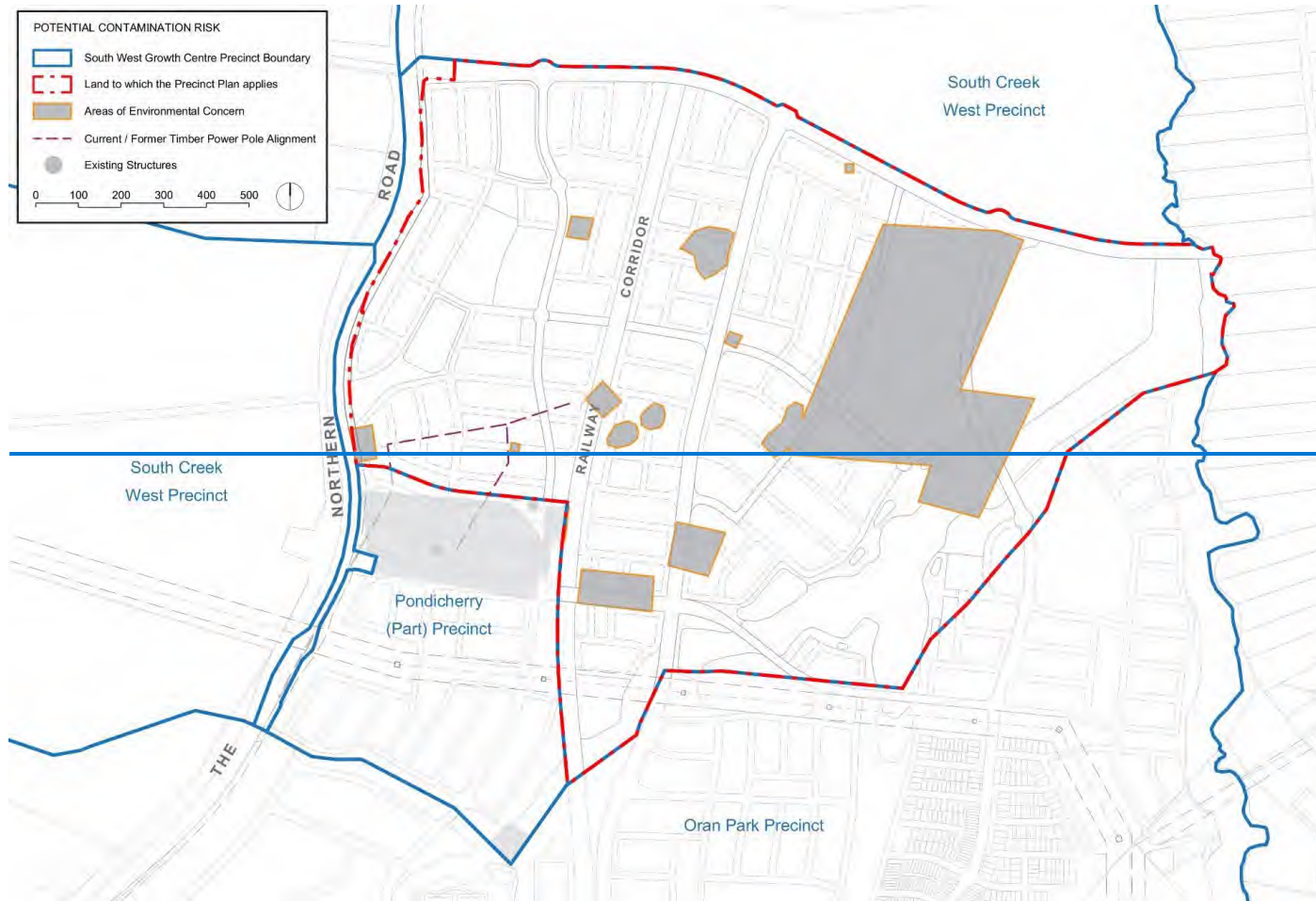


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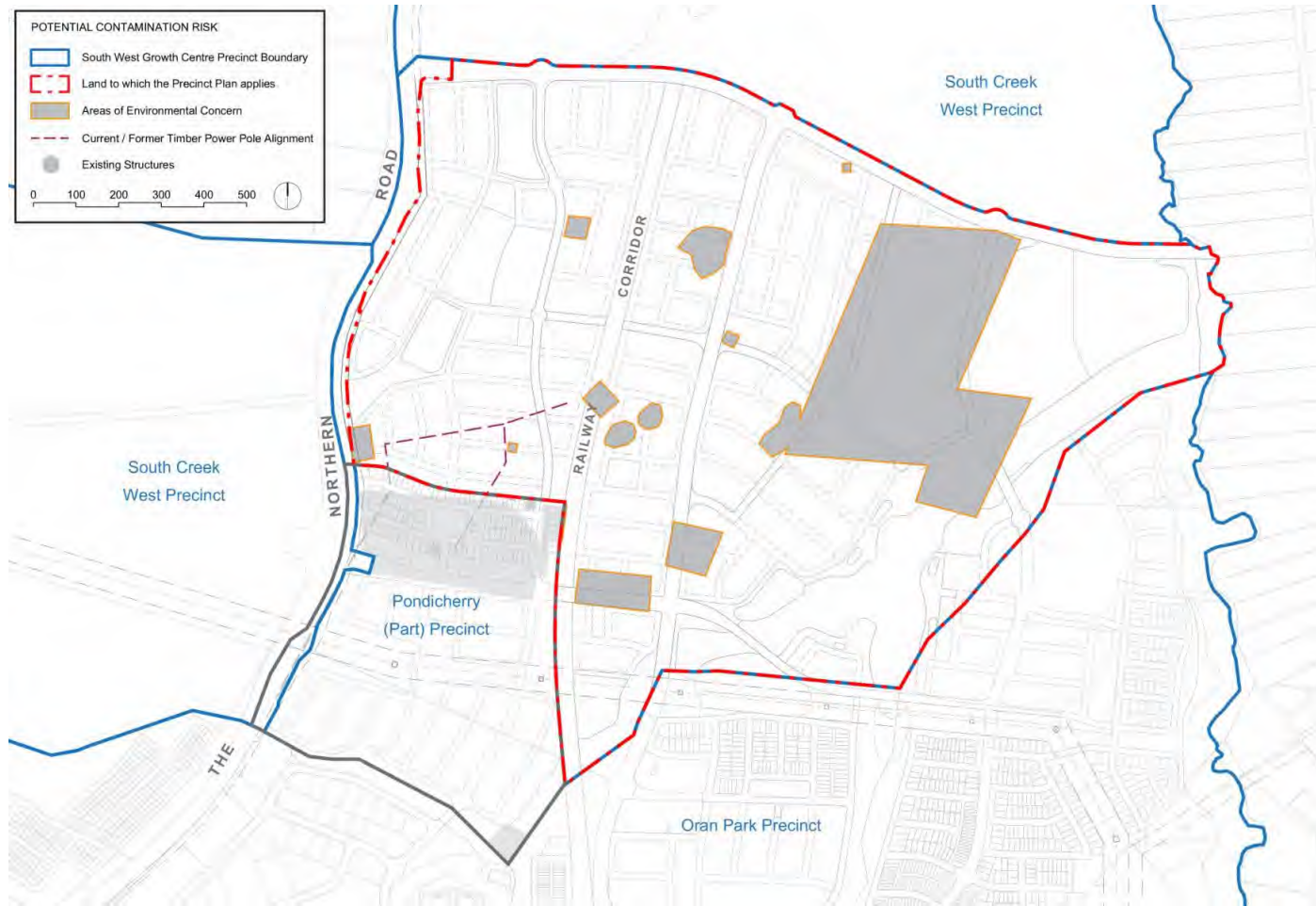
Figure 2-6: Bushfire Risk and Asset Protection Zone Requirements

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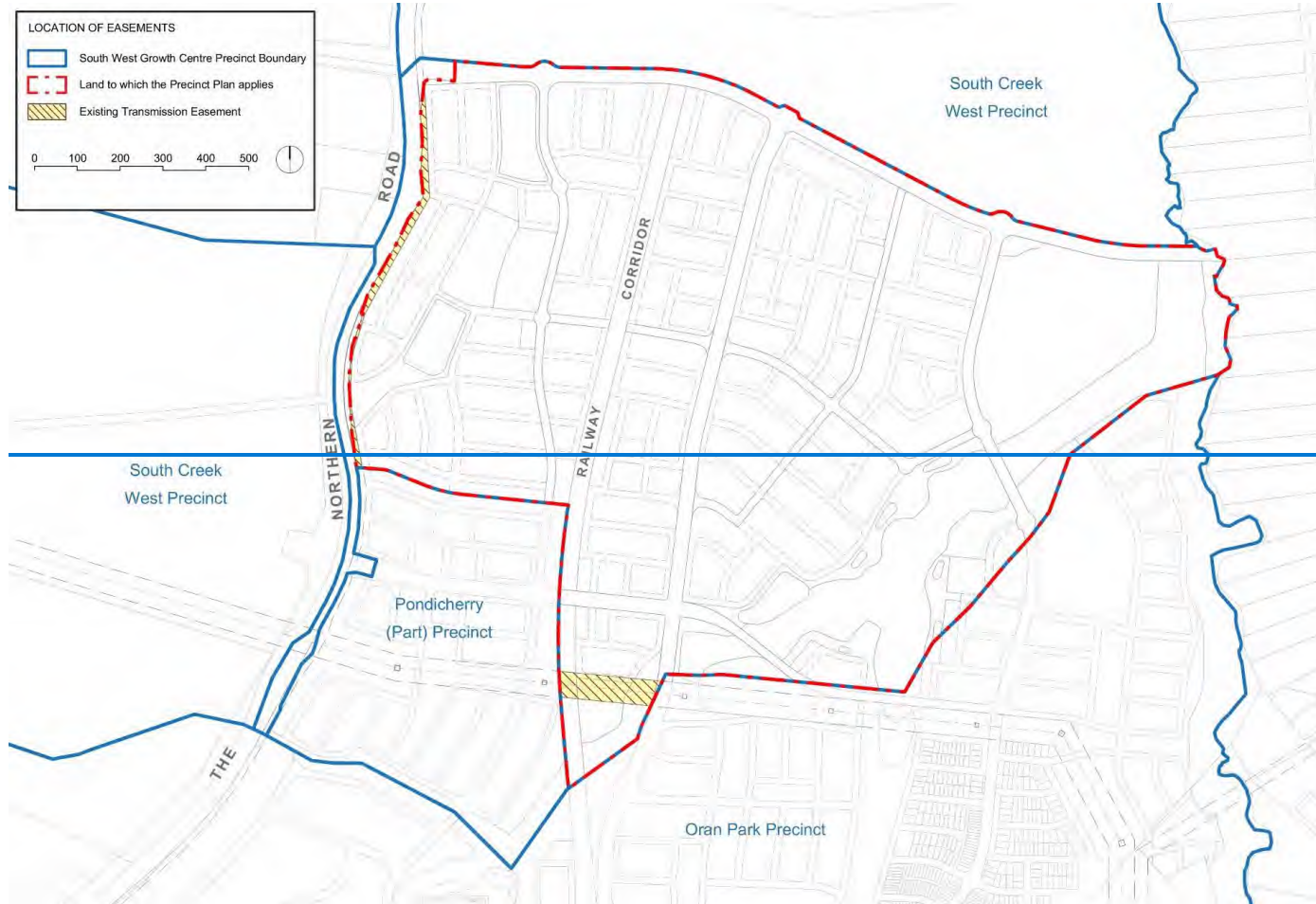


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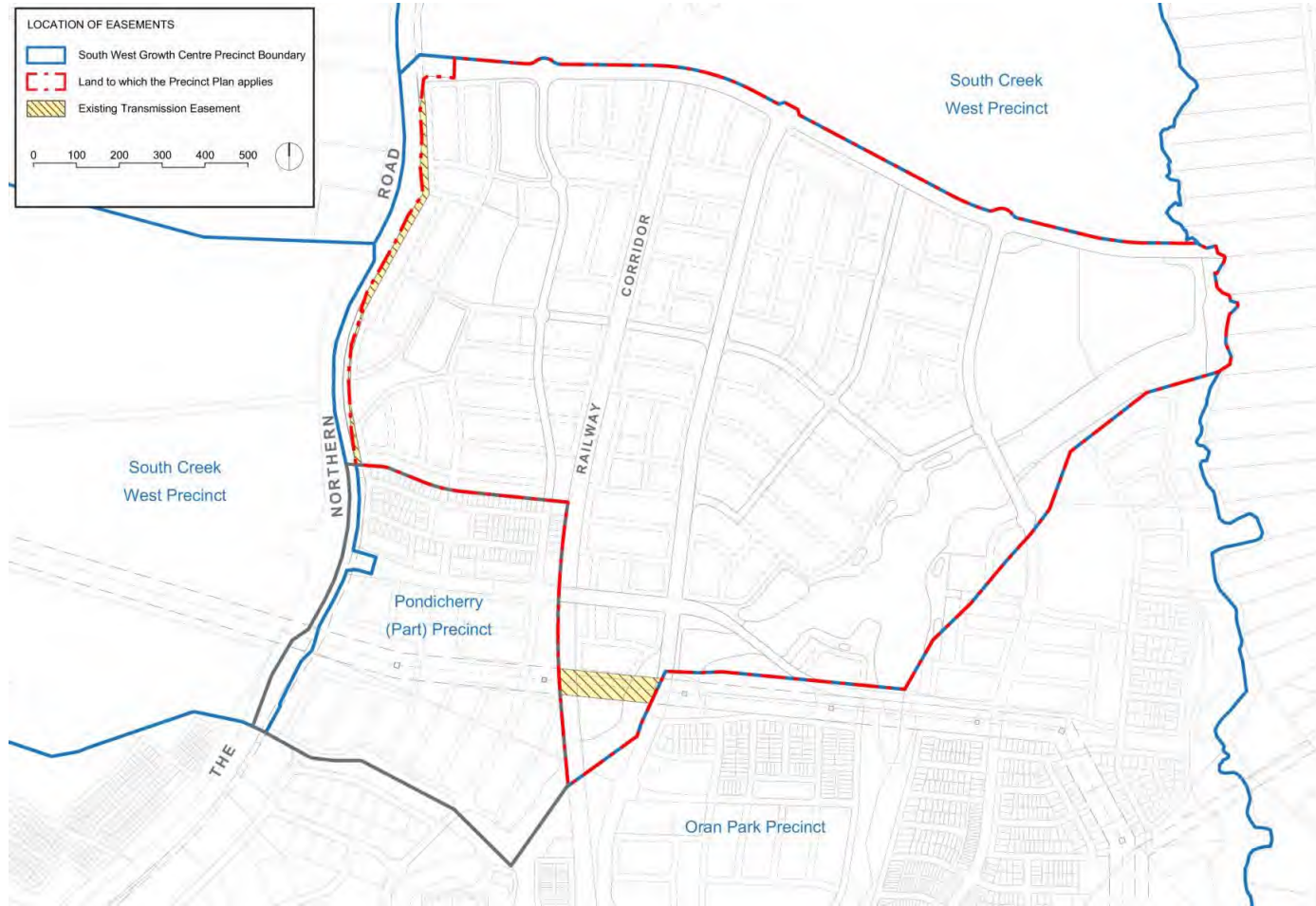
Figure 2-7: Potential Contamination Risk

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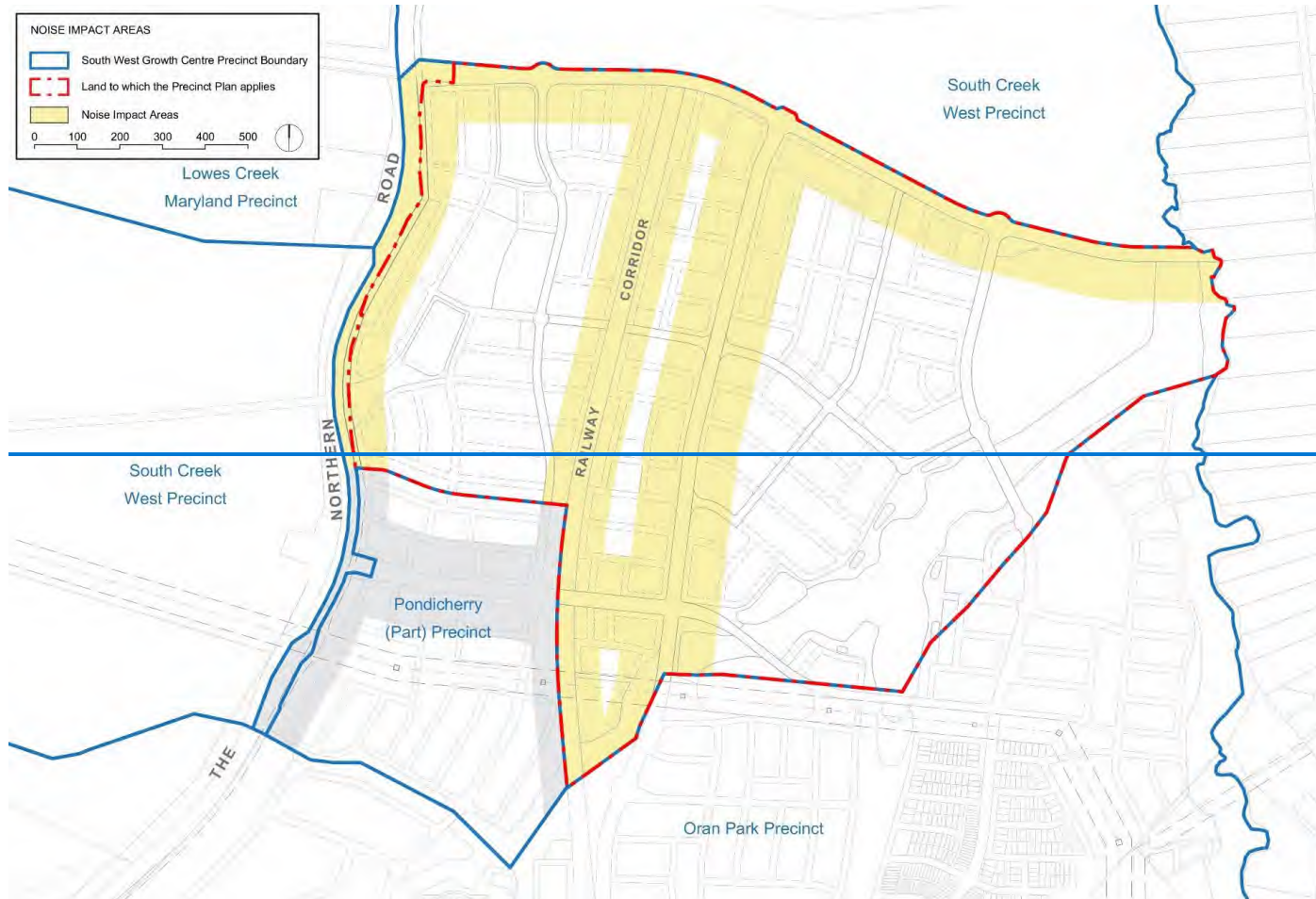


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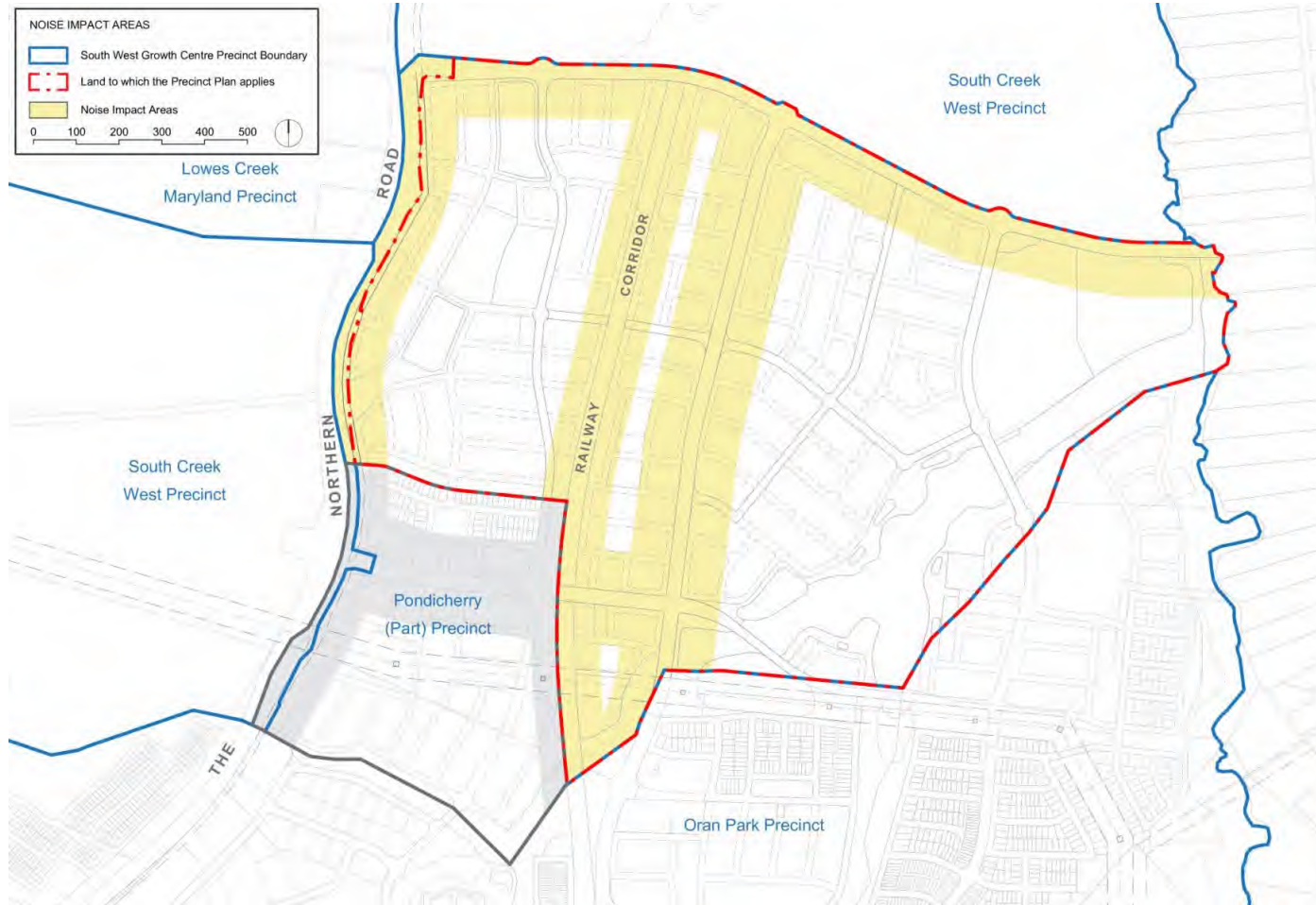
Figure 2-8: Location of Easements

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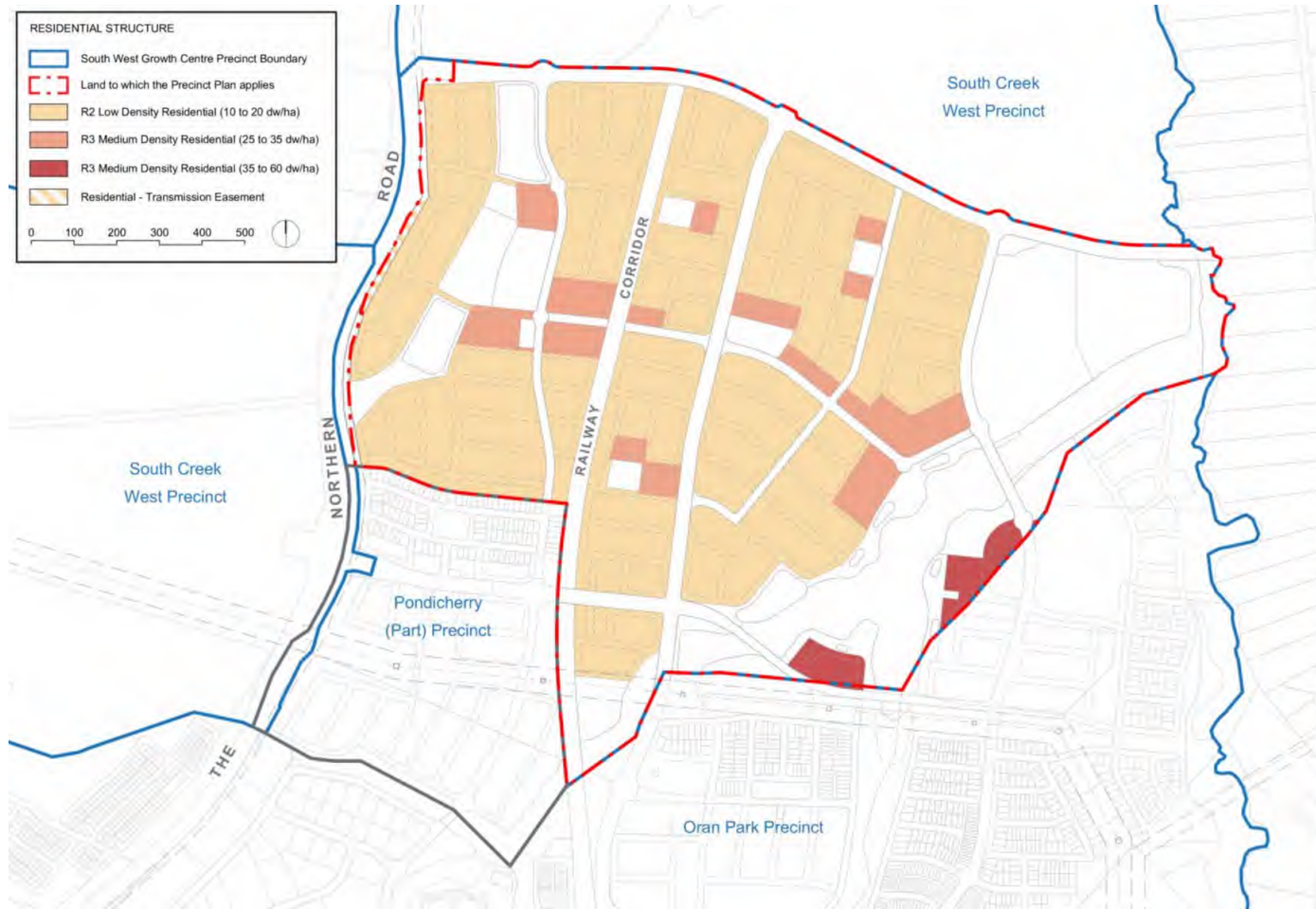


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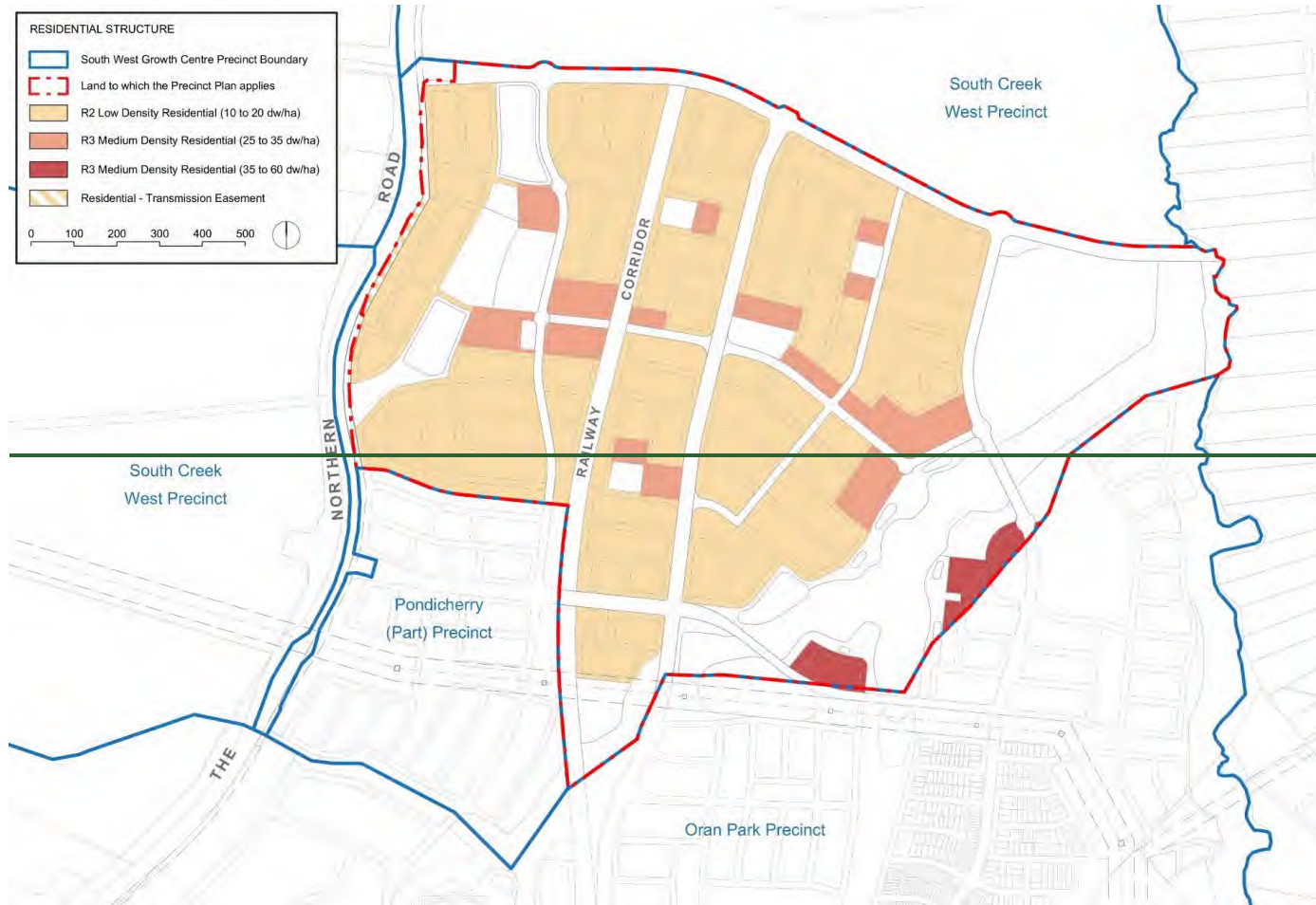
| **Figure 2-999:** Noise Impact Areas

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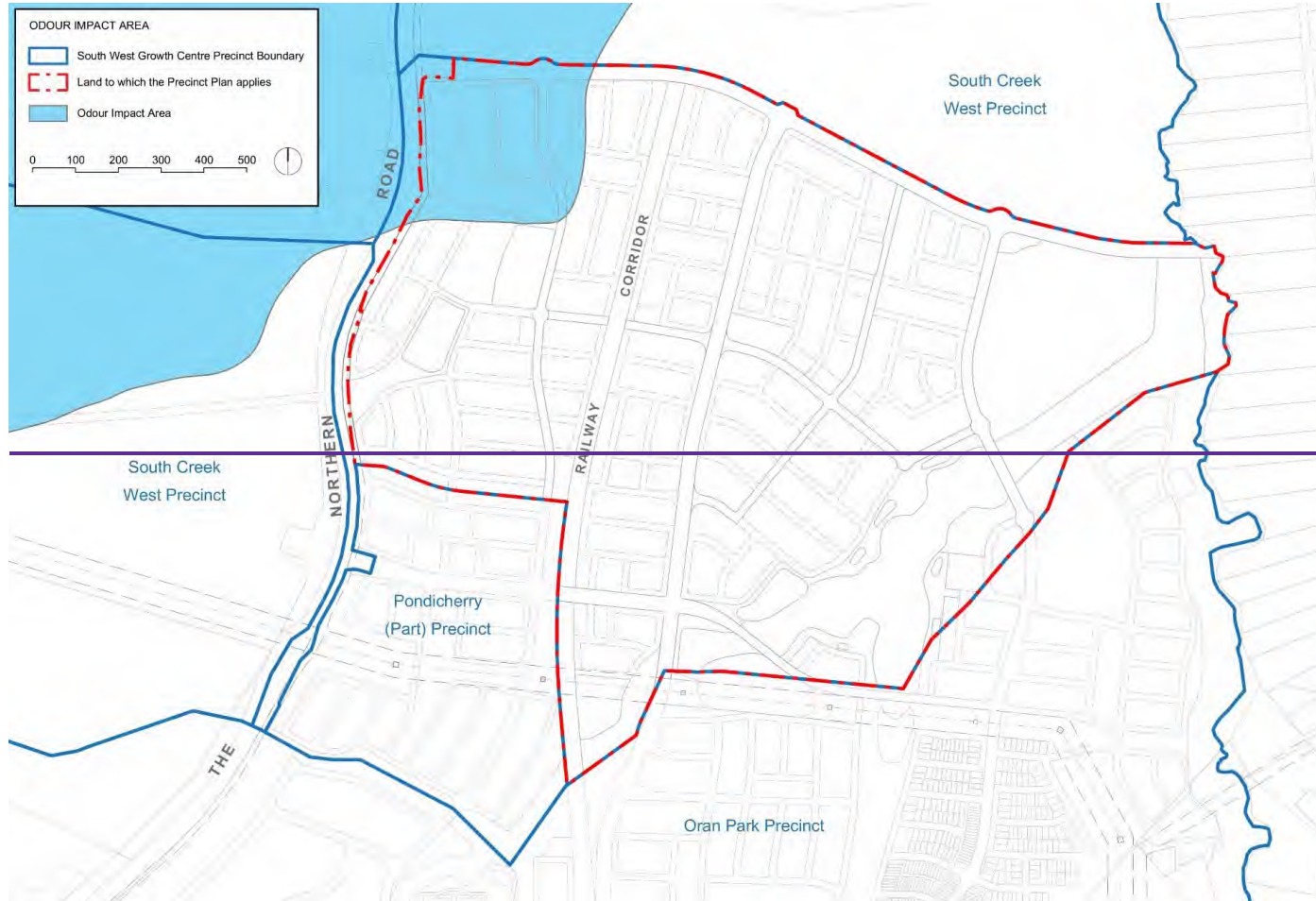
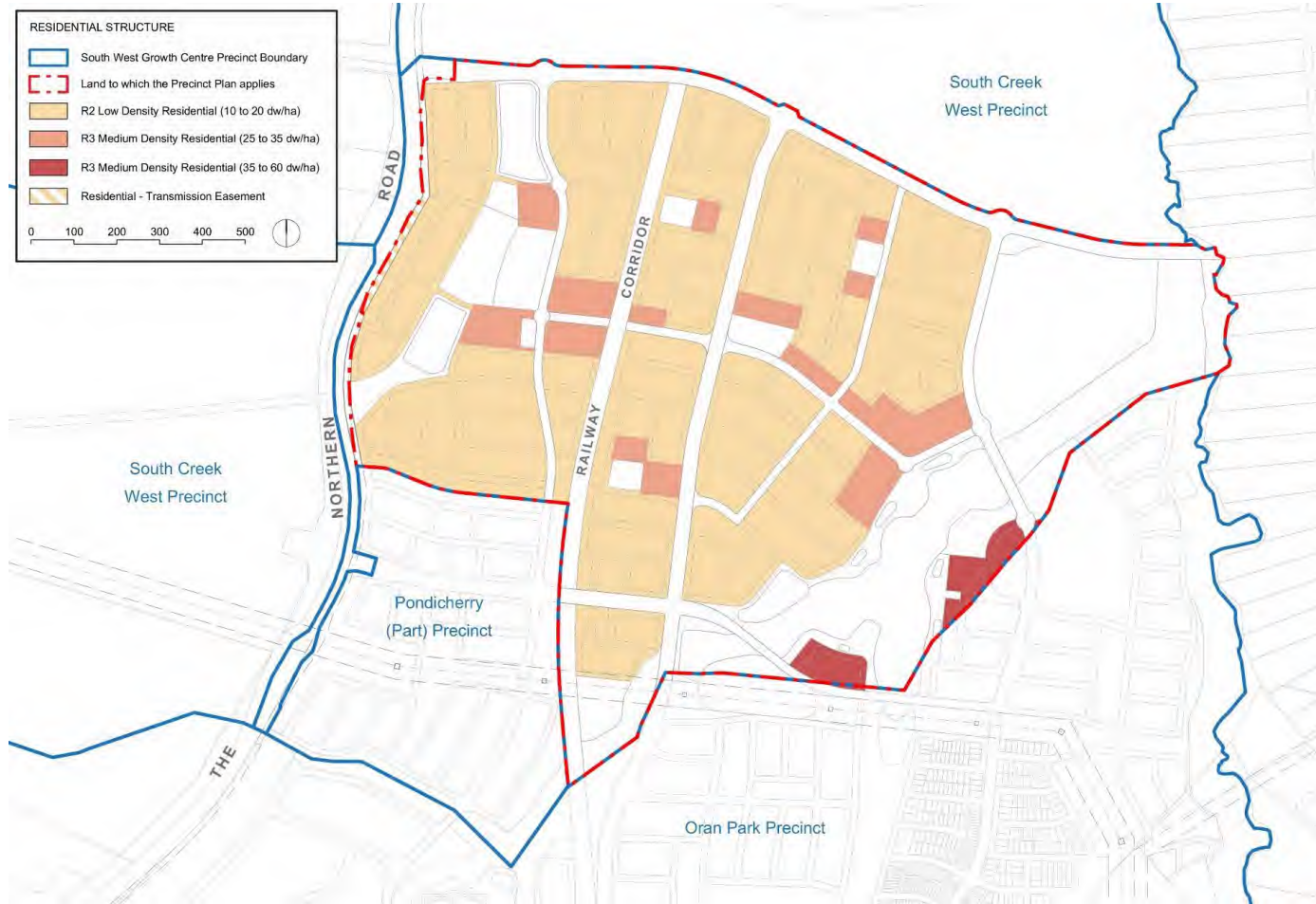


Figure 2-10: Odour Impact Area

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Figure 2-10: Residential Structure

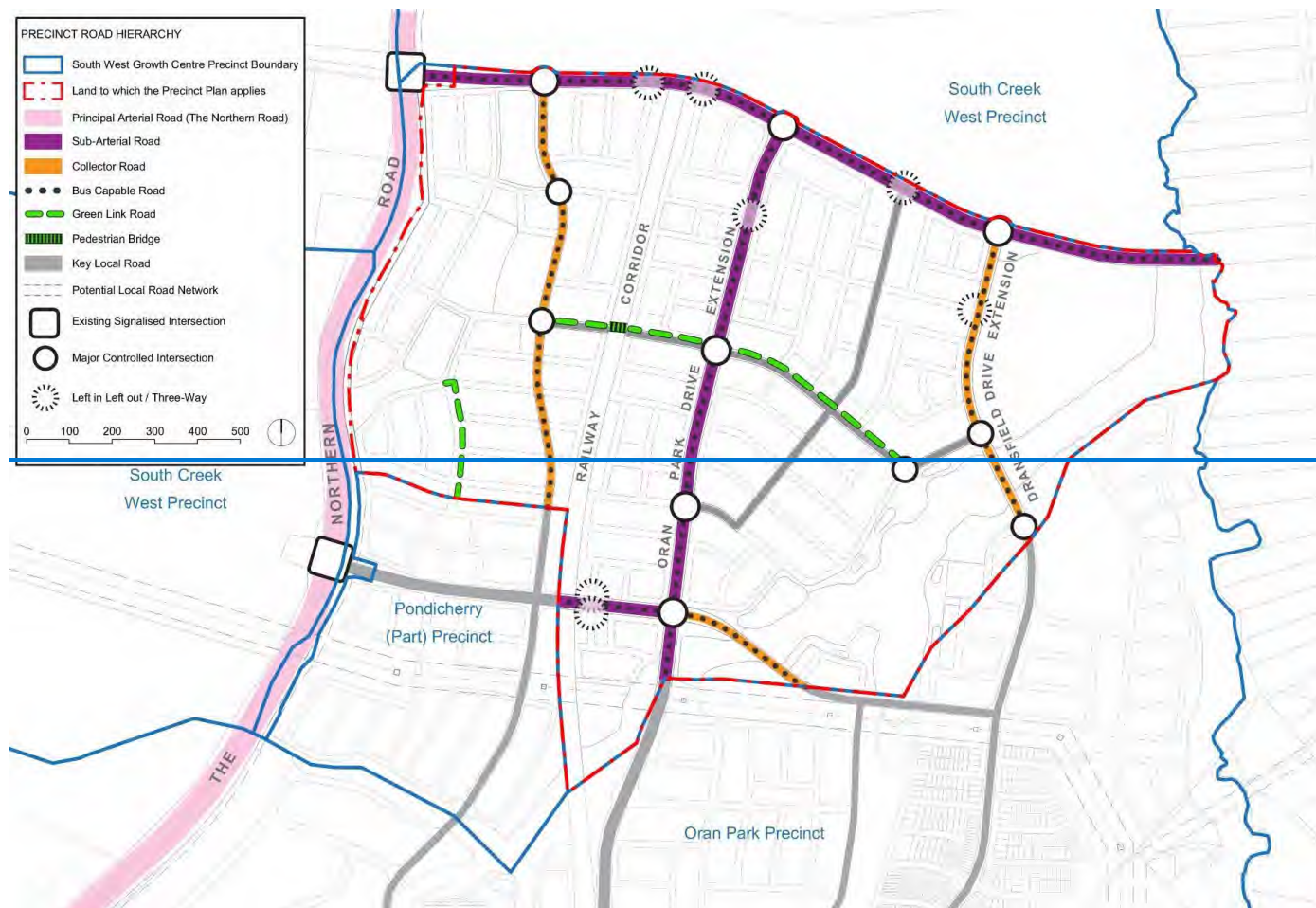


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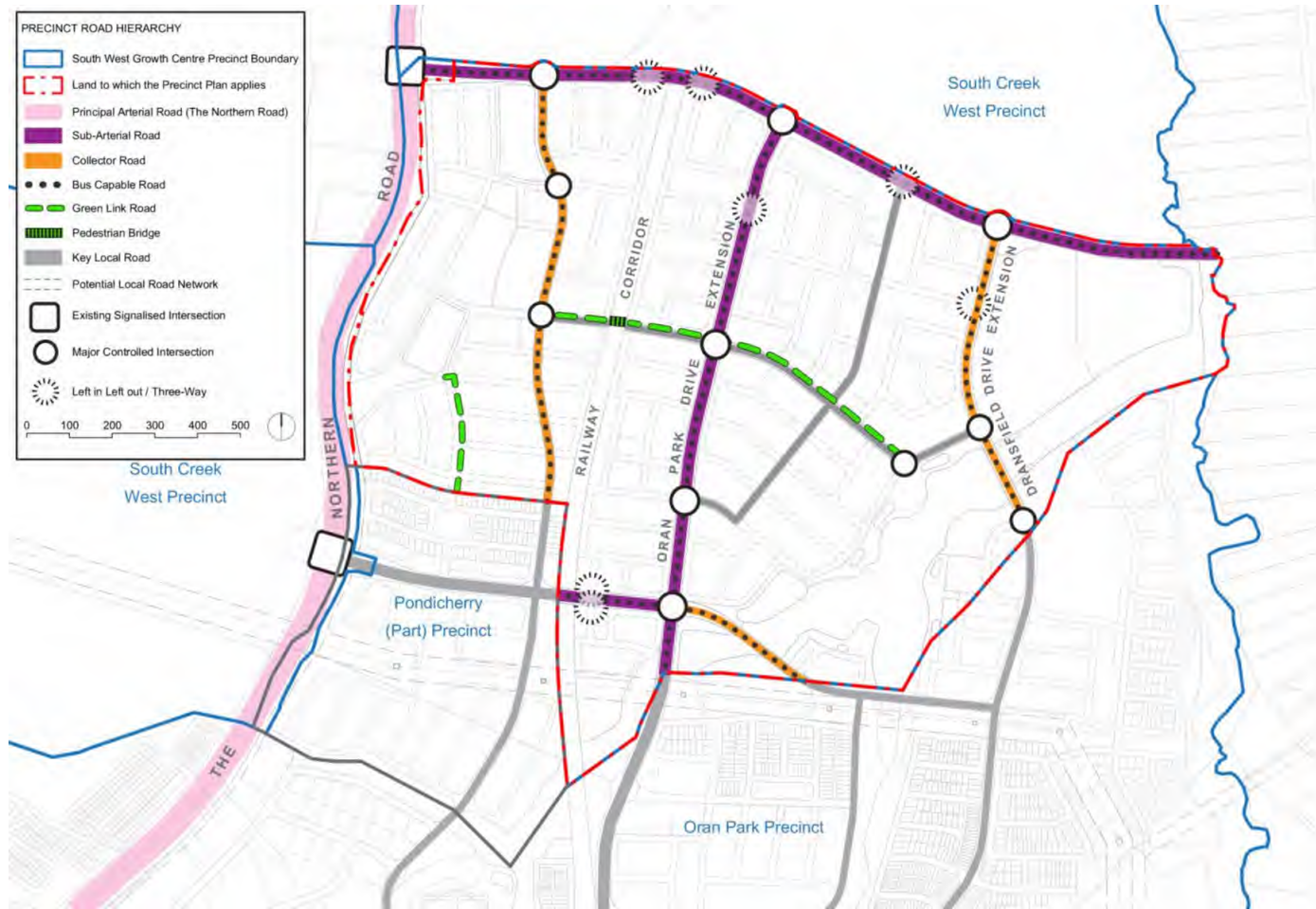
| [Figure 2-11: Residential Structure](#)

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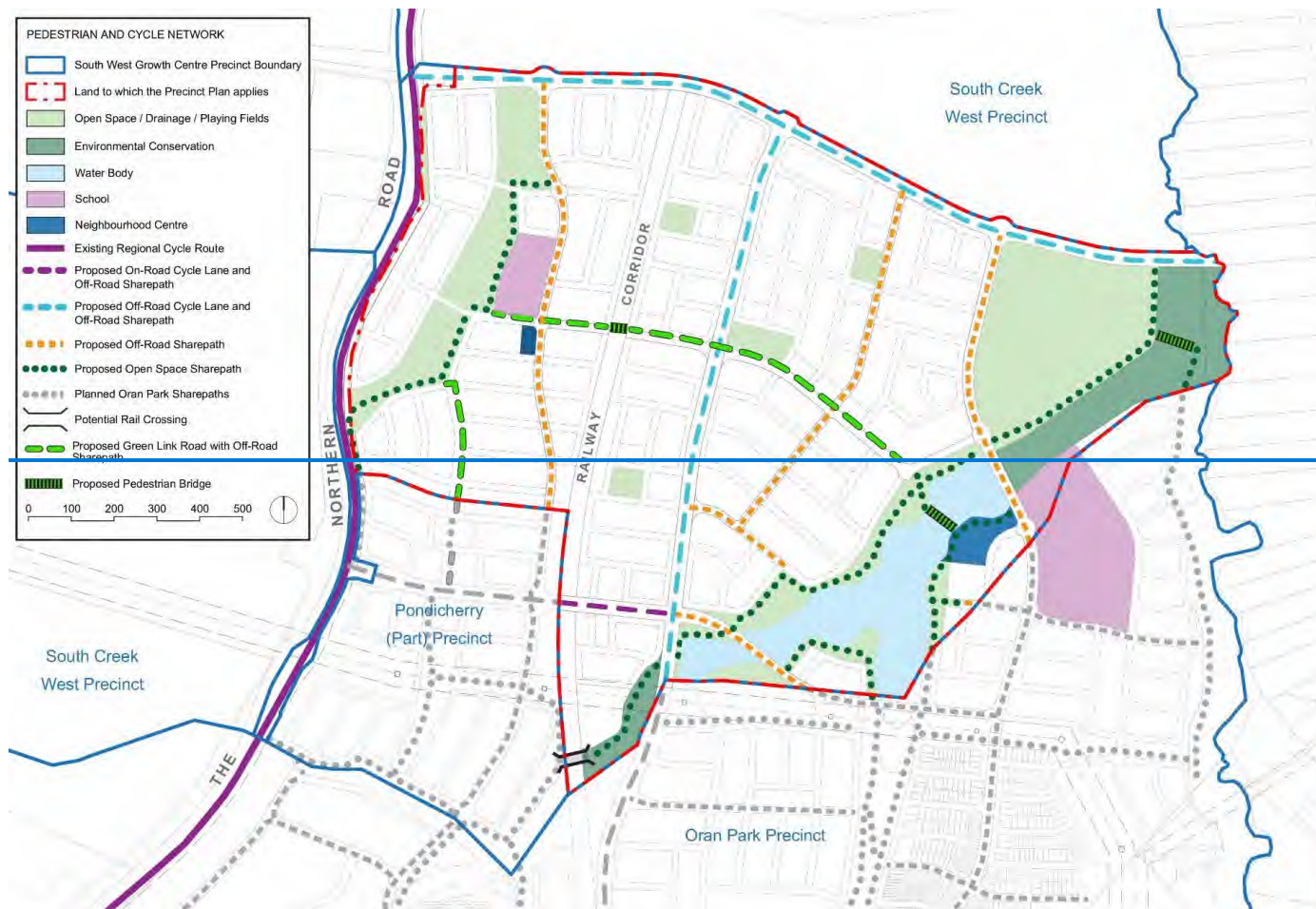


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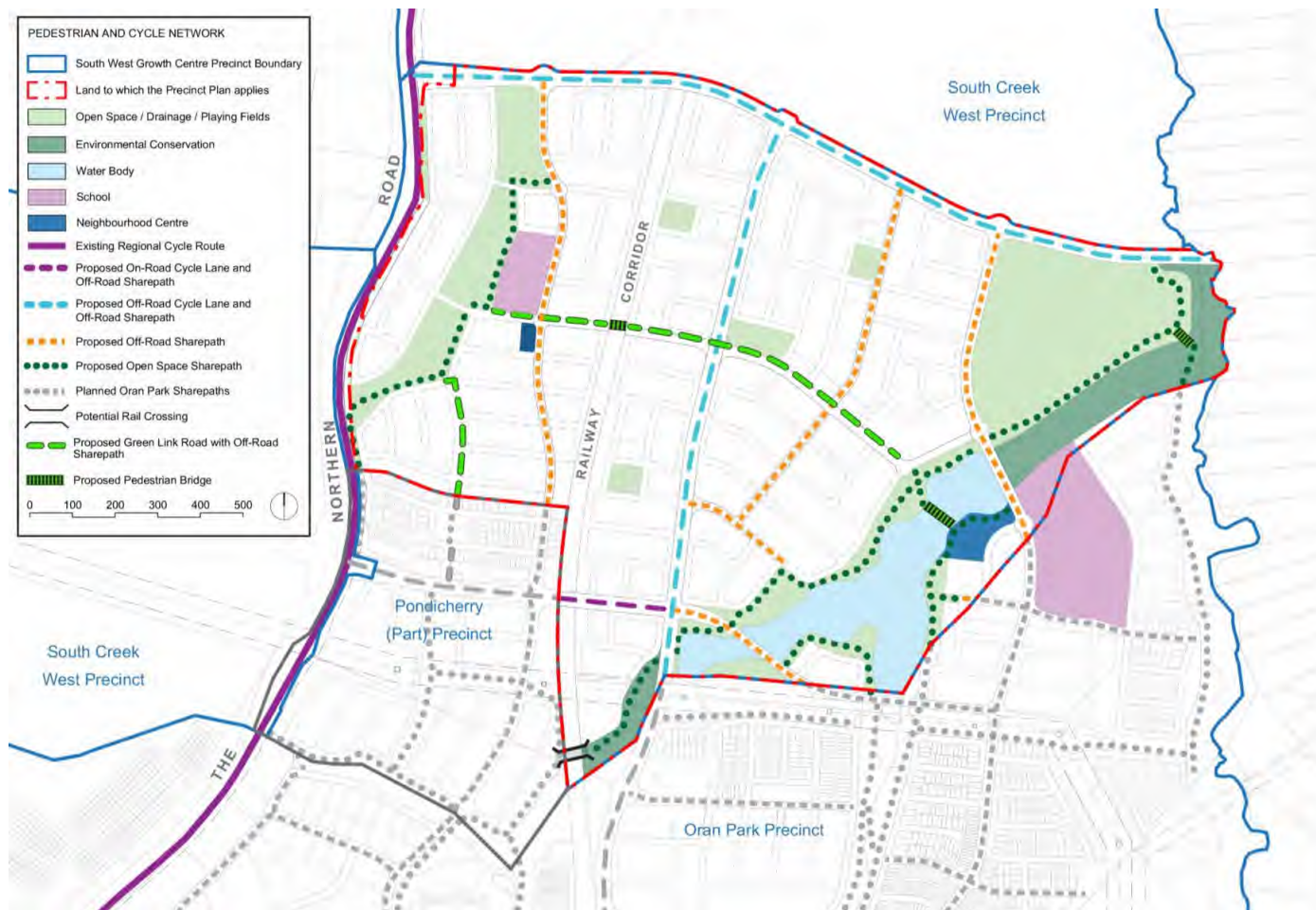
| **Figure 2-~~11442~~**: Precinct Road Hierarchy

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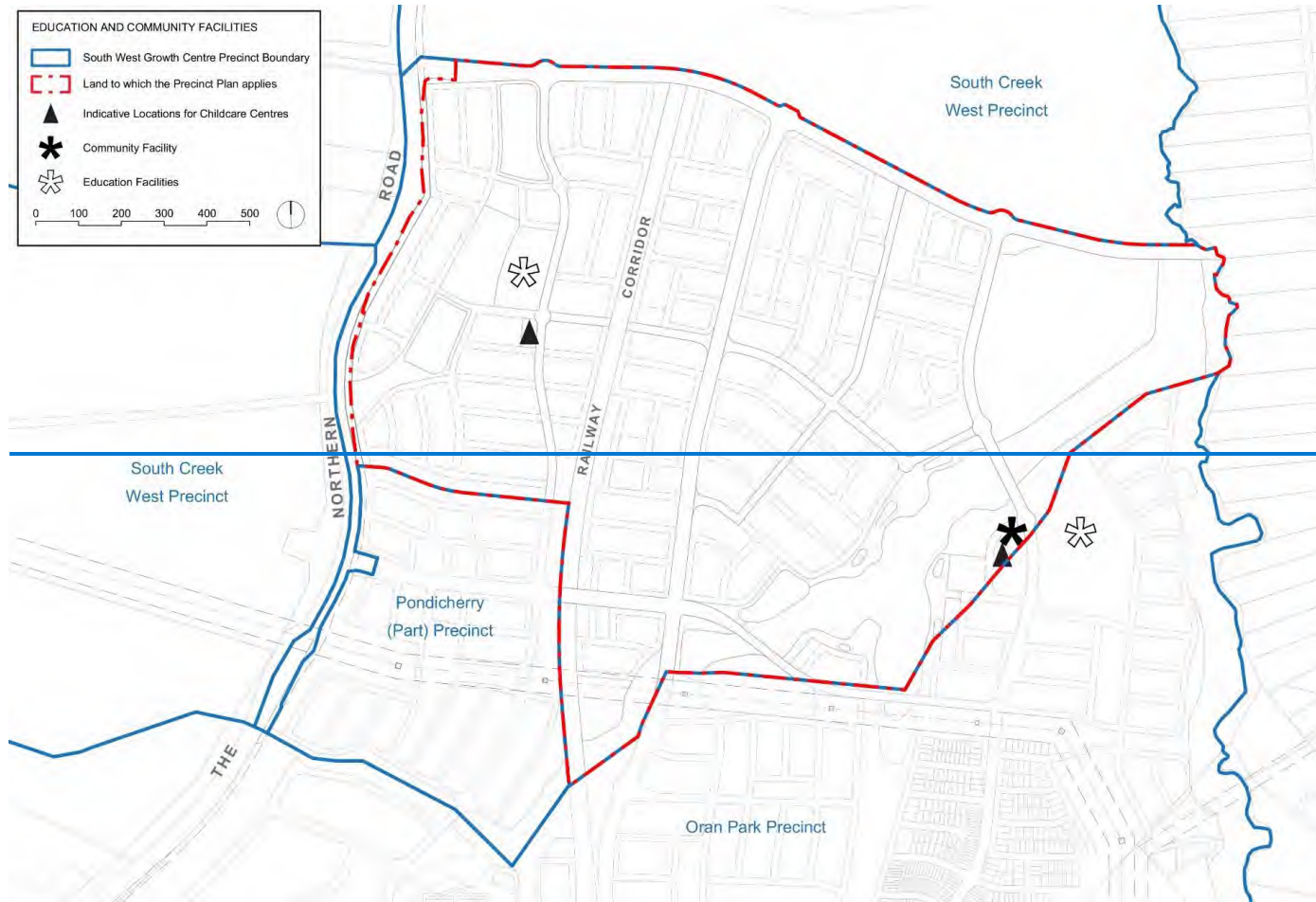


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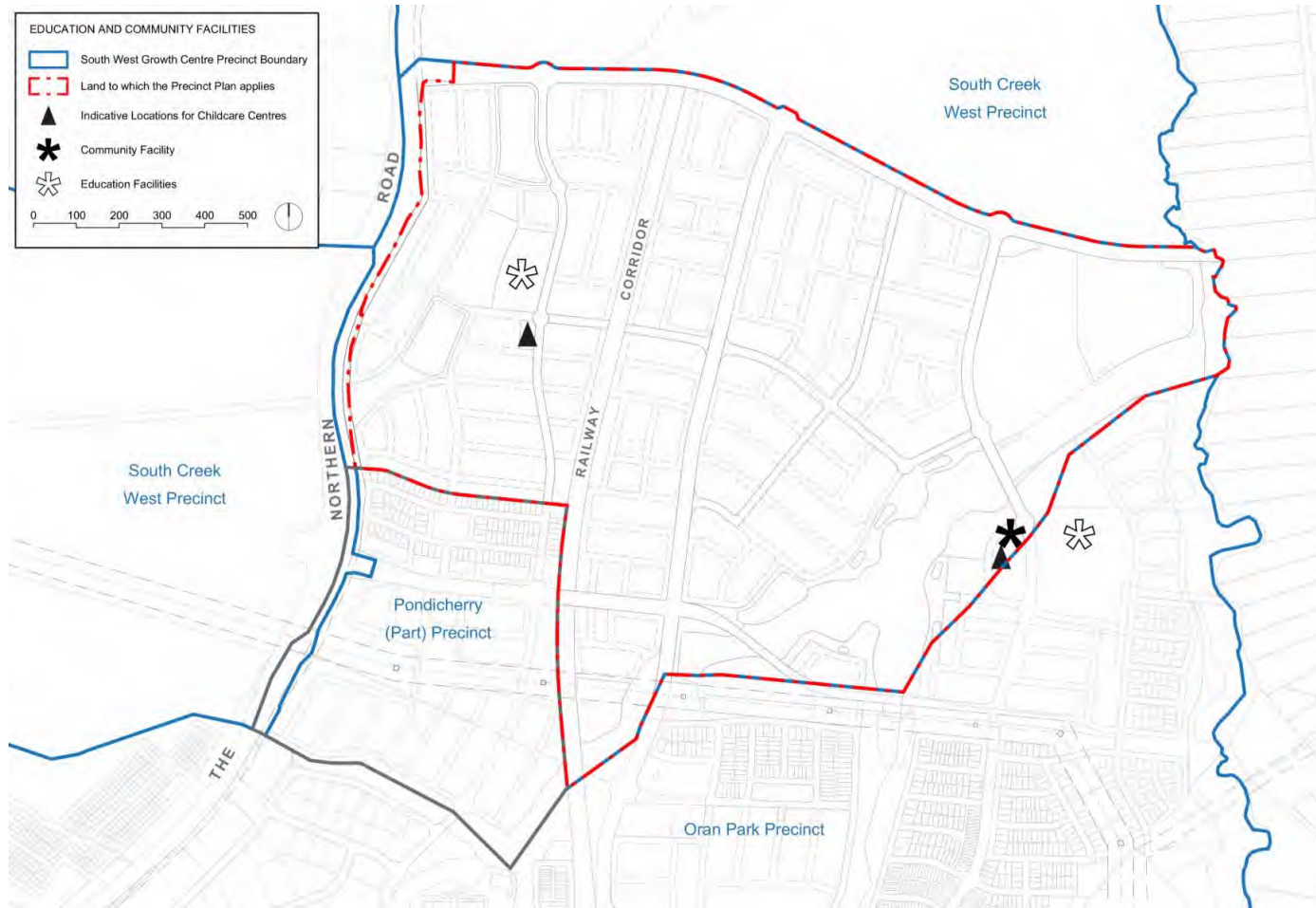
| **Figure 2-~~121213~~**: Pedestrian and Cycle Network

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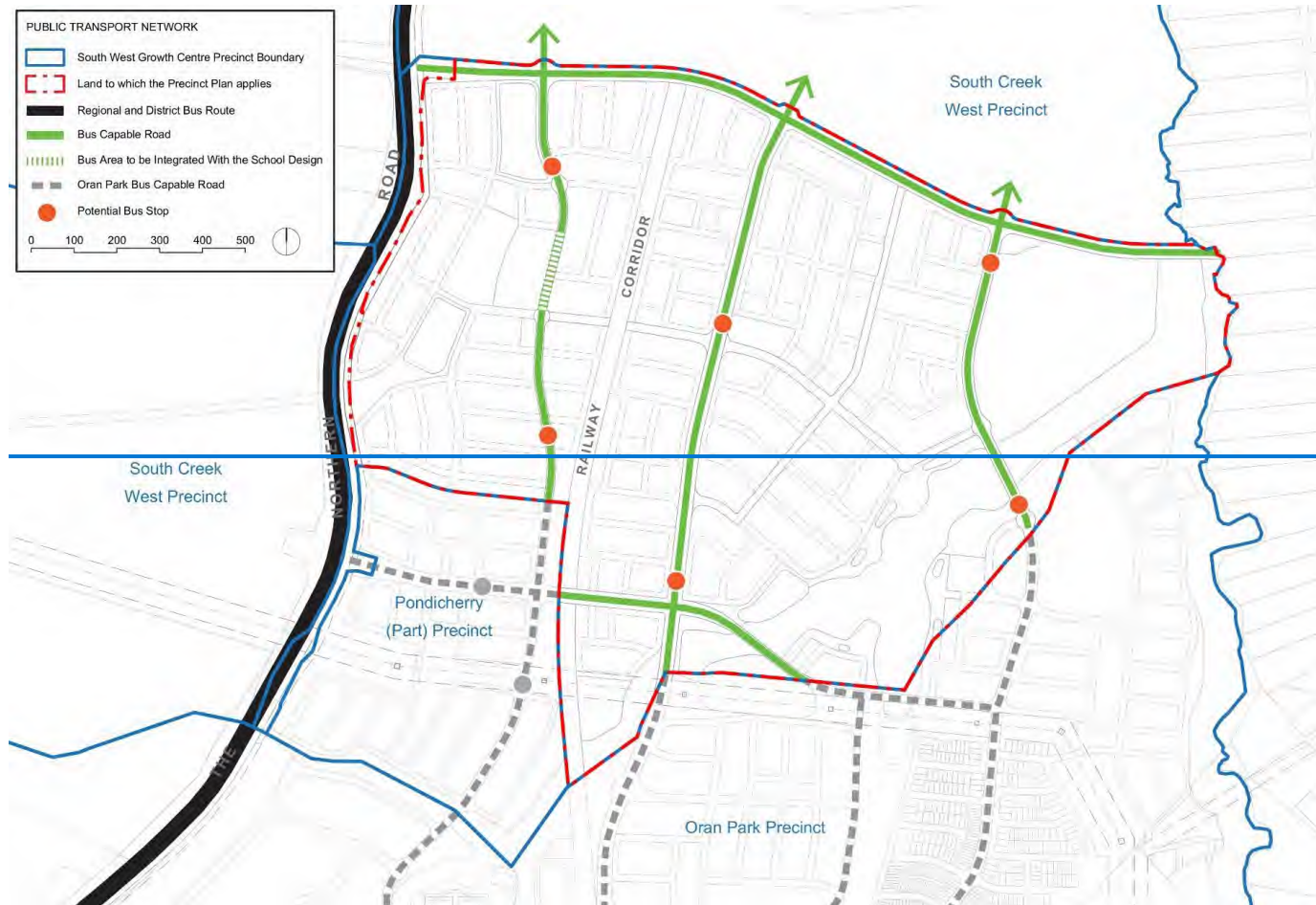


| [Schedule 88 - Pondicherry Precinct](#)

| **Figure 2-~~1313~~14:** Education and Community Facilities

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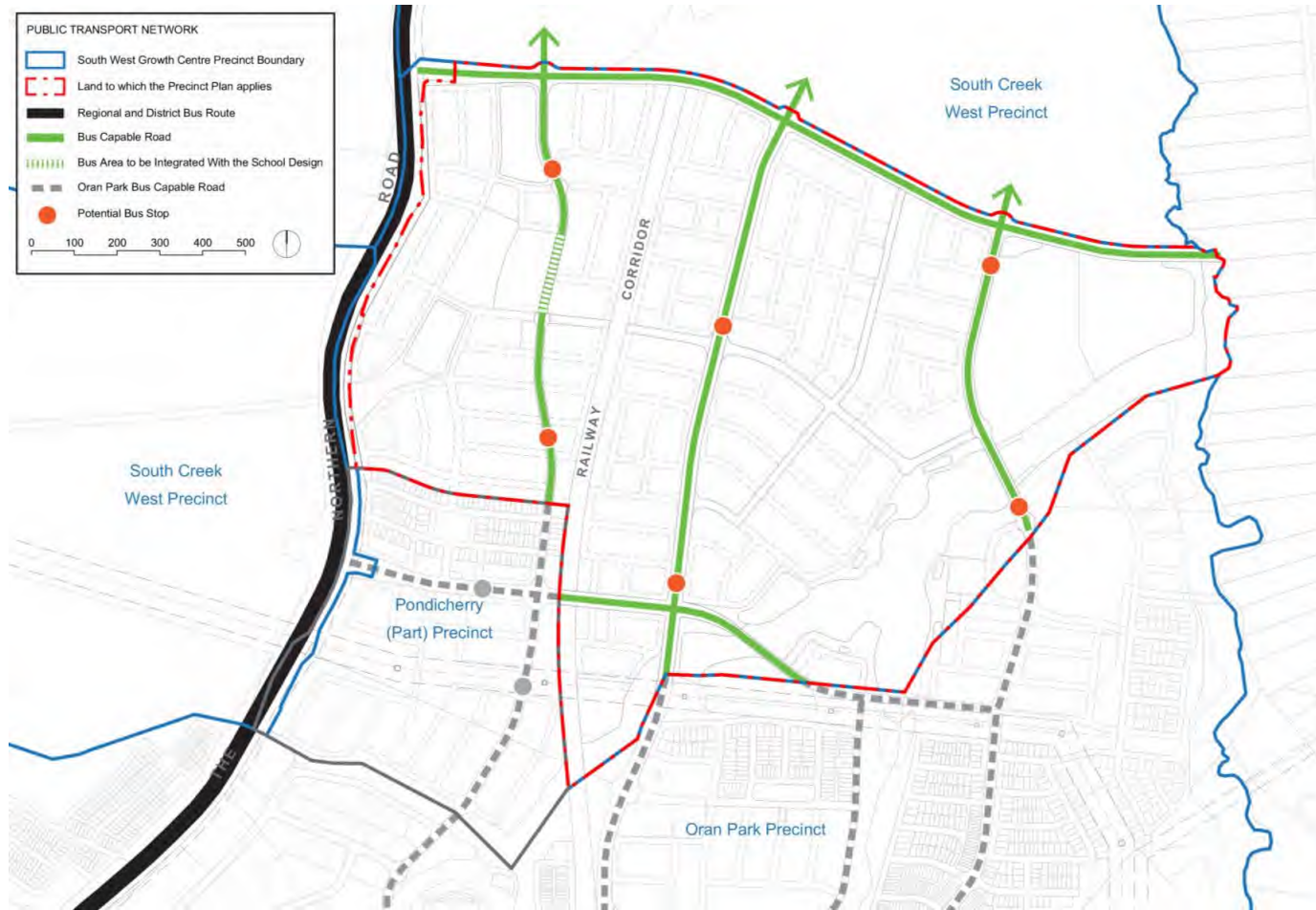


Figure 2-141415: Public Transport Network

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2.4 Subdivision Design

Note: The following control supports those contained in Part 7 of the DCP.

Objectives

- a. To encourage variety in dwelling size, type and design to promote housing choice and create attractive streetscapes with distinctive characters.
- b. To accommodate a mix of lot sizes and dwelling types across a precinct.
- c. To establish minimum lot dimensions for different residential dwelling types.

Controls

- (1) No more than 40% of the total residential lots proposed in a subdivision development application may be of the same lot type. For the purposes of this control, a lot type is primarily determined by lot frontage, but other variables that may be considered are access and configuration. Lot width categories are determined by a range of plus or minus 1.0m. For example, lots between 9.0m and 11.0m are classified as the one type of lot for the purposes of this control. Every DA for subdivision must be accompanied by a Lot Mix table showing the lot types, number and percentage of the overall total. Lots subdivided using Subdivision Approval Pathways B1 or B2 (Integrated Housing) for attached or abutting dwellings are exempt from this control.

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2.5 Road Network

Objectives

- a. To create a safe and permeable road network for vehicles and active forms of transport.
- b. To ensure streets contribute to the liveability of the urban area.
- c. To improve accessibility and walkability within streets and encourage active transportation within and around the Precinct.
- d. To increase street tree canopy cover through the provision of increased flex zones and wider verges.
- e. To ensure “Green Link” streets promote green infrastructure within residential neighbourhoods and increase connectivity to major points of interest within the Precinct.

Controls

- (1) The design and construction of streets are to be consistent with the relevant designs in **Figures 2-165 to 2-276**.
- (2) Alternative street designs may be permitted on a case by case basis if they preserve the functional objectives and requirements of the design standards and meet the minimum road cross sections contained in the main body of the DCP.
- (3) The corresponding street types are to be located as identified in **Figure 2-121** Precinct Road Hierarchy.
- (4) Driveway crossovers of the Green Link Roads (**Figure 2-121**) are to be minimised along the green link verge.
- (5) Flex zones provide increased area of verge as shown in **Figure 2-287** Typical Flex Zone Design and are to be incorporated at intersections and regular intervals within the street where it is determined they are needed to perform the following functions:
 - I. Reduce crossing distances for pedestrians;
 - II. Define kerb side parking and travel lanes;
 - III. Assist with traffic calming; and
 - IV. Provide increased opportunity for tree planting and canopy cover to support the Greater Sydney Region Plan target of achieving 40% tree canopy cover across Greater Sydney.
- (6) Street trees are to be of a species that maximise height and canopy cover, with larger and/or additional trees provided within the flex zones.
- (7) Paths are to be provided on both sides of all streets.
- (8) Sharepaths and cycle lanes are to be provided as directed by **Figure 2-132**.
- (9) Street tree plantings must be in accordance with the Pondicherry Street Tree Masterplan (September 2021) – JMD design.

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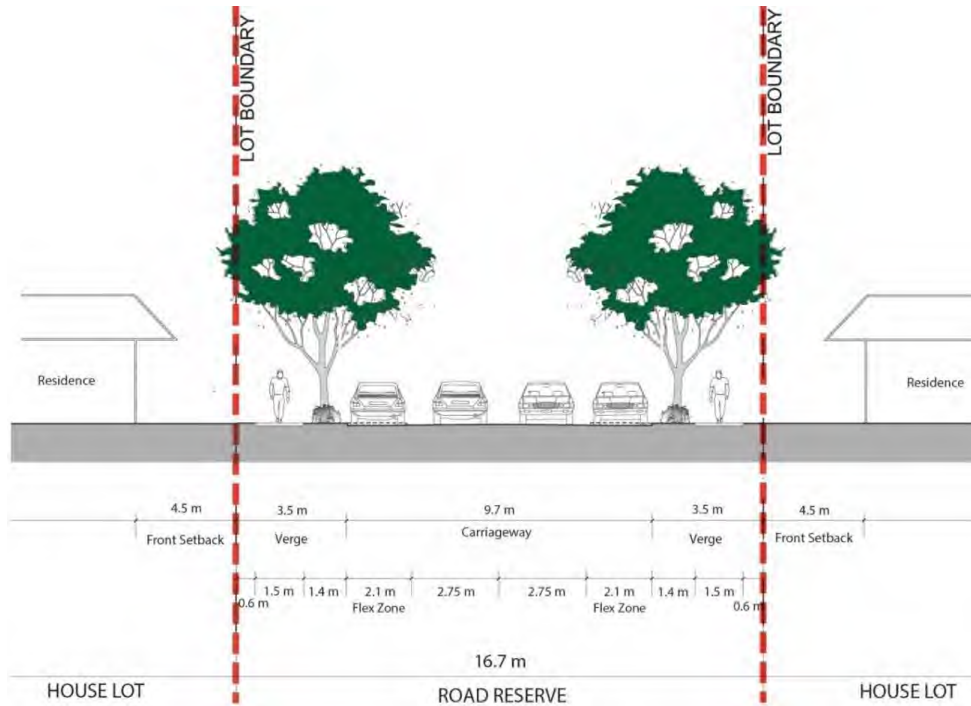


Figure 2-154546: Local Street Cross Section (Typical)

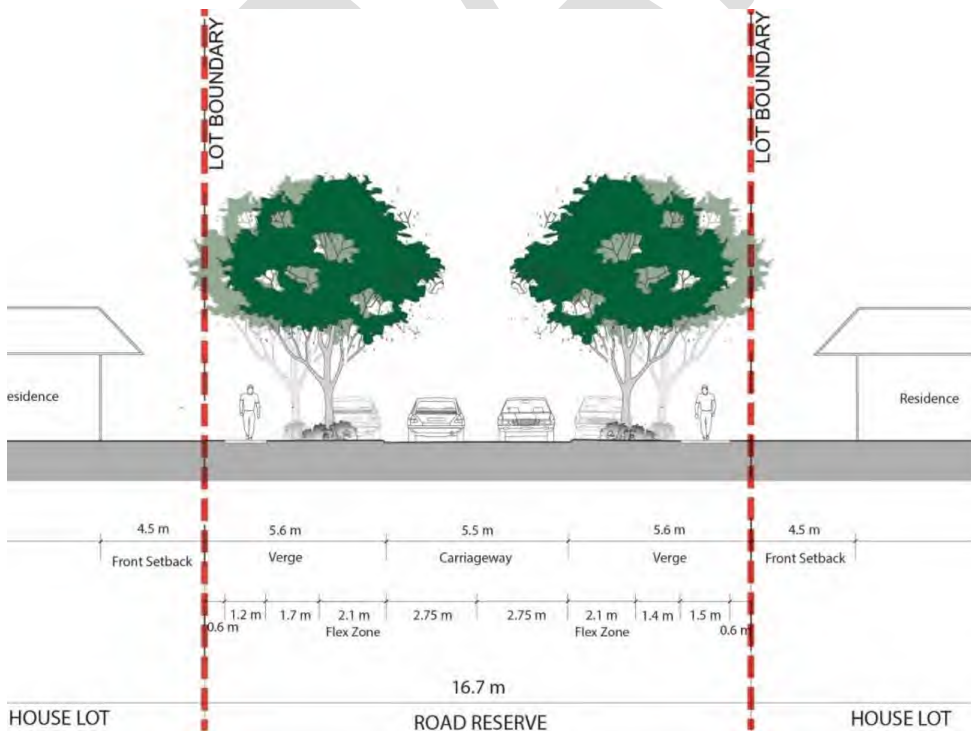


Figure 2-161617: Local Street Cross Section (Flex Zone)

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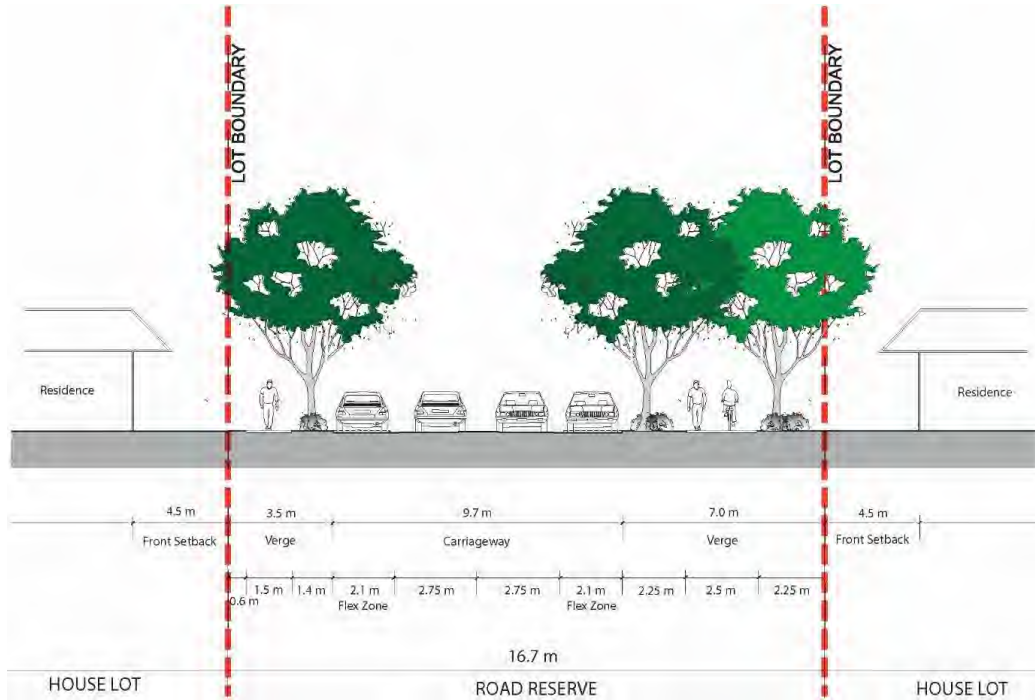


Figure 2-171748: Green Link Road Cross Section (Typical)

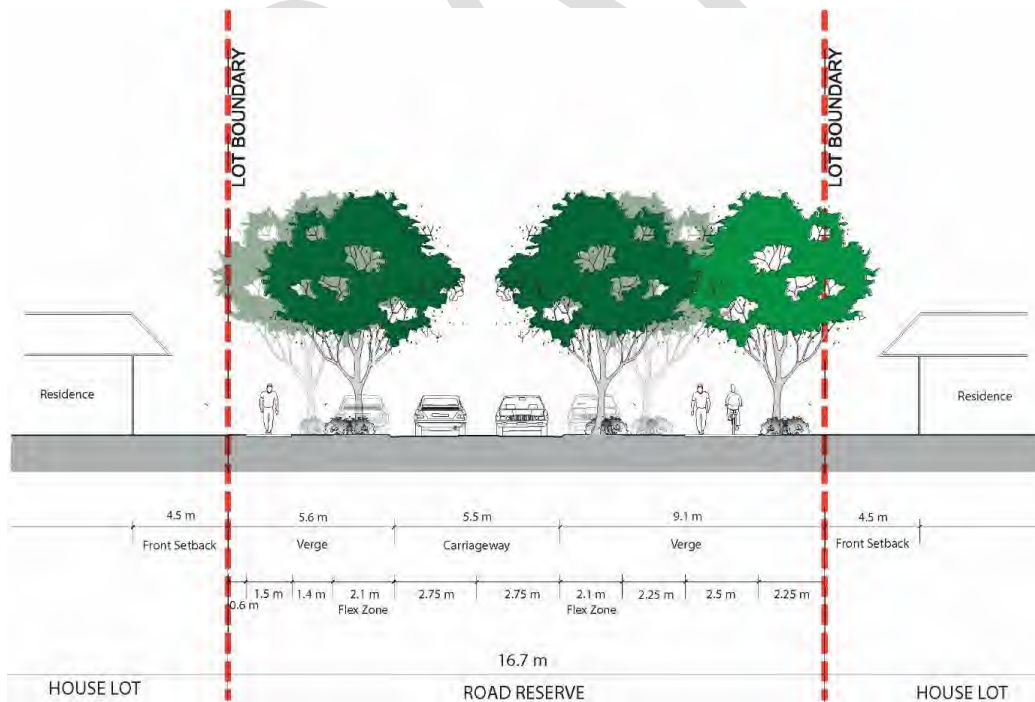


Figure 2-181849: Green Link Road Cross Section (Flex Zone)

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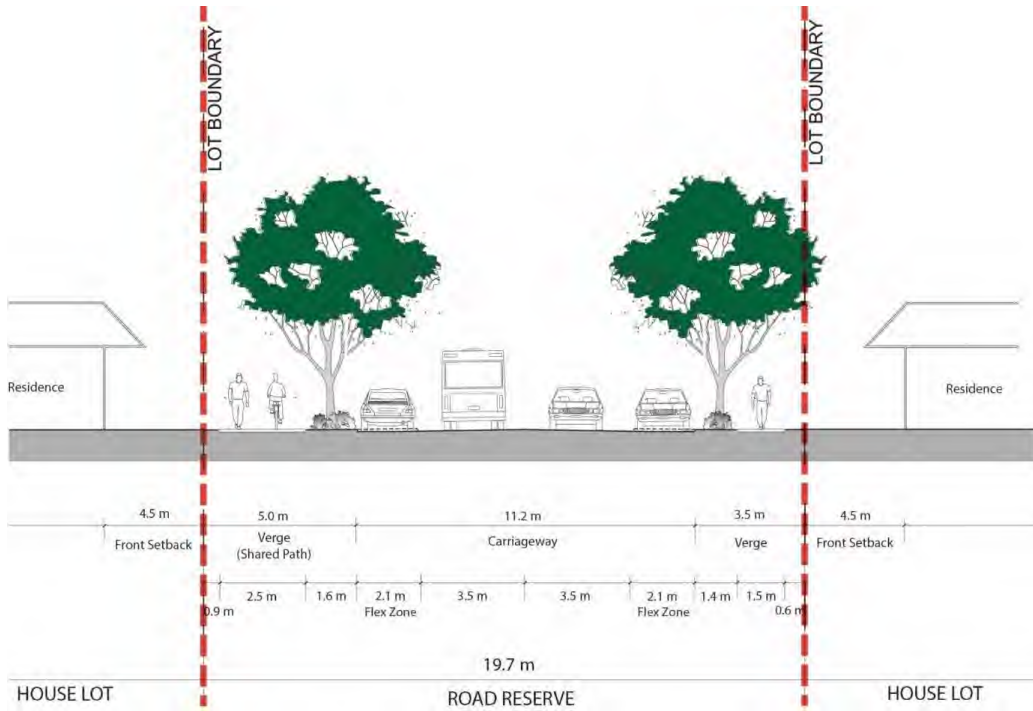


Figure 2-191920: Collector Road Cross Section (Typical)

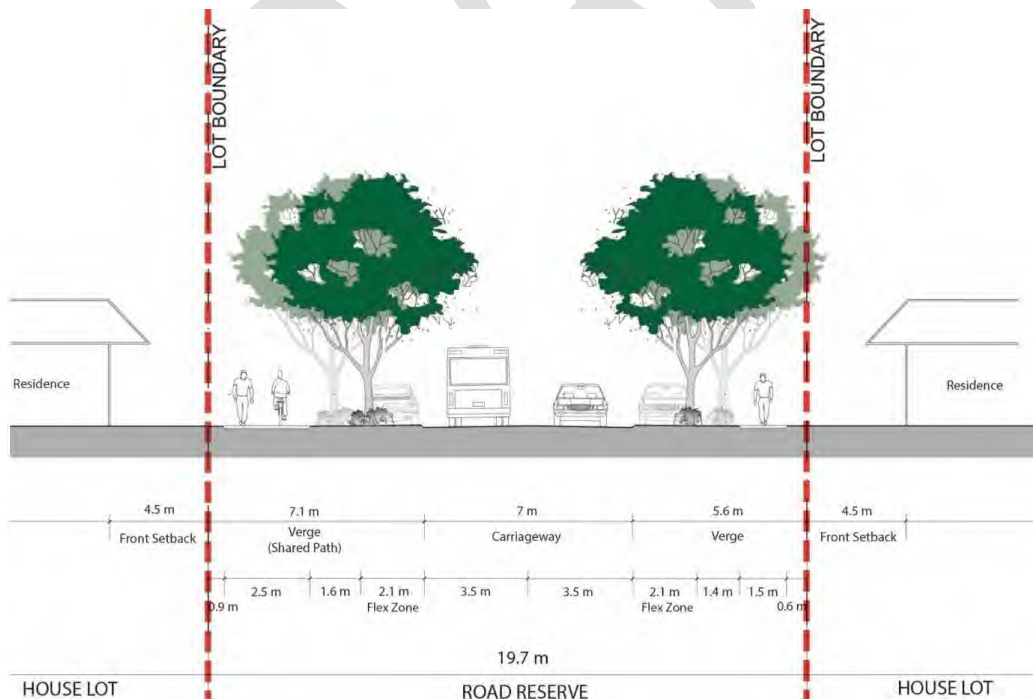


Figure 2-202024: Collector Road Cross Section (Flex Zone)

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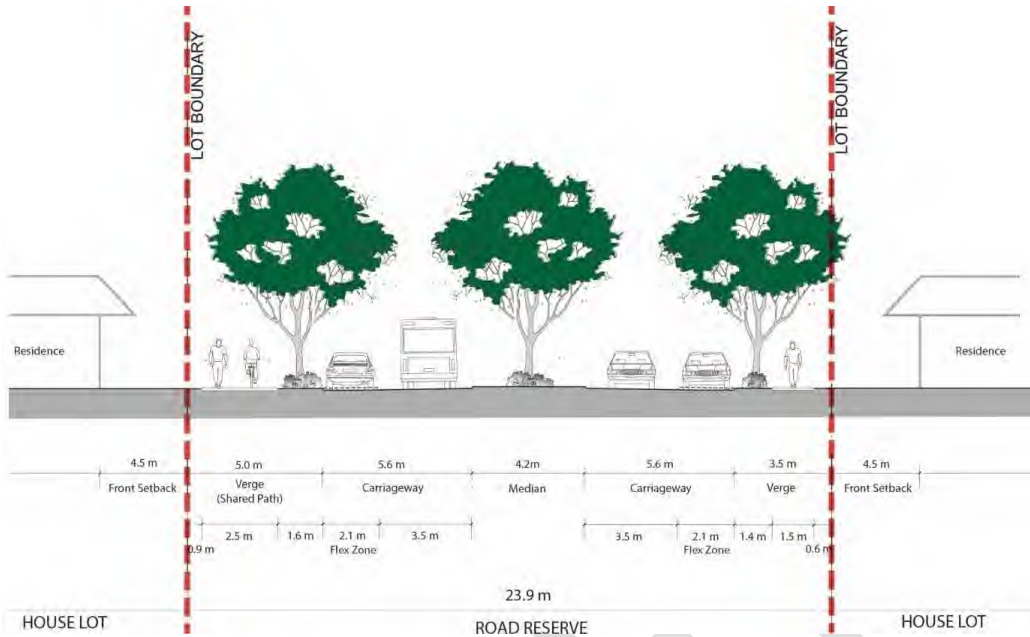


Figure 2-212122: Collector Road Cross Section – Median (Typical)

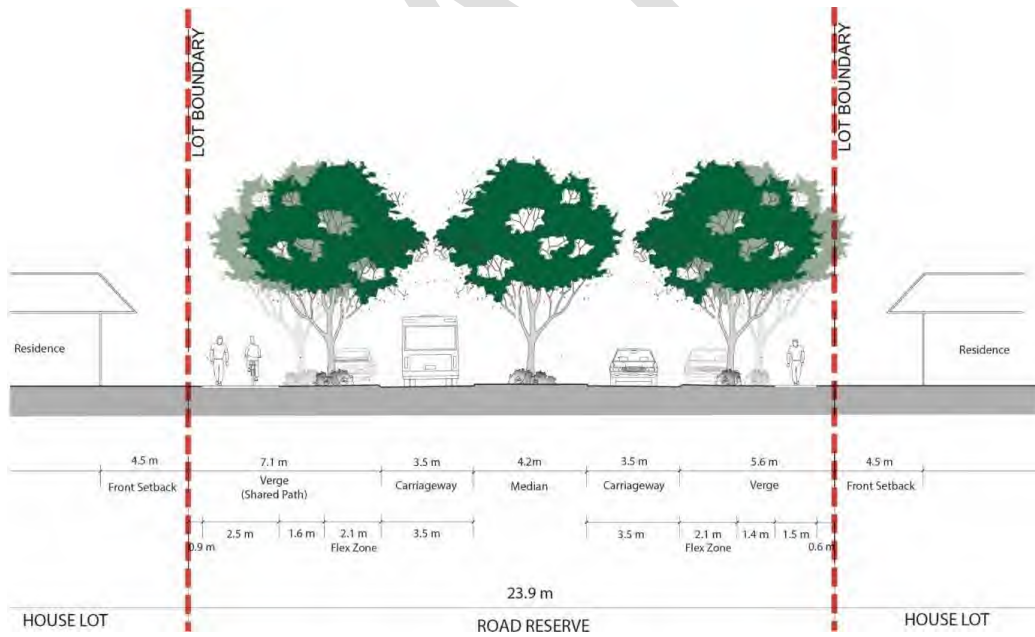


Figure 2-222223: Collector Road Cross Section – Median (Flex Zone)

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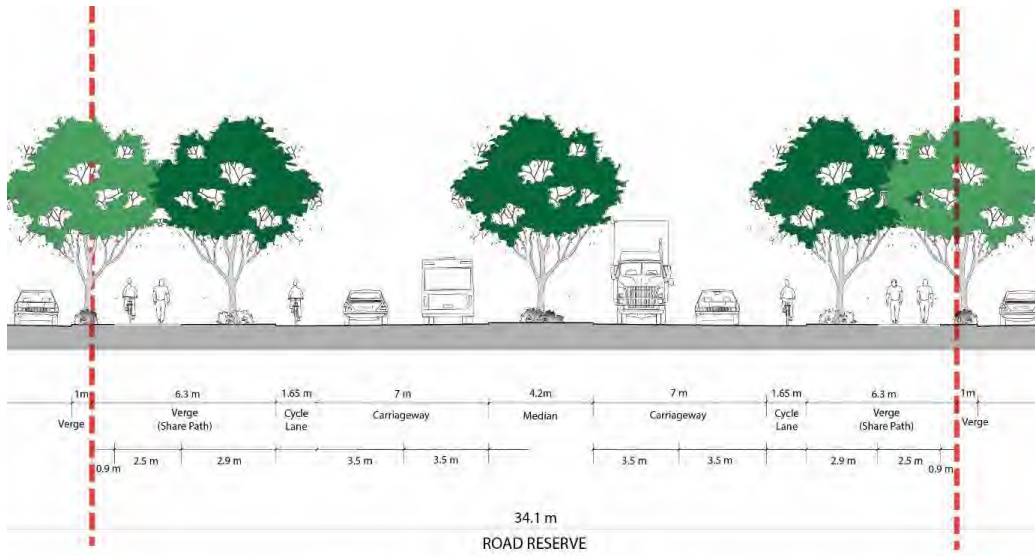


Figure 2-232324: Sub-Arterial Road Cross Section (On-Road Cycle Lane)



Figure 2-242425: Sub-Arterial Road Cross Section (Off-Road Cycle Lane)

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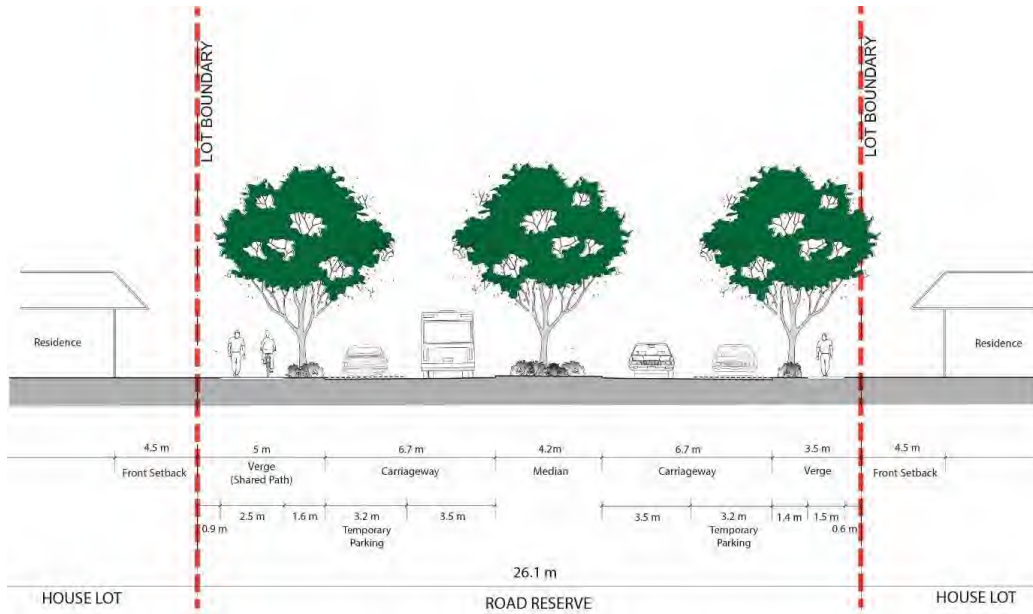


Figure 2-252526: Dransfield Drive Extension Collector Road (Short Term)

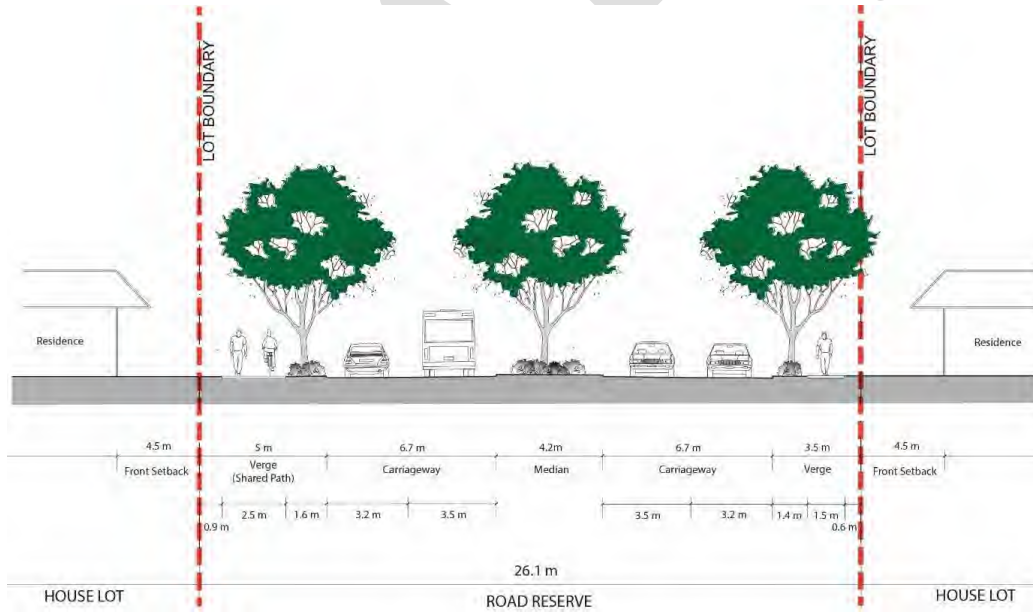


Figure 2-262627: Dransfield Drive Extension Collector Road (Long Term)

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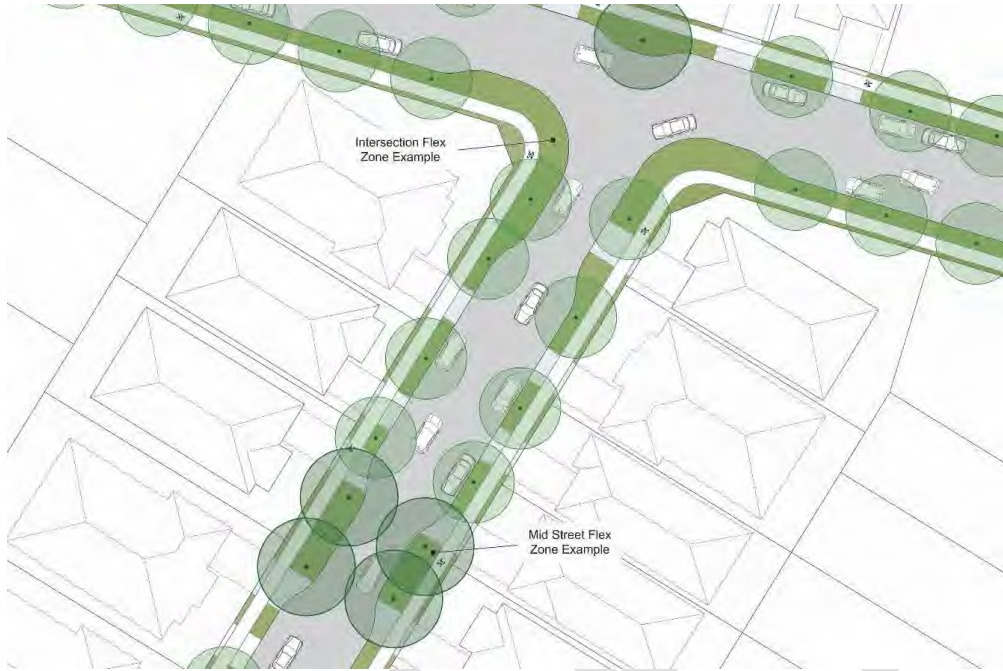


Figure 2-272728: Typical Flex Zone Design

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2.6 Public Transport, Pedestrian and Cycle Networks

Objectives

- a. Provide accessible public transport options within the Pondicherry Precinct.
- b. Encourage the use of public transport through the provision of integrated bus, pedestrian and cycle routes within the Precinct.
- c. Encourage the use of active transport through the provision of pedestrian and cycle routes that provide links between key activities, community facilities, open space areas and local centres within and surrounding the Precinct.

Controls

1. Bus Capable Roads within the Precinct are to be generally in accordance with **Figure 2-121** and **2-154**.
2. Bus stops are to be provided on-street and not within indented bays. Indicative locations for bus shelters are included on **Figure 2-154**, with final locations to be coordinated with the relevant bus service provider prior to construction.
3. Key pedestrian and cycle routes, including crossing are to be generally provided in accordance with **Figure 2-132**.
4. The design of footpaths, sharepaths and cycle lanes must be consistent with road sections provided in Section 2.4 Road Network.

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2.7 Open Space and Recreation Network

Objectives

- a. Promote a healthy, liveable community that is characterised by an equitable distribution of public open space and recreational opportunities across the Precinct.
- b. To provide open space to local residents for social interaction and passive recreation activities.
- c. To establish a sense of place and orientation within the neighbourhood by locating open space to take advantage of significant or prominent landscape features, such as views, high points and areas of natural and cultural heritage significance.
- d. To provide equitable distribution of public open space and recreation opportunities.
- e. To ensure high quality design and embellishment of all public open space.
- f. To encourage the use of the major creek corridors for passive recreation purposes consistent with environmental objectives.

Controls

1. The open space and recreation network of the Precinct is to be delivered generally in accordance with **Figure 2-298** and **Table 2-2**.
2. Neighbourhood parks are to generally have a minimum area of 3,000m². The following principles are to be taken into consideration in the location of neighbourhood parks:
 - i. where possible, parks are to be located in accordance with the Indicative Layout Plan (refer to **Figure 2-1**);
 - ii. parks are to be located as focal points within residential neighbourhoods. All dwellings should be located no further than 800m from a neighbourhood park;
 - iii. where possible parks shall be co-located with community and education facilities, be highly accessible and linked by pedestrian and/or cycle routes;
 - iv. parks shall be located and designed to accommodate remnant vegetation and areas of cultural heritage significance where appropriate and should be linked to and integrated with riparian corridors;
 - v. parks shall be generally bordered by streets on all sides with houses oriented towards them for surveillance; and
 - vi. the open space surrounding the lake is to include predominantly areas for passive enjoyment of the lake, with targeted locations of active play spaces for use across a range of age profiles.
3. Where riparian corridors are proposed to be in public ownership, they are to provide opportunities for pedestrian paths and cycleways, fitness trails and additional open space in a manner that maintains the environmental significance of these areas.
4. A Public Domain and Landscape Plan is to be submitted for each neighbourhood park and other passive open space areas in accordance with the timing indicated in a Voluntary Planning Agreement or at the time of subdivision of the adjoining residential area. The selection of landscape species for public open space areas is to consider bush fire risk. The Plan is to provide details on these elements:
 - i. earthworks;
 - ii. public furniture and fixtures;
 - iii. Seating areas and shade structures;

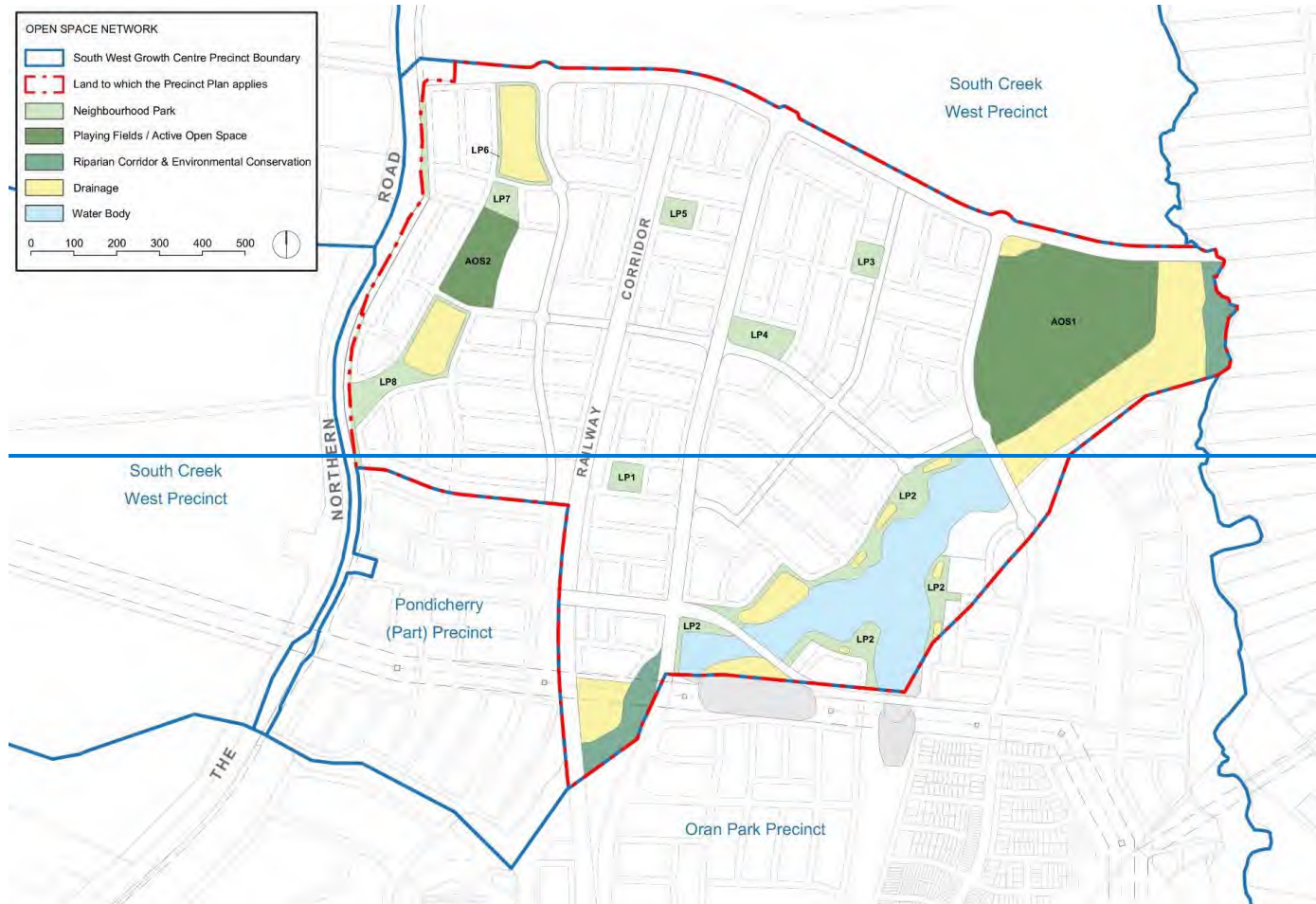
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- iv. plant species and sizes;
- v. play equipment;
- vi. utilities and services;
- vii. public art;
- viii. hard and soft landscaping treatments;
- ix. signage and lighting;
- x. any entry statements or retaining wall features;
- xi. waste facilities; and
- xii. interpretative material.

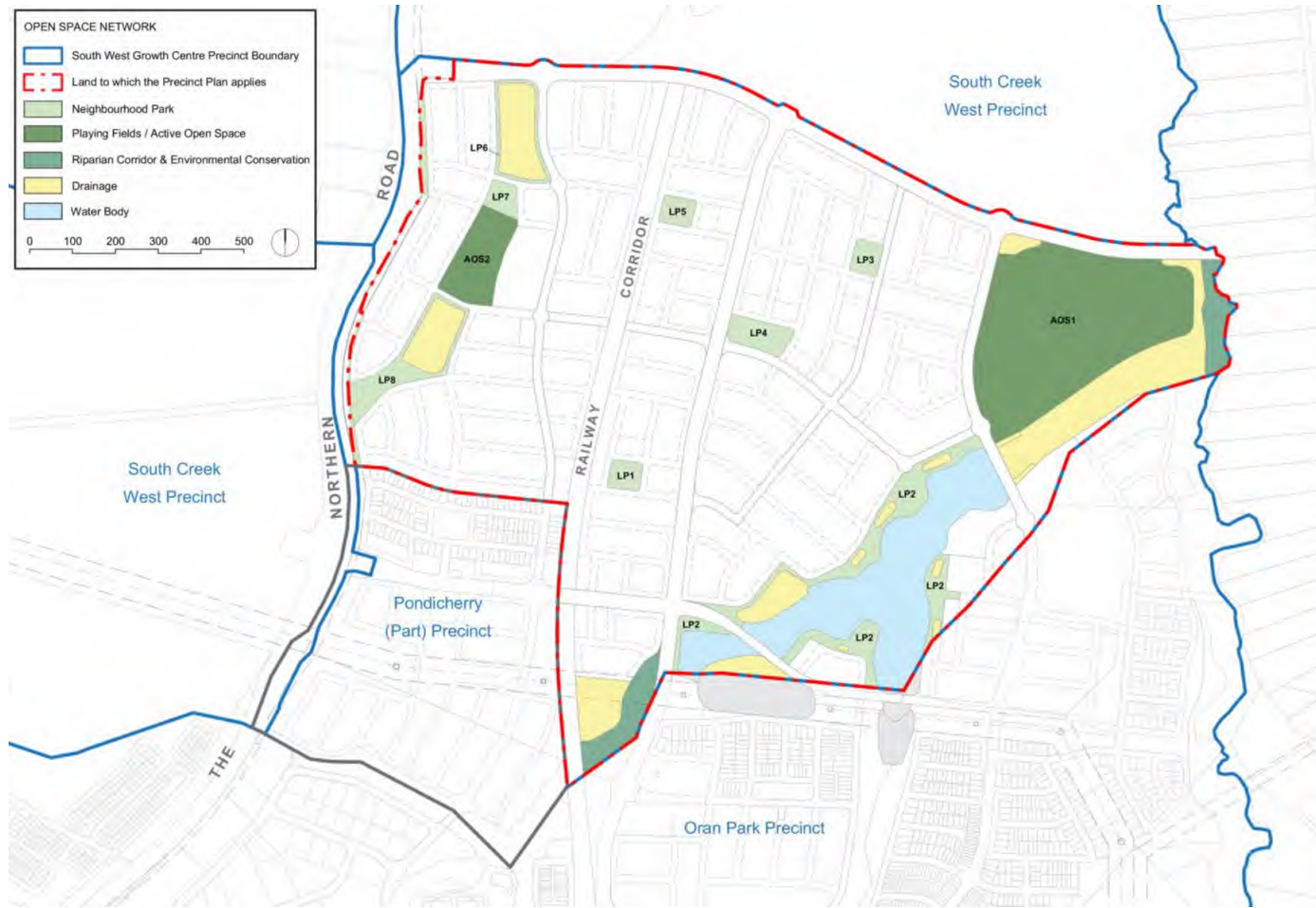
Table 2-2: Summary of Open Space and Recreation Requirements

Open Space Type	Minimum size	Facilities
Playing Fields (AOS1)	9.2ha	Facilities to be determined as part of the production of the Voluntary Planning Agreement.
Active Open Space (AOS2)	2.3ha	
Neighbourhood Park (LP1)	0.5ha	
Neighbourhood Park – Lake (LP2)	4.5ha	
Neighbourhood Park (LP3)	0.5ha	
Neighbourhood Park (LP4)	0.9ha	
Neighbourhood Park (LP5)	0.5ha	
Neighbourhood Park – Green Corridor (LP6)	0.5ha	
Neighbourhood Park – Green Corridor (LP7)	0.5ha	
Neighbourhood Park – Green Corridor (LP8)	1.4ha	

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| **Figure 2-~~282829~~**: Open Space Network

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2.8 Aboriginal Cultural Heritage

Objectives

- a. To facilitate the conservation of Aboriginal heritage items and areas of cultural value.
- b. To integrate Aboriginal cultural values into the urban setting, ensuring development is designed to connect to and care for Country.
- c. To recognise Aboriginal culture and heritage through the realisation of stories through art, architecture, and landscape.
- b-d. To engage with registered Aboriginal stakeholders in the design, planning and delivery of Pondicherry.

Controls

1. A strategy for Connecting with Country throughout the Pondicherry Precinct is to be submitted and approved by Council with the first development application in the Precinct following finalisation of the rezoning. The strategy must:
 - a. Demonstrate engagement with Aboriginal stakeholders in the development of the strategy;
 - b. Demonstrate consideration of Government Architect NSW's Connecting with Country Framework in forming the principles of the strategy;
 - c. Outline how development of the Precinct will design with Country, with particular regard to the following areas identified on **Figure 2-5**:
 - i. Walking Country Connections;
 - ii. Central Park; and
 - iii. Community Gathering Sites.
2. Subsequent development applications in Pondicherry must be consistent with the approved Connecting with Country Strategy identified in Control 2.8.1 above and provide any further detailed designing with Country assessments if required.
3. Walking Country Connections are to be seamlessly integrated into the natural and urban fabric of Pondicherry. Walking Country Connections are to prioritise people movement ahead of vehicular movement using road and rail underpasses and pedestrian crossings and signalised intersections where possible (**Figure 2-5**).
4. Ecological Biodiversity corridors are to be returned to community land, restored, enhanced and cared for to promote local biodiversity. Refer also to controls in section 2.10 Biodiversity and Riparian Corridors.
5. Further investigations are required to confirm the nature, extent and significance of Aboriginal heritage identified in the Precinct (**Figure 2-5**) including seeking the required approvals under the National Parks and Wildlife Act 1974.
 - An Aboriginal Archaeology and Cultural Heritage Interpretation Plan must be submitted and approved by Council with the first development application, pertaining to the precinct. The Plan must have consideration for the following:
 - i. the meaning and significance of heritage places in ways that are enriching;
 - i. the recommendations and findings in the archaeological report;
 - i. evidence of consultation with local Aboriginal stakeholders;
 - i. include ways to incorporate tangible, and cultural historical evidence of the place;

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i. ways to incorporate cultural and archaeological history in the design of public spaces included, but not limited to:

- a) the design of noise mitigation measures along The Northern Road;
- b) sculptures or other public art;
- c) information plaques, panels and signage;
- d) the naming of places or streets;
- e) the design of road infrastructure or pavements;
- f) the design of street or public domain furniture and landscaping; and
- g) in the thematic design of residential areas such as the use of colour palettes or materials.

2. Further investigations are required to confirm the nature, extent and significance of Aboriginal heritage identified in the Precinct (Figure 2-5) including seeking the required approvals under the National Parks and Wildlife Act 1974

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2.9 Odour

Objectives

- a. To ensure impacts associated with odour do not adversely impact the health and quality of life for appropriate levels of odour amenity for future residents.

Controls

1. Any residential subdivision development application within the Pondicherry Precinct on-land identified within the odour affected area (Figure 2-10) shall be accompanied by a Level 3 Odour Impact Assessment (using the dispersion modelling program CALPUFF) developed in accordance with NSW EPA Technical Framework Notes – Assessment and management of odour from stationary sources in NSW, to verify the actual nuisance levels of odour generated from the existing Greenlife Resource Recovery Facility at 761 The Northern Road Bringelly. The Odour Impact Assessment must make odour predictions based on an adequate number of odour samples taken in accordance with the Approved Methods for the Modelling and Assessment of Air Pollutants in NSW, 2022 and must demonstrate odour contours based on worst case scenarios of full approved operations.
1. Note: Council must be satisfied with the findings of an odour impact assessment prior to development consent being granted and may consider any other information regarding potential odour impacts from a particular facility available to Council in making its assessment.
2. Any land identified by the Level 3 Odour Impact Assessment as being inside the 99th percentile, 2 odour unit contour within a nominated separation distance shall not be developed for residential purposes until either:
 - i. Council is satisfied that the odour generating business ceases to operate, or
 - ii. Mitigation measures are agreed by Council to lessen the impact of the odour on future properties.

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2.10 Biodiversity and Riparian Corridors

Note: Development of the Lake waterbody within the Precinct is to consider the report produced by Design+Planning, dated 8 April 2020, titled Pondicherry Lake Precinct – Water Management Act Assessment and the NSW Natural Resources Access Regulator's concurrence in relation to this document, dated 4 June 2020.

Objectives

- a. To protect, enhance and restore water sources, their associated ecosystems, ecological processes and biological diversity.
- a.b. To provide biodiversity connectivity (including riparian style vegetation) between Wianamatta South Creek, Rons Creek and Anthony Creek.
- b.c. To protect and improve water quality.
- c.d. To maintain and enhance bed and bank stability.
- d.e. To ensure development within the Precinct inclusive of the Lake Precinct embodies the principles of ecological sustainable development, delivering optimum social, economic and environmental outcomes.

Controls

1. Riparian corridors identified on **Figure 2-3** are to be delivered in accordance with the NRAR Department of Climate Change, Energy, the Environment and Water – Water (Licensing and Approvals) (DCCEEW) Guidelines for Controlled Activities - Guidelines for Riparian Corridors on Waterfront Land.
2. A Biodiversity Corridor Calculation is to be submitted with any development application for riparian corridors identified on **Figure 2-3** which considers:
 - a. The structural integrity, extent and connectivity of the riparian vegetation -PCT 4025 Cumberland Red Gum Riverflat Forest;
 - b. Fauna that is identified and likely to be accommodated by the terrestrial habitat corridor.
3. A Pondicherry Lake Design Strategy will be required to be submitted and approved by Council prior to development consent being granted for the lake and its surrounding open spaces. This strategy needs to demonstrate the following:
 - a. Riparian style embellishment must be provided to open space areas adjoining the lake's edge while incorporating passive recreational uses, achieving a balance and integration of open space, biodiversity and riparian outcomes. Passive recreational uses may include:
 - i. Pedestrian paths and cycle ways;
 - ii. Fitness stations and exercise equipment;
 - iii. Picnic shelters and park furniture;
 - iv. Viewing platforms and jetties;
 - i. Interpretative and educational signage/instalments; and
 - v. _____
 - ii. Public art.
 - vi. _____

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- b. Neighbourhood Park areas adjoining the lake identified on **Figure 2-28** must provide lake edge vegetation. Any inconsistencies are to be justified as part of the Lake Design Strategy.
 - c. Consideration of the fauna that is likely to be present in the area. Fauna types are to inform the vegetation used for riparian style embellishment and lake-edge vegetation.
- 4. A Vegetation Management Plan (VMP) is to be prepared and implemented for riparian corridors identified on **Figure 2-3** and areas of the lake's edge with riparian style embellishment. The VMP must be ~~and~~ submitted in accordance with the timing indicated in a Voluntary Planning Agreement ~~or at the time of subdivision of the adjoining residential land.~~ The VMP is to be prepared taking into account the above controls and in accordance with the following:
 - a. For riparian corridors, the VMP must consider the requirements and principles of the Controlled Activities – Guidelines for Riparian Corridors on Waterfront Land and Water Management Act 2000.
 - b. Riparian style embellishment must consider the requirements of Control 3 in this section;
 - c. The VMP shall designate management zones which must be revegetated with the PCT 4025 Cumberland Red Gum Riverflat Forest which shall have structural integrity (groundcover, mid-storey and canopy), typical vegetation characteristics and species diversity;
 - d. Where wetlands incorporate canopy trees such as *Melaleuca linariifolia* as stepping stones to provide better riparian / fauna connectivity, water sensitive urban design principles shall not be compromised; and
 - e. The VMP shall incorporate the inclusion of best practice biodiversity management guidelines.
- ~~2.5.~~ Detailed Landscape Plans must be submitted with the Lake Design Strategy and VMP which meet the above controls. It should provide full details for each management zone.
- ~~3.6.~~ Justification for the Lake waterbody (**Figure 2-3**) is to consider compliance with the Objects and Principles of the *Water Management Act 2000*.
- ~~4.7.~~ The drainage area located between the Lake waterbody and South Creek is to perform a dual use of providing dry detention, in accordance with the Precinct Water Cycle Management objectives and be revegetated to a functioning biodiversity corridor in accordance with an appropriately documented ~~VMP~~ Vegetation Management Plan. ~~Revegetation is to consider requirements of DCCEEW Controlled Activities v-~~ Guidelines for Riparian Corridors on Waterfront Land.

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3 Centres Development Controls

Pondicherry will provide two Neighbourhood Centres (zoned B1 Neighbourhood Centre) to accommodating the needs of the community. This includes a vibrant mixed-use neighbourhood centre based around the Pondicherry Lake in the east and a small scale convenience centre in the west.

The following sections are supported by the objectives and controls contained in Part 5 of the DCP.

3.1 Pondicherry Neighbourhood Centres

Note: This section supports the objectives and controls of Part 5 of the DCP

Lake Neighbourhood Centre Desired Future Character

The Pondicherry Lake neighbourhood centre will comprise a total site area of approximately 1.2ha in the location shown on the ILP and zoned *B1 Neighbourhood Centre* in the Western Parkland City SEPP. The neighbourhood centre is anticipated to accommodate a ~~total retail~~ floor area of 5,000m² and provide a broad mix of uses including retail (1,500m²), commercial, residential, civic and recreation. The centre will form the focal point of the surrounding Lake Precinct while serving the convenience retail needs of the local community, as well as supporting walkability and social interaction within the Precinct.

The amenity afforded through the expansive Lake system and adjoining open space will be of district appeal and a key attractor for residents, businesses and visitors alike. The Lake Precinct will espouse the principles of connected community achieved through an efficient road network, extensive active transport links and the interconnection of surrounding land uses including the neighbourhood centre, nearby district playing fields, a K-12 school, a community centre, extensive passive open space and surrounding medium density residential development.

Development should be sensitive to the character of the local area and shall enhance the local residential and environmental amenity through appropriate and sustainable urban design.

The built form of the neighbourhood centre shall deliver modern landmark building(s) fitting of its location within the broader Lake Precinct. The built form shall be of a scale which supports the integration of appropriate retail and commercial uses with the possibility for residential accommodation. Shops shall be addressed to the street to create a sense of place, with active streets and public domain providing a high amenity pedestrian environment.

Integration of the public domain will be a feature of the centre with visitors also appreciating the entertainment and recreation activities on offer in the precinct.

Western Neighbourhood Centre Desired Future Character

The western neighbourhood centre is to be located as shown on the ILP and zoned *B1 Neighbourhood Centre* in the Western Parkland City SEPP. The centre will provide a small-scale convenience based offering providing accessible retail, community and business services for local residents. The centre is anticipated to accommodate a retail floor area of 1,000m² and be supported by the precinct principles of walkability and community interaction.

Development should be sensitive to the character of the local area including height and shall enhance the local residential and environmental amenity through appropriate and sustainable urban design.

Schedule 88 - Pondicherry Precinct**Objectives**

- a. Create vibrant, mixed use neighbourhood centres with opportunities for shop top housing that provide a range of small-scale retail, business and community uses to cater for the needs of the local population.
- b. Achieve high quality architecture through the appropriate composition and articulation of building elements, textures, materials and colours that respond to the building's use and locality.
- c. Ensure adjacent residential buildings, other adjoining development and public open spaces retain sufficient solar access.
- d. Encourage development which makes a positive contribution to the streetscape, promotes active transport use, and contributes to the amenity of the centre.
- e. Create entrances which provide a desirable and safe identity for the development and which assist in visitor orientation.
- f. Minimise potential conflicts between pedestrians and vehicles.

ControlsGeneral

1. The neighbourhood centres must be located in accordance with the Indicative Layout Plan (**Figure 2-1**) and defined by the *B1 Neighbourhood Centre* zone boundary in the Western Parkland City SEPP.
2. Active street frontages are to be prioritised to public domain areas and maximised where possible to the surrounding public streets. Fine grained and intensive land uses that provide visual interest and encourage pedestrian activity is encouraged. Residential development is not permitted at the ground floor level unless it is for an entrance or lobby, access for fire services or vehicular access.
3. Incorporate residential/shop top housing above the ground floor retail/commercial tenancies where feasible.

Layout

4. The arrangement of built forms must consider potential future noise and amenity conflicts to surrounding uses inside and outside of the neighbourhood centres.

Built form

5. Development must be designed and sited so that it visually addresses the street and must have a clearly identifiable entry.
6. Buildings are not to exceed the maximum building height identified on the Height of Buildings map of the Western Parkland City SEPP, with buildings in the Lake neighbourhood centre not to exceed six storeys.
7. Buildings are to be articulated and visually address the street through the selection of materials, openings and entries. Where buildings are not proposed to be built to the street frontage, setbacks are to be minimised. Buildings are also to be designed and located to address, activate and enhance nearby public domain.
8. The building and landscape design is to be complementary to ensure it is legible, safe, and accessible for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate.
9. Avoid the occurrence of blank walls on buildings through façade articulation that clearly delineates points of interest e.g. building entries, and vertical and horizontal elements. In circumstances where walls with minimal or no openings (i.e. windows, doors and balconies) are unavoidable, they are to be treated with appropriate design detail and visual articulation through the use of colours and materials.

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10. Building heights are to take into account view lines and protect solar access to nearby parks, streets and the public domain.
11. Establish a 'sense of place' and contemporary character for the precinct through a high quality built form and energy efficient architectural design.
12. Highly reflective materials are not acceptable for roof or wall cladding.

Public Domain

13. Provide a high-quality landscape design including a coordinated package of street furniture and lighting that enhances the character of the neighbourhood centre.
14. Provide street tree and open space planting to provide generous shade for pedestrians.
15. Provide continuous weather protection to the building perimeter where appropriate with a focus on those active entries and shop fronts which integrate with the public domain.
16. Shop fronts are to be glazed to ensure visual interest, provide borrowed light and surveillance to the street in alignment with Safer by Design principles.

Transport and Access

17. Walking and cycling leading to and within the neighbourhood centres is to take priority over traffic circulation.
18. Incorporate transport interchanges which accommodate bicycle parking, in addition to park and ride facilities.
19. Provide on-street parking for convenience and to contribute to the activation of the street, where appropriate to support the use and function of the neighbourhood centres.
20. The visibility of parking areas at street frontages shall be minimised through:
 - i. parking layout and design, building location and design and landscaping treatments;
 - ii. bitumen and cars are not to be the dominant features of the landscape; and
 - iii. the design of parking areas is to consider pedestrian legibility, safety and accessibility from street frontages, within the centre and to adjoining land where appropriate.
21. Waste storage and collection areas are to be designed to minimise amenity impacts and should not impede the use of the public domain.

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4 Site Specific Development Controls

4.1 Development near or on the Rail Corridor

Note: This section is supplementary to **Section 2.3.9 Noise** of the main body of the DCP and provides further guidance in relation to noise management on or near the North-South Rail Corridor.

Objectives

- a. To ensure that development on or near the rail corridor does not impact the integrity or safety of the corridor.
- b. To ensure reasonable standards of amenity for residential development within the vicinity of the rail corridor.

Controls

1. Development within and adjacent the North South Rail Corridor must take into consideration the following documentation
 - i. Sydney Metro – Technical Services Sydney Metro Underground Corridor Protection Technical Guidelines;
 - ii. Sydney Metro – Technical Services Sydney Metro at Grade and Elevated Sections Corridor Protection Guidelines; and
 - iii. Development Near Rail Corridors and Busy Roads – Interim Guideline.
2. Developments adjacent to the North South Rail Corridor must be oriented towards the street.
3. Where residential or sensitive use development is proposed within 100m of the North South Rail Corridor an acoustic assessment must be undertaken in accordance with Council's Environmental Noise Policy. Where alternative noise mitigation is not proposed and residential dwellings are located within 25m of a rail corridor, dwelling noise mitigation must incorporate "Category 3" acoustic measures (or equivalent) in accordance with the Department of Planning, Industry and Environment – Development Near Rail Corridors and Busy Roads – Interim Guideline (Figure 3.3a and Appendix C). Similarly, where residential dwellings are located between 25m and 60m from a rail corridor "Category 2" acoustic measures (or equivalent) in accordance with the Department of Planning Industry and Environment – Development Near Rail Corridors and Busy Roads – Interim Guideline (Figure 3.3a and Appendix C).

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4.2 Development near or on Electricity Easements

Objectives

- a. To ensure that development on or near electricity easements does not impact on the integrity and safety of electricity infrastructure.
- b. To ensure reasonable standards of amenity for residential development within the vicinity of electricity easements.
- c. To encourage passive surveillance of electricity easements.

Controls

1. Development within and adjacent electricity easements including but not limited to, landscape and fencing is to consider the appropriate and current TransGrid Development Guidelines including:
 - I. TransGrid Easement Guidelines, Third Party Development;
 - II. Subdivision and Development Guidelines; and
 - III. Living and Working with electricity transmission lines.
 - IV. Relevant Endeavour Energy specification
2. Open space and drainage contained within an electricity easement and any road crossings of an easement should generally be in accordance with the Indicative Layout Plan (**Figure 2-1**) and Precinct Road Hierarchy Plan (**Figure 2-121**).
3. Public roads within residential areas are encouraged adjacent to electricity easements to allow easy access to transmission towers and passive surveillance of open space (**Figure 4-1**).
4. Where private ownership of the electricity easement is proposed, the number of private lots should be limited and contain a building footprint outside the easement (**Figure 4-2**).
5. All proposed activities within electricity easements require approval from the relevant authority. Applicants should consult with electricity supply authorities prior to submitting a development application to Council. Evidence of approval is to be submitted with the development application.
6. No buildings are permitted in electricity easements without the approval of the relevant electricity supply authority.

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Figure 4-1: Electricity Easement (Public Ownership)

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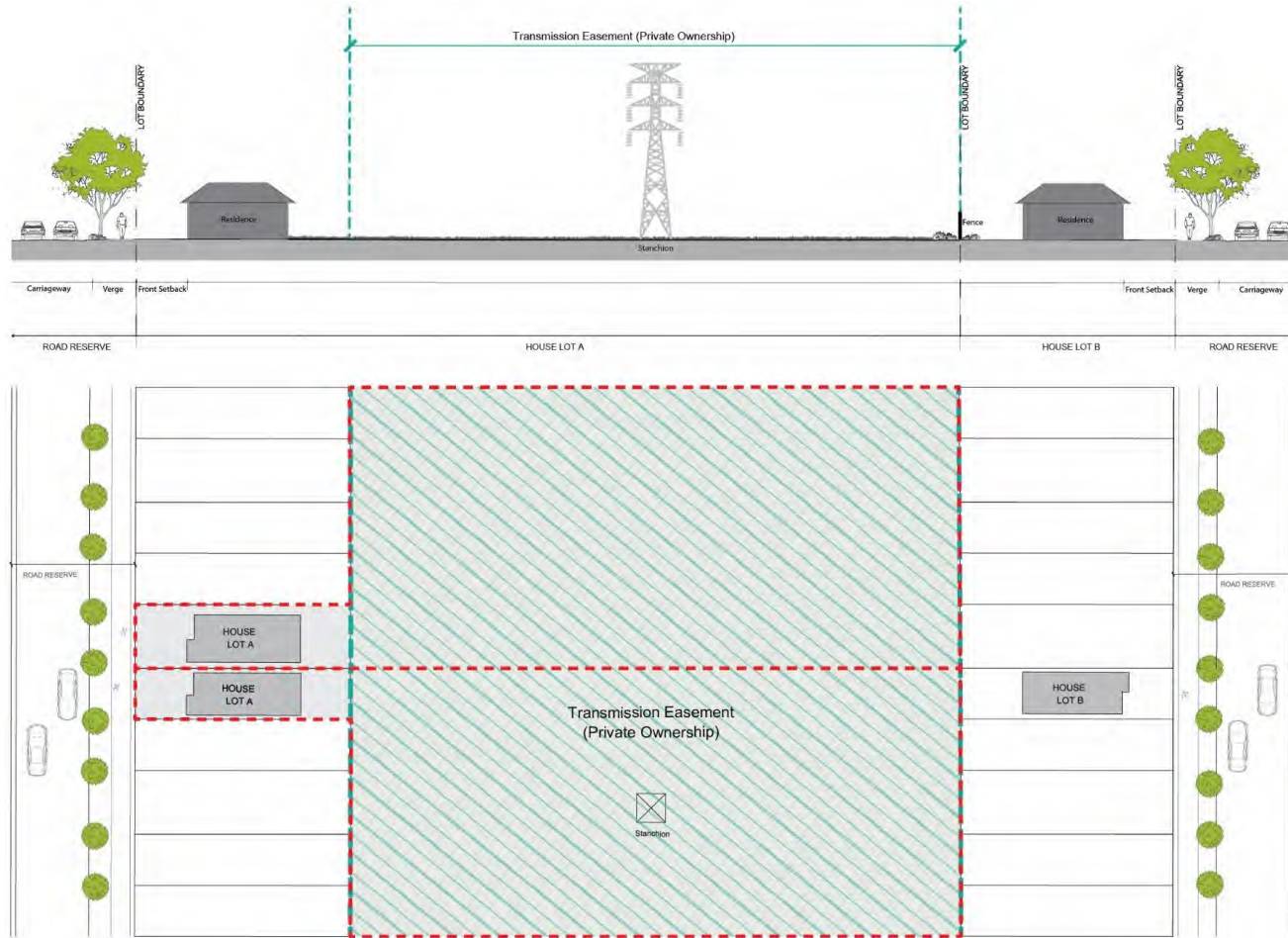


Figure 4-2: Electricity Easement (Private Ownership)

Oran Park Precinct

Development Control Plan

Amendment No. ~~15-14~~ - ~~January~~ <MONTH> 2024

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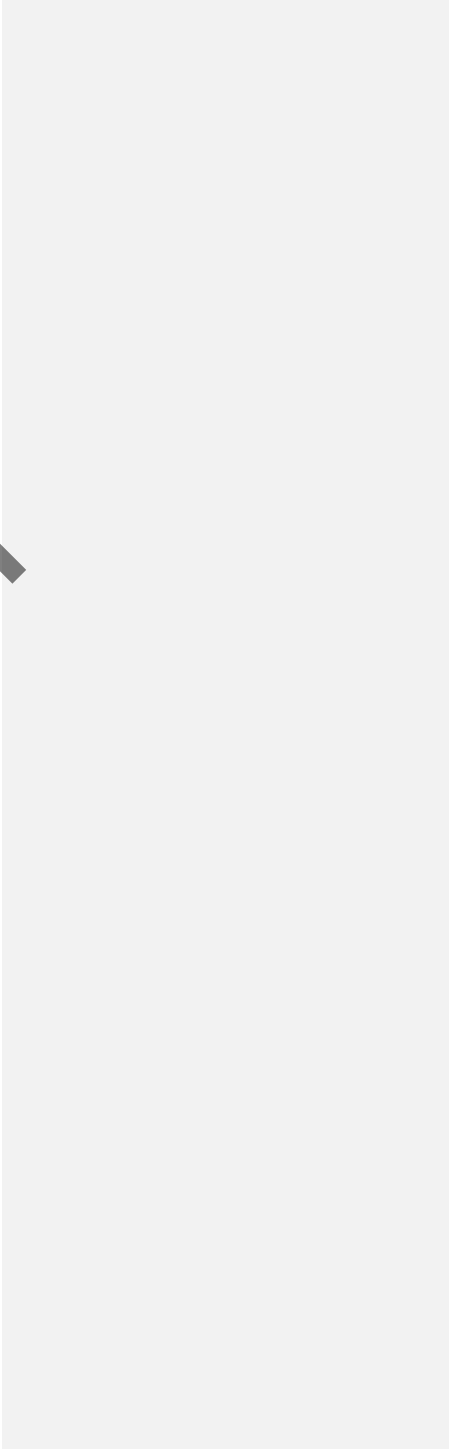
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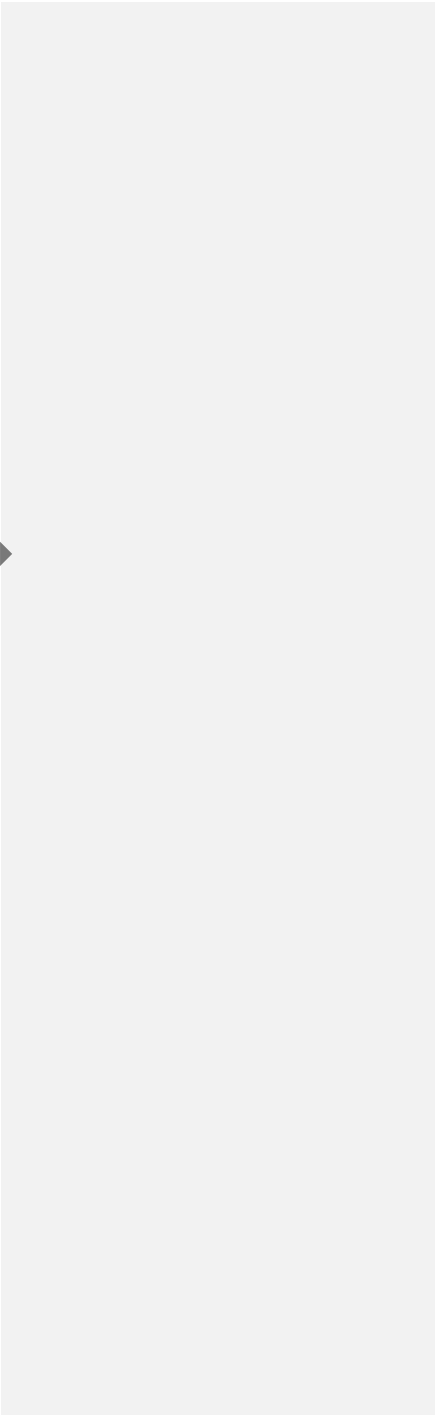
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1. Introduction

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1.1 Name and Application of this Plan

This Plan is known as the Oran Park Precinct Development Control Plan 2007 (DCP 2007). It has been prepared pursuant to the provisions of Section 74C of the *Environmental Planning and Assessment Act, 1979*.

This DCP was adopted by the Chief Executive Officer of the Department of Planning under delegation from the Director-General of the Department of Planning on 4 December 2007. This DCP applies to all development on the land shown at **Figure 1**.

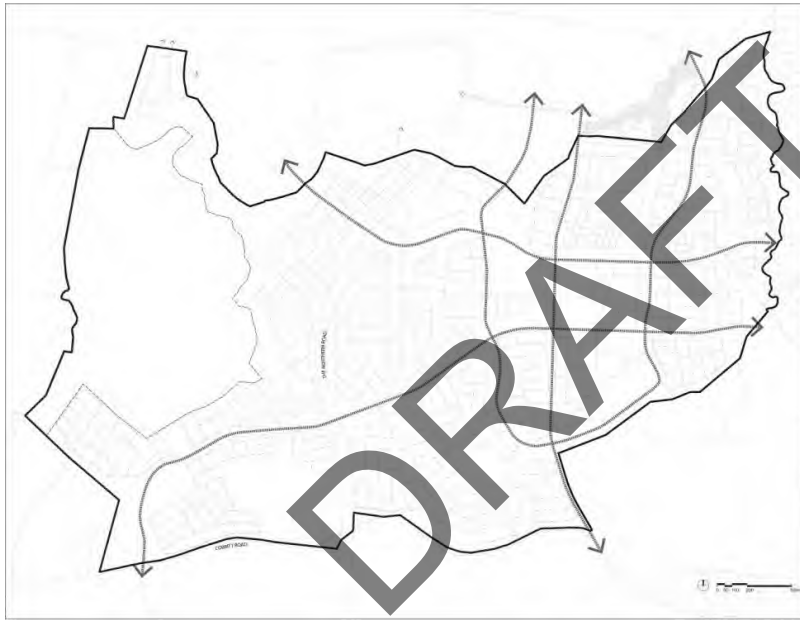


Figure 114: Oran Park Precinct Indicative Layout Plan Land to which this DCP applies

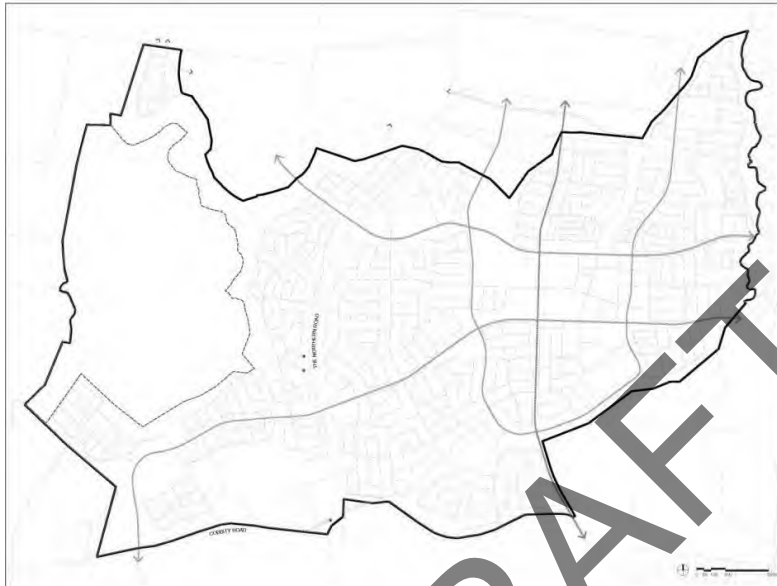


Figure 221: Oran Park Precinct Indicative Layout Plan Land to which this DCP applies

1.2 The Purpose of this DCP

The purpose of this DCP is to:

- Communicate the planning, design and environmental objectives and controls against which Camden Council will assess future Development Applications (DAs),
- Consolidate and simplify the planning controls in the Oran Park Precinct,

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- Provide guidance on the orderly, efficient and environmentally sensitive development of the Oran Park Precinct as envisaged by the South West Sector Structure Plan as refined by the Oran Park Precinct Indicative Layout Plan,
- Require the preparation of more detailed planning and design controls for important components of the Oran Park Precinct, and
- Promote high quality urban design outcomes within the context of environmental, social and economic sustainability.

1.3 Relationship to other Plans

This DCP should be read in conjunction with *State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Amendment No. 1)* (the SEPP) and other relevant State planning policies. This DCP should also be read in conjunction the following parts of *Camden Council Development Control Plan 2006*:

- Part C: Chapter 2 – Notification Procedures for Development Applications,
- Part D: Chapter 1 – Car Parking,
- Part D: Chapter 2 – Cut and Fill, Landforming Operations and Erosion and Sediment Control,
- Part D: Chapter 4 – Outdoor Advertising, and
- Part F: Chapters 1-6 and 8-9 – Specific Land uses.

and in conjunction the following Camden Council policies:

- Camden Council Policy 1.13 – Safer By Design,
- Camden Council Policy 1.15 – Building in Salinity Prone Environments,
- Camden Council Policy 3.11 – Erosion and Sediment Control,
- Camden Council Policy 3.12 – Management of Contaminated Lands (05/03/2008),
- Camden Council Policy 3.19 – Flood Risk Management Policy (10/04/2006), and
- Camden Council Policy 3.20 – Environmental Noise Policy (18/06/2008).

In the event of any inconsistency between this DCP and any other DCP or policy of Council, this DCP shall prevail to the extent of the inconsistency.

1.4 Structure of this Plan

This DCP is structured into two parts - Part A and Part B. Part A contains general objectives and controls that apply to development across the whole precinct. Each section contains a series of objectives and development controls. The objectives state what outcomes are to be achieved for future development. The development controls are intended to ensure that the stated objectives are met and that high quality

outcomes are delivered throughout the life of the development. The provisions relating to subdivision DAs are generally contained within Sections 1 – 7.1 of this DCP whilst the provisions relating to residential building DAs are generally contained in Sections 7 and 8.

Part A of this DCP is structured as follows:

-
- Section 1:** sets out the administrative provisions of the DCP.
- Section 2:** relates to the overall layout and vision for the future development of the precinct as well as the precinct wide controls for residential density, the provision of precinct wide infrastructure delivery and staging, and the hierarchy of centres and employment areas.
- Section 3:** relates to the street network including road design standards, the public transport network and the pedestrian and cycleway network.
- Section 4:** outlines the provision of public open space, landscaping and the provision of education, civic and community facilities.
- Section 5:** outlines the objectives and design principles relating to the Oran Park Town Centre, the Neighbourhood Centres, Oran Park Employment Area, the Denbigh Transition Area and the Northern Road and Cobbitty Road Interface Area.
- Section 6:** relates to general environmental management issues that apply across the entire Oran Park Precinct including riparian corridors, flood prone land, water cycle management, soils and salinity, Aboriginal and European heritage, bushfire hazard management, tree retention and biodiversity, contamination, odour and acoustics.
- Section 7:** relates to neighbourhood and subdivision approval process, subdivision design, streetscape and architectural design, setbacks, corner lots, zero lot lines, dwelling height, massing and siting, private open space, garages, access and parking, studios / Fonzie flats, dual occupancies, mixed use and high density housing, safety and surveillance, fencing and cut and fill.
- Section 8:** relates to solar access and natural daylight, visual and acoustic privacy, floor to ceiling heights, sustainable building design, stormwater and construction management, waste management and site facilities and servicing.
- Appendix A:** Glossary - contains the definitions for a number of specific terms used in this DCP that are not defined within the SEPP.
- Appendix B:** Part B Development Control Plans.

Appendix C: Exempt and Complying Development.

Appendix D: Complying Lot Provisions.

As noted above, Section 5 of Part A contains the broad level objectives, controls and design principles for specific areas within the Precinct. These areas require the preparation of more detailed planning and design controls in the form of a Part B amendment to this DCP, prior to the approval of development within certain areas within the precinct. The areas that are subject to Part B DCP amendments are shown in the figure at **Appendix B** and are as follows:

- the Oran Park Town Centre,
- the Northern and Southern Neighbourhood Centres,
- the Oran Park Employment Area,
- the Denbigh Transition Area, and
- land containing a Riparian Protection Area.

In addition, where an applicant proposes to significantly depart from the provisions of Part A of this DCP, a Part B DCP may be prepared by an applicant for a particular sub-precinct. Minor variations to these controls will be addressed on a case-by-case basis without the need for a DCP amendment.

A Part B DCP amendment may be prepared by an applicant, in consultation with the Council and the Department of Planning and Infrastructure, and will be incorporated into this DCP as an amendment, subject to adoption by the Director-General. Where an inconsistency exists, provisions within a Part B DCP prevail over Part A.

Development only for the purposes of remediation, environmental landscape works and other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment, is permitted to be undertaken within these areas, with consent, prior to the adoption of a Part B DCP amendment. A DA for other development may be submitted subsequent to the lodgement of a Part B DCP amendment and assessed concurrently by Council.

The Part B DCPs will focus on the design of the built form, in particular issues such as building siting, architectural design and articulation, active frontages, materials and finishes, and internal amenity (for residential uses) etc. They will also address the detailed design of the public domain, particularly within the town and neighbourhood centres. **Appendix B** of this DCP sets out the matters to be addressed within a Part B DCP amendment.

Variations to Development Controls and the Indicative Layout Plan

Council may grant consent to a proposal that does not comply with the controls, providing the intent of the controls is achieved. Similarly, Council may grant consent to a proposal that varies from the Indicative Layout Plan (ILP), where the variation is minor and the proposal remains generally consistent with the ILP and the key development objectives of the DCP. As such, each DA will be considered on its merits. Where a variation is sought it must be justified in writing indicating how the development meets the intent of the

objectives of the relevant control and / or is generally consistent with the ILP.

Developer Design Guidelines

In addition to the provisions of this DCP, a developer may implement and administer further building and landscape design guidelines to ensure a high quality built product. Such guidelines are not to be inconsistent with this DCP. To assist residents and their designers, a developer may also implement a Design Review Committee to review development proposals for compliance with the Design Guidelines prior to their formal submission to Council.

Review

The Department of Planning and Infrastructure may review this DCP from time to time to ensure that the State Government's objectives for the Oran Park Precinct continue to be met.

1.5 Exempt and Complying Development

Exempt Development

Development specified in **Schedule 1 of Appendix C** that meets the standards for the development contained in that Schedule and that complies with the requirements of this Part is exempt development.

1. To be exempt development, the development:
 - must meet the relevant deemed-to-satisfy provisions of the Building Code of Australia, and
 - must not, if it relates to an existing building, cause the building to contravene the Building Code of Australia, and
 - must not be designated development, and
 - must not be carried out on land that comprises, or on which there is, a heritage item that is listed on the State Heritage Register under the *Heritage Act 1977* or that is subject to an interim heritage order under the *Heritage Act 1977*, and
 - must not be carried out in an environmentally sensitive area for exempt or complying development (as defined in clause 18 of the SEPP), and
 - must not be carried out on land shown as a Riparian Protection Area on the land use zoning maps.
2. Development that relates to an existing building that is classified under the Building Code of Australia as class 1b or class 2—9 is exempt development only if:
 - the building has a current fire safety certificate or fire safety statement, or
 - no fire safety measures are currently implemented, required or proposed for the building.

Note: Specifying a type of development as exempt development does not authorise the contravention of any condition of development consent applying to the land on which the exempt development is carried out, nor does it remove the need for any approval that may be required under other legislation.

Complying Development

1. Development cannot be complying development if:
 - it is on land that is critical habitat of an endangered species, population or ecological community (identified under the *Threatened Species Conservation Act 1995* or the *Fisheries Management Act 1994*), or
 - it is on land within a wilderness area (identified under the *Wilderness Act 1987*), or
 - the development is designated development, or
 - it is on land shown as Riparian Protection Area on the land use zoning maps, or
 - the development is on land that comprises, or on which there is, an item of environmental heritage (that is listed on the State Heritage Register or in Schedule 5 of *State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Amendment No. 1)* or that is subject to an interim heritage order under the *Heritage Act 1977*), or
 - the development requires concurrence (except a concurrence of the Director-General of the Department of Environment and Climate Change in respect of development that is likely to significantly affect a threatened species, population, or ecological community, or its habitat (identified under the *Threatened Species Conservation Act 1995*), or
 - must not be carried out in an environmentally sensitive area for exempt or complying development (as defined in clause 18 of the SEPP), or
 - the development requires the removal of a tree or bushland, or
 - it contravenes any restriction on the land imposed by Council within the 88B and/or 88E instrument, or
 - the land is below the 1% AEP flood level or the floor level of a habitable room is not 600mm above the 1% flood level, or
 - the land was previously used as: a gas works; a service station; a sheep or cattle dip; intensive agriculture; mining or extractive development; for the manufacturing of chemicals; waste storage or waste treatment; asbestos or asbestos products manufacture; and a notice of completion of remediation work for the proposed use has not been given to the local council in accordance with *State Environmental Planning Policy No. 55 – Remediation of Land*, or
 - the land is within an identified odour buffer to a poultry farm, or
 - the land is within 500m of a sewage treatment plant.
2. Development specified in Schedule 2 of **Appendix C** that is carried out in compliance with:
 - the development standards specified in relation to that development, and
 - the requirements of this Part,
 is complying development.

3. To be complying development, the development must:
 - be permissible, with consent, in the zone in which it is carried out, and
 - meet the relevant deemed-to-satisfy provisions of the Building Code of Australia.
4. A complying development certificate for development specified in Schedule 2 of **Appendix C** is subject to the conditions set out in Schedule 3 of **Appendix C**.

Note:

- Section 76A (6) of the Act provides that certain development, such as designated development, or development requiring the concurrence of another body, or development on land comprising, or on which there is, a heritage item, cannot be complying development.
- Under section 76A of the Act, development consent for the carrying out of complying development may be obtained by the issue of a complying development certificate.
- Specifying a type of development as complying development does not authorise the contravention of any condition of development consent applying to the land on which the complying development is carried out, nor does it remove the need for any approval that may be required under other legislation.
- See also clause 33AA (3) of the SEPP which provides that the conversion of fire alarms is complying development in certain circumstances.

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1.2 Table of Amendments

Amendment No.	Adopted Date	Description of Changes
Original	4 December 2007	N/A
1	12 November 2008	Insertion of Part B Section (Part B1 – Sales and Marketing Centre)
2	20 May 2009	Insertion of new Part B Section (Part B2 – Riparian Protection Area) and minor Part A amendments
4	15 October 2011	Insertion of Part B Section (Part B1 – Oran Park Town Centre, which replaced Sales and Marketing Centre) and minor Part A amendments
5	13 August 2014	Housing Diversity Package
5a	27 August 2014	Changes to master plan for Civic Precinct (Part B1 – Oran Park Town Centre)
6	19 January 2016	Changes to master plan for Civic Precinct (Part B1 – Oran Park Town Centre)
7	13 September 2016	Insertion of new Part B Section (Part B3 – Denbigh Transition Area)
8	30 November 2016	Amendment to Part A of the DCP regarding changes to minimum lot sizes for semi-detached dwellings and minor changes to lot mix controls
9	11 April 2017	Amendment to Part A of the DCP to ILP and DCP Figures including changes to road hierarchy, layout and intersection arrangements and Transit Boulevard cross-section; review of provision of open space, community facility, school site and indicative child care centre locations; minor changes to child care centre controls; and relocation of planned medium density areas around the Oran Park Town Centre
10	3 September 2019	Insertion of new Part B Section (Part B4 – Northern Neighbourhood Centre)
11	5 May 2022	Insertion of new Part B Section (Part B5 – Oran Park Employment Area)
12	2 November 2023	Amendment to Part B Section (Part B1 - Oran Park Town Centre)
13	<u>TBD</u>	Amendment to Part A of the DCP to ILP and DCP Figures including changes to the street, pedestrian and cycle; and open space networks. Introduction of additional WSUD controls for Lot 2005 DP 1162239. Amendment to Part B of the DCP in relation to the southern neighbourhood centre and the Southern Ridgeline Treatment.
<u>14</u>	<u>TBD</u>	<u>Pondicherry Interface Amendment</u>

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***Part A - Precinct
Wide DCP***

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2. The Oran Park Precinct

This section of the DCP contains objectives and development controls relating to the overall layout and vision for the future development of the precinct, as well as the precinct-wide targets for residential density, the provision of precinct-wide infrastructure delivery and staging, and the hierarchy of centres and employment areas.

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2.1 Indicative Layout Plan

The Indicative Layout Plan (ILP) at **Figure 2** illustrates the broad level development outcomes for the Oran Park Precinct. It outlines the development footprint, land uses, density ranges, open space and riparian corridors, major transport linkages and general location of community facilities and schools.

Objectives

- a. To ensure development of the precinct is undertaken in a co-ordinated manner consistent with the South West Sector Structure Plan and the Oran Park Indicative Layout Plan.

Controls

1. All development is to be undertaken generally in accordance with the Indicative Layout Plan at **Figure 2** subject to compliance with the objectives and development controls set out in this DCP.
2. Where variation from the ILP is proposed, the applicant is to demonstrate that the proposed development is consistent with the Vision and Development Objectives for the precinct set out in **Section 2.2** and the Objectives and Controls at **Sections 2.3 – 2.5** of this DCP. The DCP may require amendment where significant variation is envisaged.

2.2 Vision and Development Objectives

Vision

The Oran Park Precinct will establish itself as a high quality urban environment founded on the principles of community pride, well-being, healthy living and educational excellence.

The precinct will encompass a complete community incorporating live, work and play options. Housing densities will be higher than those traditionally delivered in Camden with a broad range of dwelling types provided across the precinct with a particular focus on attractive residential streetscapes structured around well connected, walkable neighbourhoods.

The Oran Park Town Centre and the Neighbourhood Centres west of The Northern Road will become the focal points for community interaction, civic and community facilities and retailing. Local work options will be provided through employment areas, local centres and home based activities.

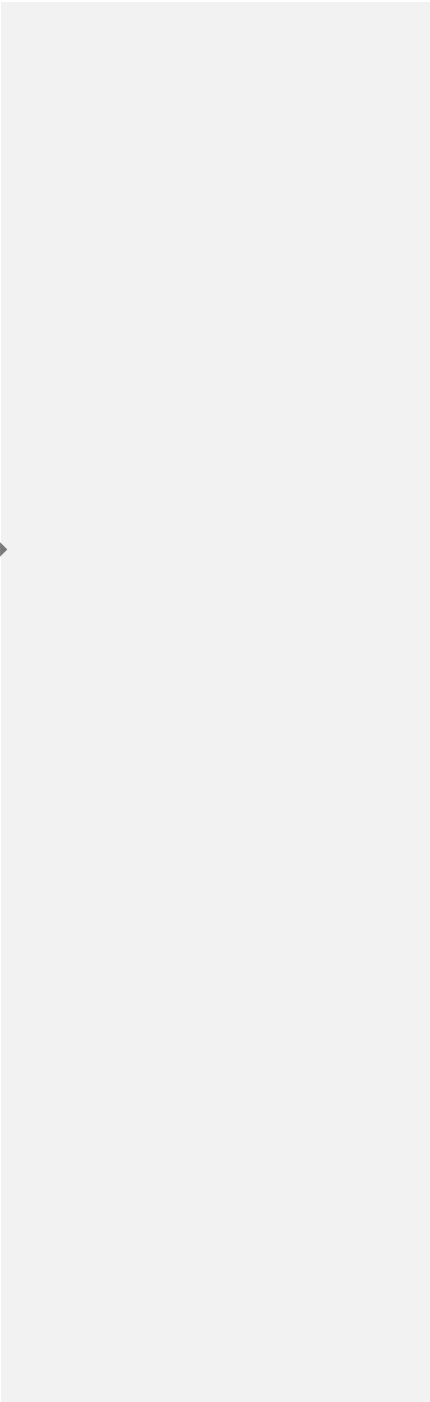
West of The Northern Road will be a distinctive urban and semi-rural precinct that capitalises on the presence of the heritage listed Denbigh Homestead and areas with recognised scenic and landscape value. It will offer housing opportunities for new residents, who seek a lifestyle that is linked with the distinctive and memorable character of the area.

Key Development Objectives for the Oran Park Precinct

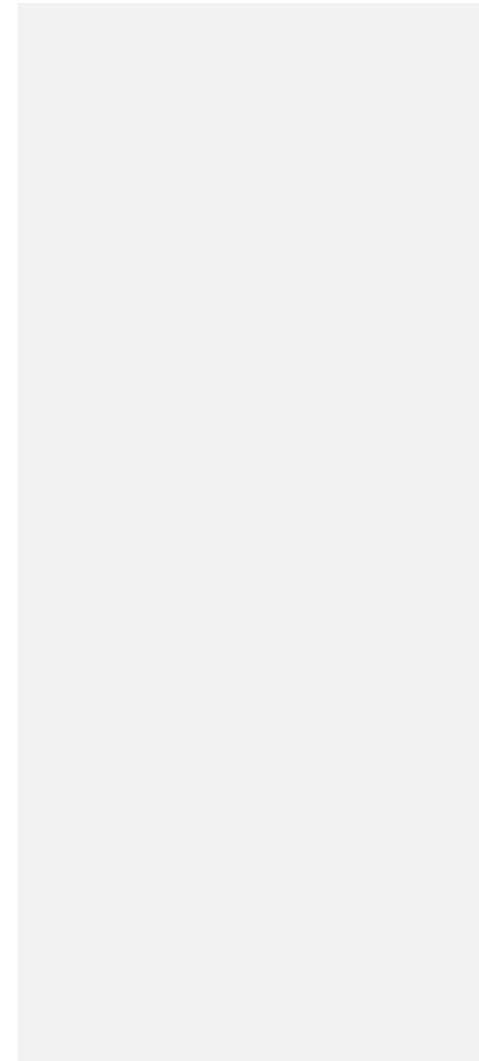
1. To facilitate urban development that meets environmental sustainability objectives.
2. To ensure all development achieves a high standard of urban and architectural design quality.
3. To promote housing that provides a high standard of residential amenity.

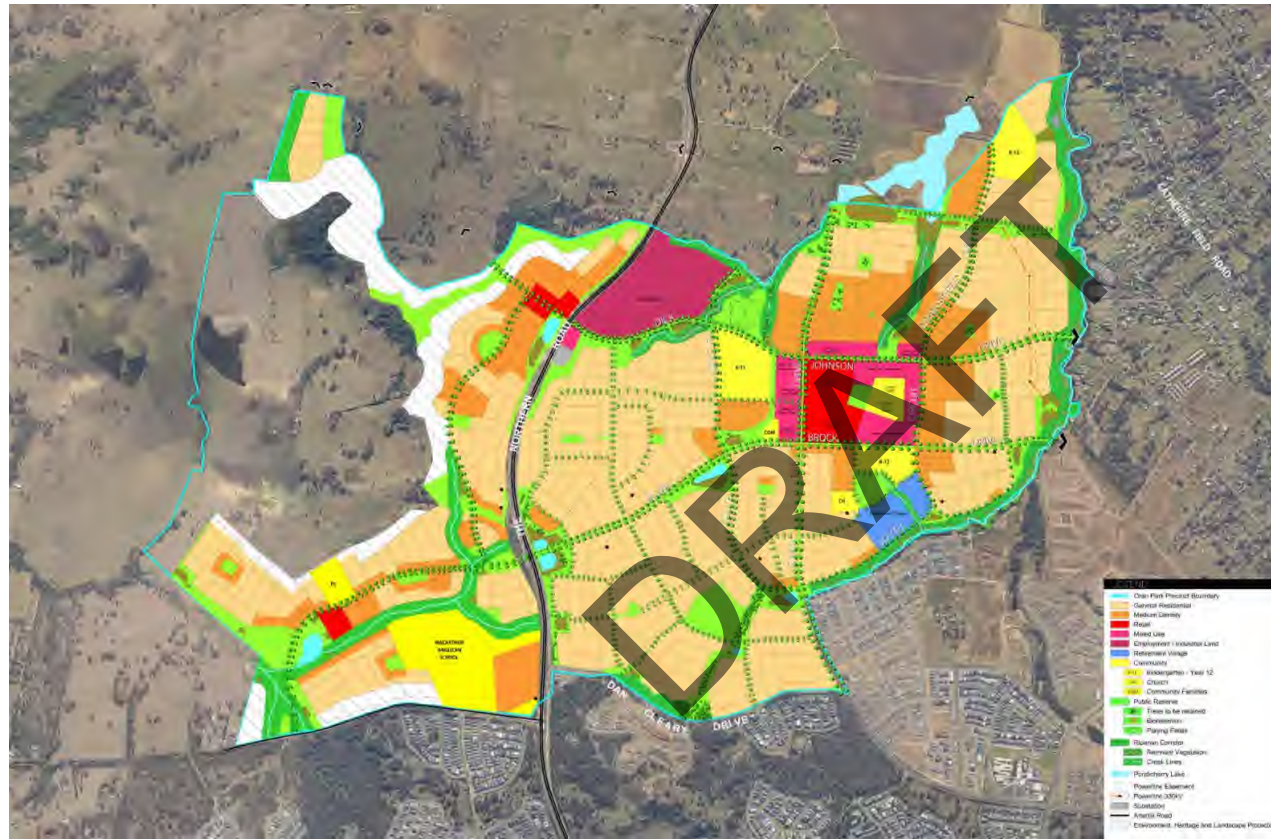
- 4. To ensure housing density targets are met through the provision of a range of housing types that offer greater diversity and affordability.
- 5. To create walkable neighbourhoods with good access to public transport.
- 6. To maximise opportunities for local employment and business.
- 7. To create vibrant, successful town and neighbourhood centres.
- 8. To provide social infrastructure that is flexible and adaptable.
- 9. To maximise opportunities for future residents to access and enjoy the outdoors.
- 10. To protect and enhance riparian corridors, significant trees and vegetation.
- 11. To ensure the timely delivery of critical infrastructure.
- 12. To service the future educational needs of the precinct through the delivery of quality places of learning.

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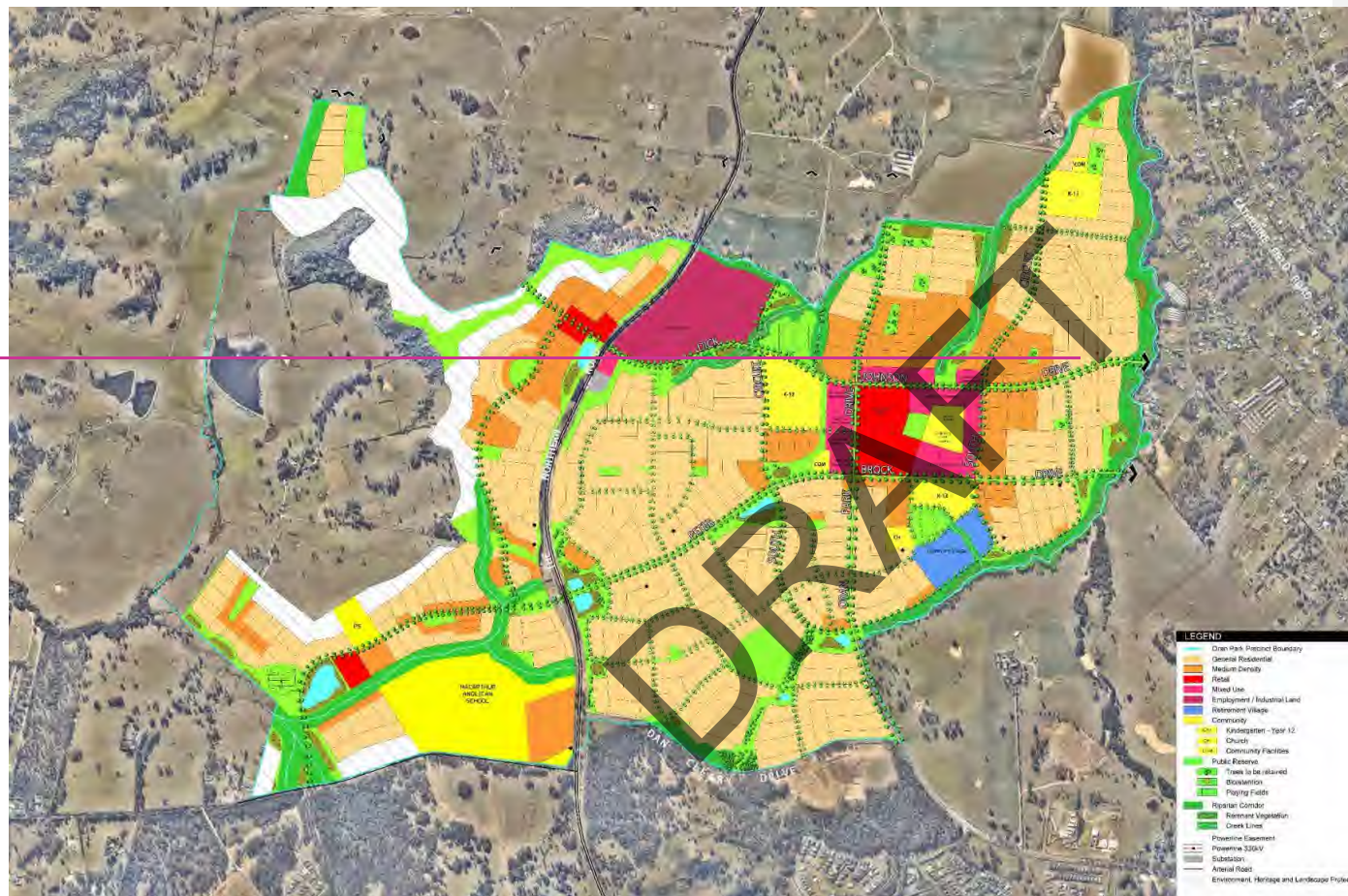


Figure 332: Oran Park Precinct Indicative Layout Plan (as amended in relation to amendment no.143)
Oran Park Development Control Plan – Amendment No.143

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2.3 Residential Density Targets

Objectives

- a. To ensure the residential density targets identified in the SEPP and confirmed through the ILP preparation process are achieved.
- b. To provide a range of residential development densities and types for a wide variety of demographic and socio-economic groups.

Controls

- 1. The residential dwelling target for the Oran Park Precinct is 7,540. In order to ensure the residential dwelling targets are achieved, as part of a subdivision application, an applicant is to demonstrate to Council that the sub-precinct dwelling targets shown in **Figure 3** will be achieved. Subject to the agreement of Council and consultation with relevant landowners, dwelling yield may be 'traded' between sub-precincts as long as it meets the overall targets and objectives of the DCP and ILP. Where variation to the sub-precinct dwelling targets is proposed, an applicant is to demonstrate that the overall dwelling target of 7,540 dwellings for the precinct can still be achieved.

2.3.1 Infrastructure Delivery and Development Staging

Objectives

- a. To ensure the orderly development of the land and assist in the coordinated programming and provision of necessary infrastructure and community facilities.

Controls

- 1. Core infrastructure, services and facilities are to be established at the early stages of development consistent with the *Special Infrastructure Contributions Practice Note* and the *Oran Park and Turner Road Section 94 Contributions Plan*.
- 2. A staging plan for the sub-precinct as identified at **Figure 3** is to be prepared and submitted to Council as part of the first subdivision DA within that sub-precinct. The staging plan is to broadly identify the indicative residential dwelling targets, staging and delivery of future development areas as well as the intended provision of social and physical infrastructure required for that sub-precinct. Council may require an applicant to update the staging plan as development progresses.

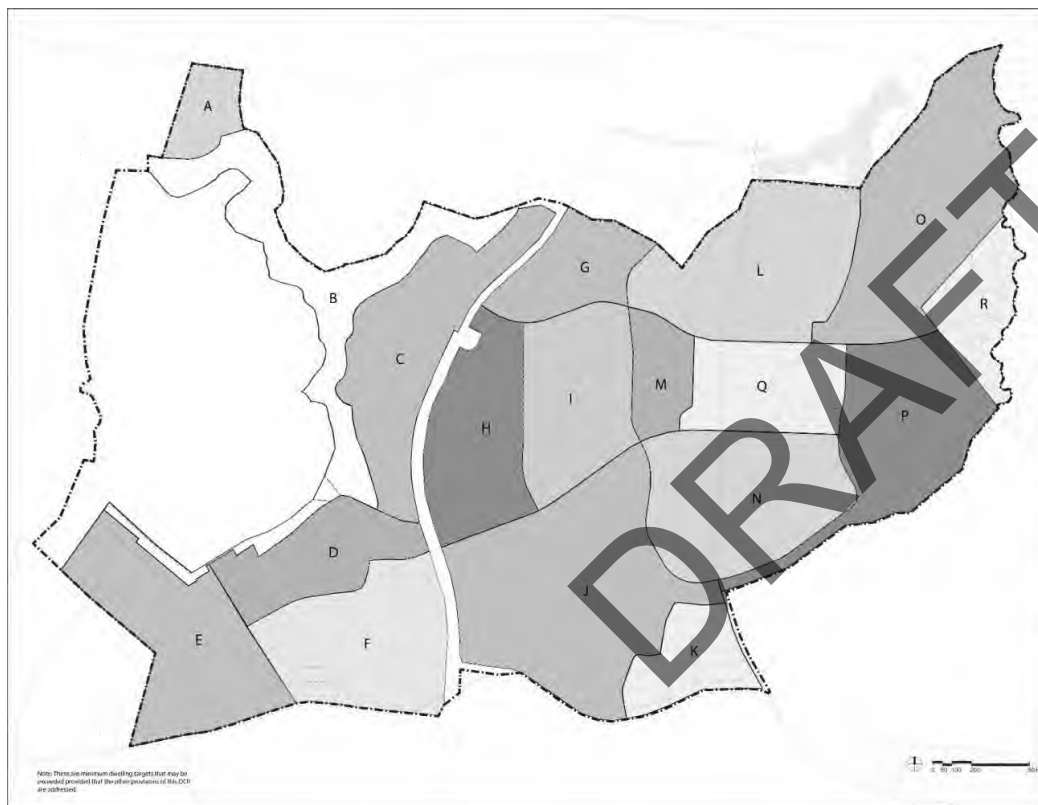




Figure 3: Indicative Residential Dwelling Target Sub-Precincts

2.4 Hierarchy of Centres and Employment Areas

Objectives

- a. To ensure an appropriate supply, distribution, and mix of retail, commercial and employment floor space across the precinct.
- b. To ensure that the retail floor space within the Oran Park Precinct does not undermine the potential of existing and proposed centres within the region.
- c. To encourage the early investment and delivery of employment generating development and retail uses to serve the population.

Controls

- 1. Development is to be consistent with **Table 1** and **Figure 4**.

Table 1: Hierarchy of Centres and Employment Areas

Centre / Employment Area	Characteristics
Oran Park Town Centre	The Oran Park Town Centre is approximately 24.6ha in area and located towards the centre of the Oran Park Precinct. The Town Centre will be the main centre for the southern portion of the South West Sector Growth Centre and will function as the retail and community focal point for the Oran Park and neighbouring precincts. The following floor space restrictions will apply: A maximum aggregate of 50,000m ² Gross Lettable Area – Retail (GLAR) of retail premises. GLAR means the total area of a tenancy by the Property Council of Australia’s Method of Measurement definition.
Northern Neighbourhood Centre	The Northern Neighbourhood Centre is approximately 2ha in area and is located in the north-west corner of the precinct. The centre will be anchored around a vibrant main street built form focused on ‘East – West Road 1’ and will offer an attractive, inviting and high quality public domain. The centre will also address the Northern Road, capitalising on exposure to this road. The centre will include a mix of neighbourhood scale retail and commercial activities (for example a small scale supermarket, speciality shops, restaurants / cafes, newsagent, tavern, real estate offices, commercial offices, medical suites) and highway orientated uses (for example service station, take away / fast food, car repairs and the like). The following floor space restrictions will apply: A maximum aggregate of 5,000m ² GLAR shall apply to retail premises, with no individual retail premises (other than landscape supplies) having GLAR greater than 1,500m ² .
Southern Neighbourhood Centre	The Southern Neighbourhood Centre is approximately 1.8ha. It is located in the south west corner of the Precinct. Overlooking water, and sited on the ‘Southern Boulevard (west)’ in close proximity to the primary school and sports oval, the centre will serve as a community focal point for residents to the west of the Northern Road and in neighbouring localities to the south and west. The centre will provide neighbourhood scale retailing including small scale supermarket, speciality shops, restaurants / cafes, newsagent, tavern, real estate offices, commercial offices, medical suites, a service station and the like. The centre may also include shop top housing, apartments and / or townhouses. The following floor space restrictions will apply: A maximum aggregate of 5,000m ² GLAR shall apply to retail premises, with no individual retail premises (other than landscape supplies) having a GLAR greater than 1,500m ² .
Oran Park Employment Area	The Oran Park Employment Area is approximately 18ha in area and is located in the northern portion of the precinct. It may provide for a range of industrial, light industrial, warehouse, and distribution uses. Higher employment generating uses will be preferred over low intensity uses.

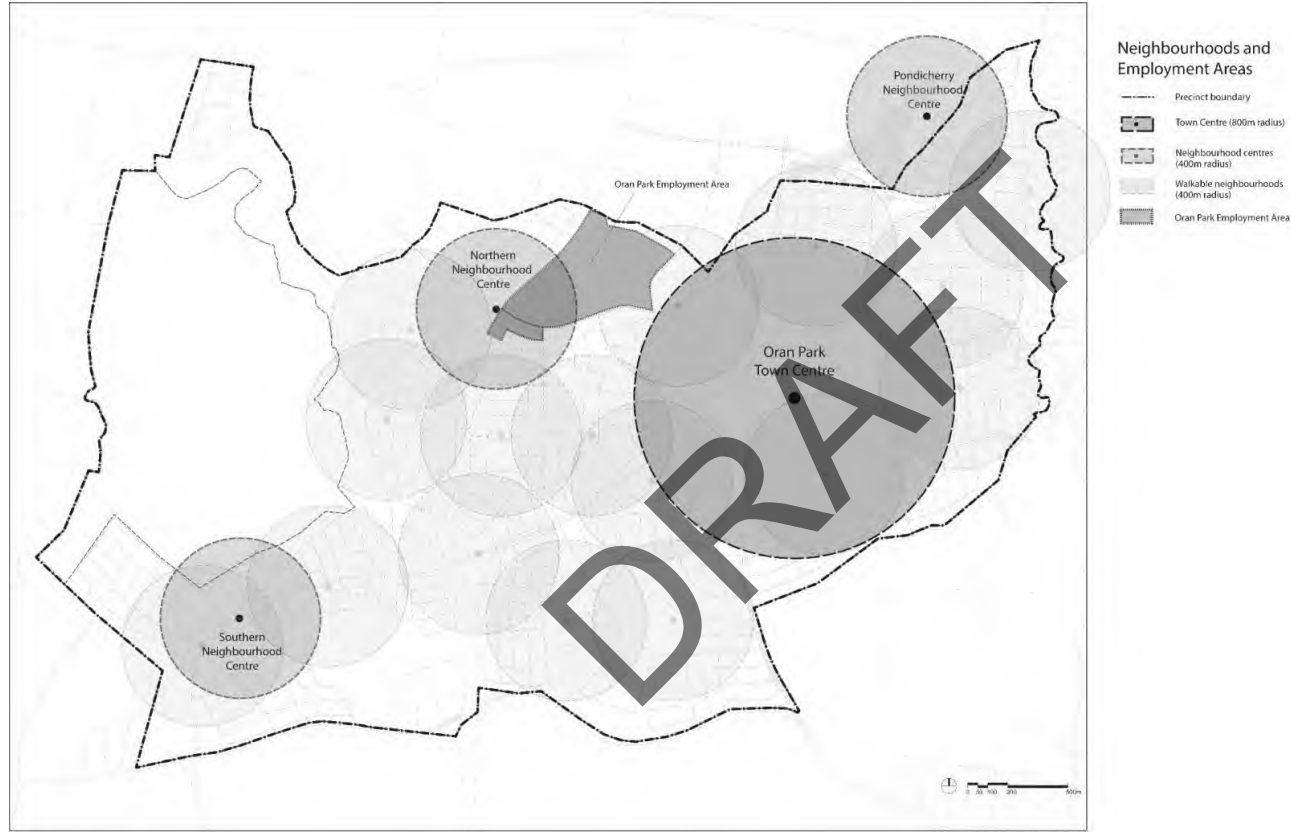




Figure 4: Neighbourhood Centres and Employment Areas

3. Access and Movement

This section contains the objectives and development controls relating to the street network, street design standards, the pedestrian and cycleway network and the public transport network.

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3.1 Street Network Layout and Design

Objectives

- a. To provide a hierarchy of interconnected streets that gives safe, convenient and legible access within and beyond the precinct.
- b. To ensure that the hierarchy of the streets is clearly discernible through variations in carriageway width, on-street parking, incorporation of water sensitive urban design measures, street tree planting, and pedestrian amenities.
- c. To provide a safe and convenient public transport, pedestrian and cycleway network.
- d. To ensure a high quality, functional, safe, legible and visually attractive public domain.

Controls

1. The street network is to be provided generally in accordance with **Figure 2** and **Figure 5**. Where any variation to the residential street network indicated with **Figure 2** and **Figure 5** is proposed, the alternative street network is to be designed to achieve the following principles:
 - establish a permeable network that is based on a modified grid system,
 - encourage walking and cycling and reduce travel distances,
 - maximise connectivity between residential areas and community facilities, open space and centres,
 - take account of topography and accommodate significant vegetation,
 - optimise solar access opportunities for dwellings,
 - provide frontage to and maximise surveillance of open space and riparian corridors,
 - provide views and vistas to landscape features and visual connections to nodal points and centres,
 - maximise the use of water sensitive urban design measures, and
 - minimise the use of cul-de-sacs. If required, the maximum number of dwellings to be served by the head of a cul-de-sac is 6.
2. Streets are to be provided in accordance with **Tables 2-9**. The dimensions shown on these typical diagrams are minimums only. Alternative street designs may be permitted on a case by case basis if they preserve the functional objectives and requirements of the design standards.
3. Where local streets are proposed with the minimum cross-section provided for by **Table 8** or **Table 9**, they:
 - should provide front loaded access to no more than a total of 30 allotments, including any battle-axe lots,

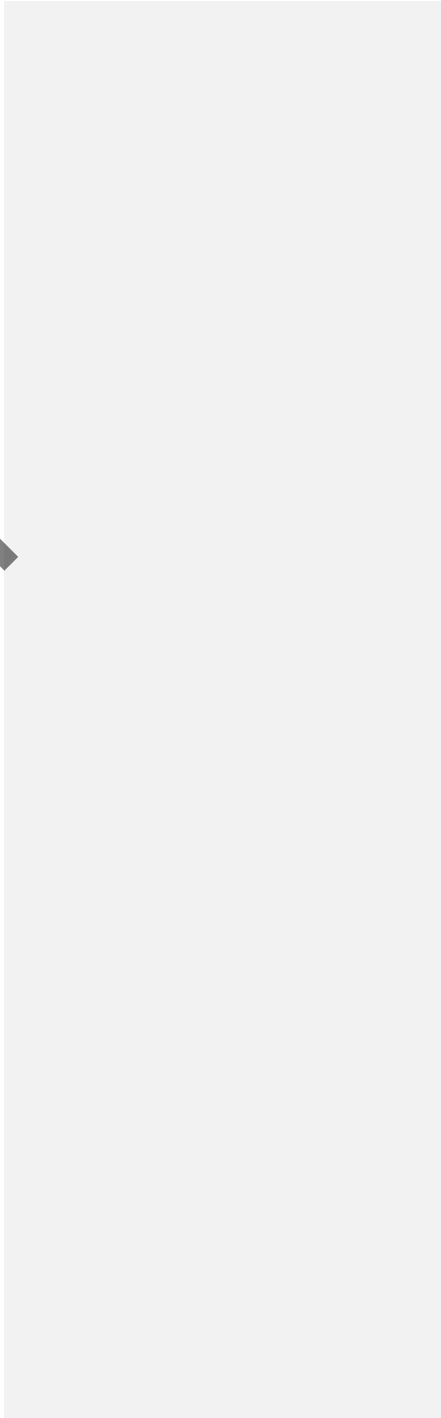
- should be less than 200m in length, and
 - should preferably be located adjoining parkland, riparian corridor or other type of open space or should play a minor role in the road network, providing low volume linkages and connections to more significant roads.
4. Except where otherwise provided for in this DCP, all streets and roundabouts are to be designed and constructed in accordance with the minimum requirements set out in the *Camden Council Engineering Design and Construction Specifications*. In particular:
- intersection treatments are required to clearly identify the road hierarchy and create well defined intersections,
 - traffic islands and slow points are to be constructed of concrete or paving. Extended speed humps (i.e. plateaus) are not permitted for traffic calming,
 - roundabouts on non-bus route locations are to be designed to accommodate heavy vehicles, and
 - road pavement shall be asphalt. Coloured asphalt, concrete or paving bricks may be used to define cycle lanes, car parking spaces or at intersections.
5. For all local streets and access ways, traffic management, i.e. road layout and / or speed reducing devices, are to be used to produce a low speed traffic environment. Such traffic management devices are to be identified at subdivision DA stage.
6. Intersection spacing and design should be consistent with the following best practice guidelines:
- the minimum distance from an access place or road to a collector road is to be 60 metres if the junction is on the same side of the road, or 40 metres if it is staggered on the opposite side of the road,
 - the minimum distance between collector roads is to be 120 metres if the junction is on the same side, or 100 metres if it is staggered on the opposite side of the road, and
 - intersections are to be either T-junctions or roundabouts. Where 4-way intersections are proposed, traffic is to be controlled, where appropriate, by lights, roundabouts, median strips or signage.
7. Turning heads at the end of a cul-de-sac are to be consistent with the following design principles:
- a turning area shall provide sufficient area for a "large (12m long) rigid truck" to make a three point turn or turn without reversing,
 - the minimum dimension for a cul-de-sac turning head is 9m radius (where no central island exists),
 - lot configurations that discourage parking in the manoeuvring area are preferred, and

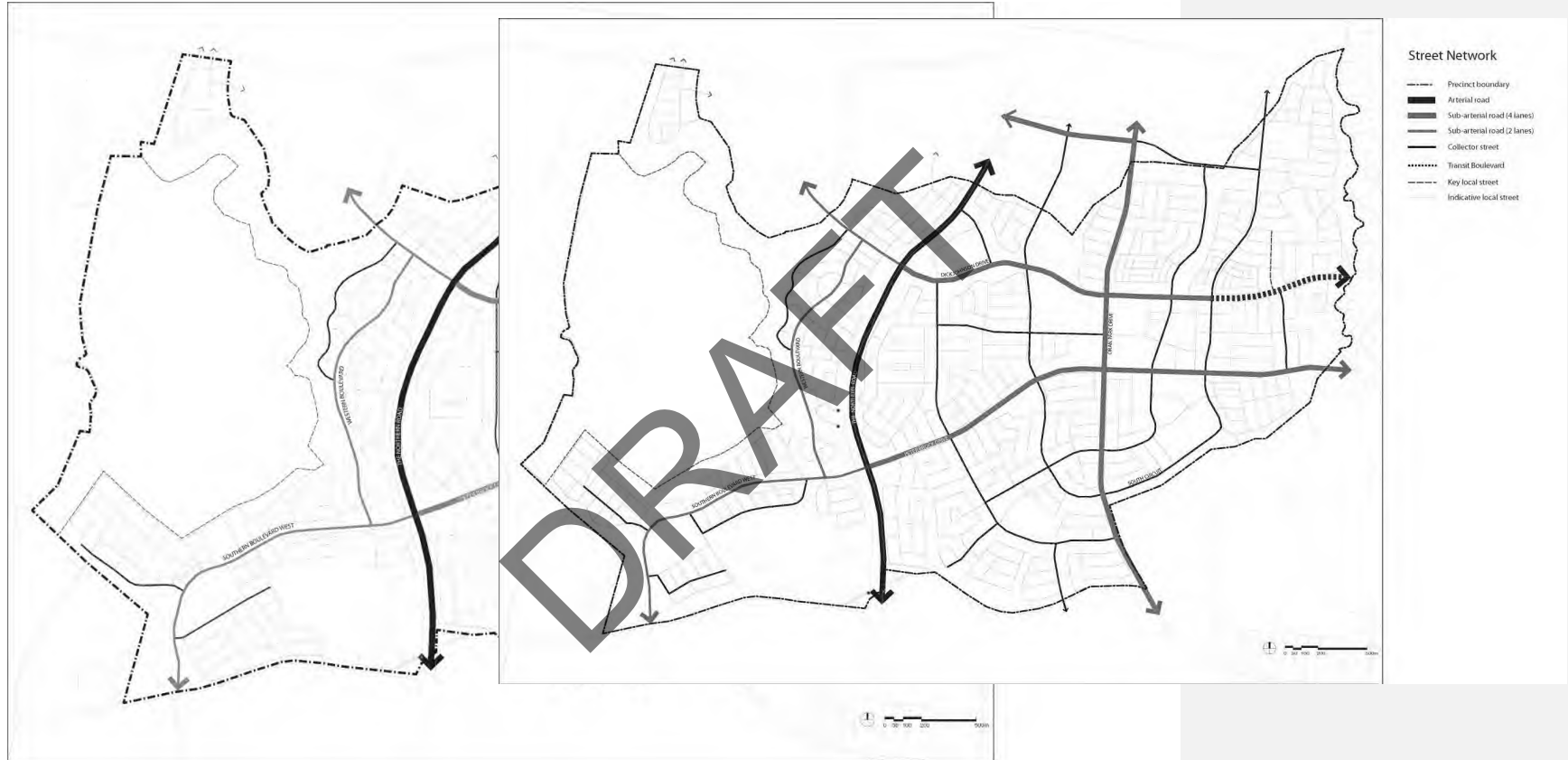
- "T" configuration turning heads will be considered where they allow efficient and safer manoeuvring for waste service collection and other delivery vehicles.
8. Where roads are adjacent to public reserves or riparian corridors, the verge widths may be reduced to a minimum of 1m, subject to footpaths, public utilities, bollards and fencing being adequately provided for and APZs and riparian corridors requirements being addressed.
 9. Any private road is to be designed and built in accordance with the *Camden Council Engineering Design and Construction Specifications*. Details must be shown on the engineering construction drawings that must be submitted prior to the issue of the Occupation or Subdivision Certificate (whichever occurs first).
 10. Street trees are required on all streets. Street planting is to:
 - be used consistently to distinguish between public and private spaces and between different classes of street within the street hierarchy,
 - minimise risk to utilities and services,
 - be durable and suited to the street environment and include endemic species,
 - maintain adequate lines of sight for vehicles and pedestrians, especially around driveways and street corners,
 - provide appropriate shade, and
 - provide an attractive and interesting landscape character without blocking the potential for street surveillance.
 11. Any proposal for street tree planting within the road reserve (i.e. carriageway and footpath) is to include appropriate detailed design that addresses access and manoeuvrability of heavy vehicles, street sweepers and cars, the impact of the root system on the carriageway, ongoing maintenance of the tree and carriageway, and the relationship with future driveway access points. It must also address any adverse impact on available on-street parking, especially in higher density areas.
 12. The location and design of signage, street furniture and street lighting is to be indicated on the engineering construction drawings.

Note: Locating entry signage and the like within a public road reserve is subject to Council agreement.
 13. The design of all signage, street furniture and street lighting is to be consistent with Council's *Landscape and Streetscape Elements Manual for Camden* and be:
 - designed to reinforce the distinct identity of the development,
 - coordinated in design and style,
 - located so as to minimise visual clutter and obstruction of the public domain,

- of a colour and construction agreed by Council, and
 - consistent with any relevant Australian Standard including the AS / NZS 1158 series for street lighting.
14. No direct vehicular site access is permitted to The Northern Road. Direct vehicular site access to the proposed transit boulevard and the 4 lane sub-arterial roads will be considered to town and neighbourhood centres in exceptional circumstances only, such as for large scale developments and / or the servicing of multiple developments. Direct vehicular site access to 2 lane sub-arterial roads will be determined on merit having regard to traffic volumes, traffic speeds and the location of cycleways.
15. The minimum kerb radii for intersections of local roads shall be 7.5m, subject to a minimum verge width of 3.5m. The kerb radii may need to be increased to facilitate truck turning requirements, services, drainage, intersection sight distance or other specific design criteria. Note: The minimum kerb radii is based on sight distance being available for a street pattern based on a modified grid. Curvilinear streets may require increased kerb radii and boundary splays to achieve sight distance requirements.

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Figure 5: Street Network Plan

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Table 2: Transit Boulevard (Typical Minimum Cross section)

Verge			Carriageway			Verge			Total
Planting	Footpath	Offset	Lane	Median	Lane	Offset	Footpath	Planting	
1.5	1.5	0.5	8.7	5.0	8.7	0.5	1.5	1.5	29.4
3.5			22.4			3.5			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 2m cycle lane*, 3.5m kerbside travel lane and a 3m travel lane.
* a 2.5m off-road shared pedestrian and cycle share path will be required to be constructed if a cycle lane is not provided.
- (3) On-street parking is not permitted on the Transit Boulevard, except where the road adjoins a town or neighbourhood centre, where an additional parking lane may be provided.
- (4) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (5) No direct vehicular access to individual lots is permitted, except where the road adjoins a town or neighbourhood centre, where direct vehicular site access will be considered in exceptional circumstances only (refer to clause 3.1 (14)).
- (6) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping.
- (7) Tree planting is not permitted within the carriageway.

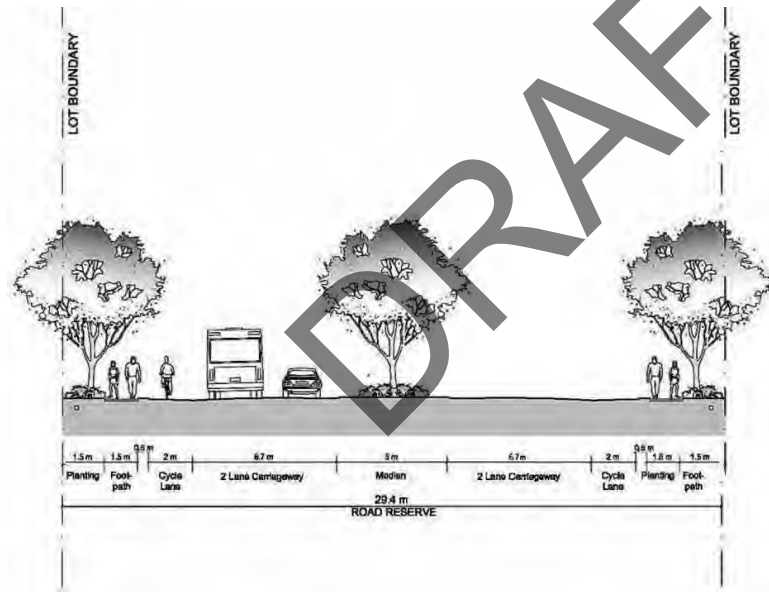


Figure 6: Indicative Layout of a Transit Boulevard

Table 3: Four Lane Sub-Arterial (Typical Minimum Cross Section)

Verge			Carriageway			Verge			Total
Offset	Shared path	Planting	Lane	Median	Lane	Planting	Shared path	Offset	
0.6	3.0	1.8	6.7	4.2	6.7	1.8	1.5	0.6	26.9
5.4			17.6			3.9			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 3.5m kerbside travel lane and a 3.2m travel lane.
- (3) The median is designed to accommodate right turning lanes.
- (4) On-street parking is not permitted on four lane sub-arterial roads, except where the road adjoins a town or neighbourhood centre, where an additional parking lane may be provided.
- (5) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (6) No direct vehicular access to individual lots is permitted, except where the road adjoins a town or neighbourhood centre, where direct vehicular site access will be considered in exceptional circumstances only (refer to clause 3.1 (14)).
- (7) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping.
- (8) Tree planting is not permitted within the carriageway.

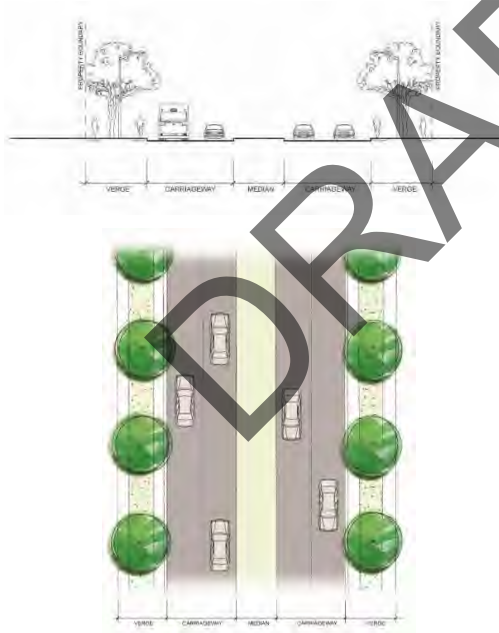


Figure 7: Indicative Layout of a Four Lane Sub-Arterial

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in Table 3.

Table 4: Two Lane Sub-Arterial (Typical Minimum Cross Section)

Verge			Carriageway		Verge			Total
Offset	Shared Path	Planting	Lane	Lane	Planting	Footpath	Offset	
0.6	2.5	1.5	5.6	5.6	1.5	1.2	0.6	19.1
4.6			11.2		3.3			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 2.1m parking lane and a 3.5m travel lane. Linemarking of the road centre-line only is required. If the parking lane is proposed to be linemarked, the lane width shall be increased to 5.8m (2.3m parking lane and 3.5m travel lane).
- (3) Direct access to individual lots may be permitted, depending on the circumstances. Where a 2 lane sub-arterial road is proposed to be access denied, the parking lane may not be required (however, a parking lane may be required if the road is adjacent to local shops, open space, playing fields, schools or the like). Where a parking lane is not required, the carriageway shall be a minimum of 9.6m wide (consisting of two 4.8m lanes).
- (4) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (5) Tree species selection and spacing will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection, where permitted.
- (6) Where a cycle lane or shared path is a designated commuter route, and where direct access to lots is permitted, the lane / path may be required to have a greater setback from the property boundary.
- (7) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services or a shared path or cycle lane are proposed to be located in this verge area.
- (8) Tree planting is not permitted within the carriageway.

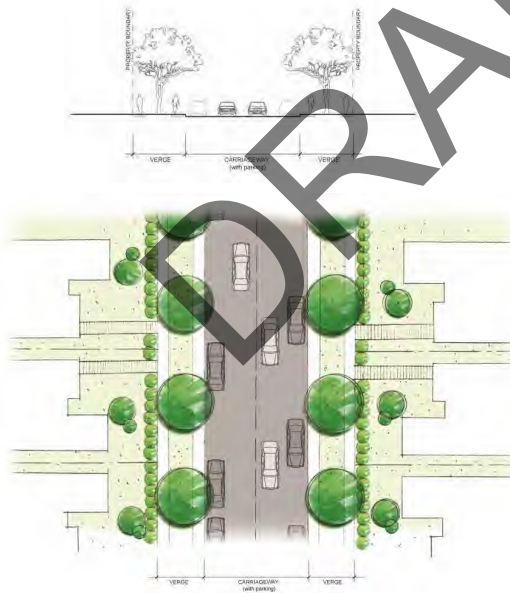


Figure 8: Indicative Layout of a Two Lane Sub-Arterial Road

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in Table 4.

Table 5: Two Lane Sub-Arterial with Optional Median (Typical Minimum Cross Section)

Verge			Carriageway			Verge			Total
Offset	Shared Path	Planting	Lane	Median	Lane	Planting	Shared Path	Offset	
0.6	2.5	1.5	5.6	2.0	5.6	1.5	1.2	0.6	21.1
4.6			13.2			3.3			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 2.1m parking lane and a 3.5m travel lane. If the parking lane is proposed to be linemarked, the lane width shall be increased to 5.8m (2.3m parking lane and 3.5m travel lane).
- (3) If right turn lanes are required, the median shall be increased to 4.2m.
- (4) Direct access to individual lots may be permitted, depending on the circumstances. Where a 2 lane sub-arterial road is proposed to be access denied, the parking lane may not be required (however, a parking lane may be required if the road is adjacent to local shops, open space, playing fields, schools or the like). Where a parking lane is not required, the minimum lane widths shall not be reduced.
- (5) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (6) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection, where permitted.
- (7) Where a cycle lane or shared path is a designated commuter route, and where direct access to lots is permitted, the lane / path may be required to have a greater setback from the property boundary.
- (8) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services or a shared path or cycle lane are proposed to be located in this verge area.
- (9) Tree planting is not permitted within the carriageway.

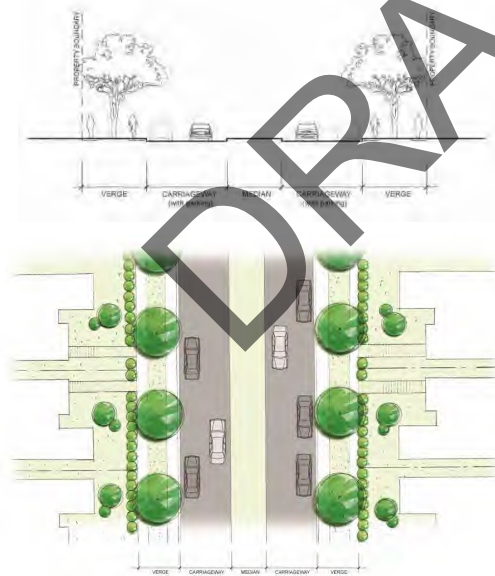


Figure 9: Indicative Layout of a Two Lane Sub-Arterial Road (with Optional Median)

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in Table 5.

Table 6: Collector Road (Typical Minimum Cross Section)

Verge			Carriageway		Verge			Total
Offset	Shared Path	Planting	Lane	Lane	Footpath	Offset	Offset	
0.6	2.5	1.5	5.2	5.2	1.5	1.2	0.6	18.3
4.6			10.4		3.3			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 2.1m parking lane and a 3.1m travel lane. Linemarking of the road centre-line only may be required. If the parking lane is proposed to be linemarked, the lane width shall be increased to 5.4m (2.3m parking lane and 3.1m travel lane).
- (3) Direct access to individual lots is permitted. Where a collector road is proposed to be access denied, the parking lane may not be required (however, a parking lane may be required if the road is adjacent to local shops, open space, playing fields, schools or the like). Where a parking lane is not required, the carriageway shall be a minimum of 9.6m wide (consisting of two 4.8m lanes).
- (4) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (5) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection.
- (6) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services or a shared path or cycle lane are proposed to be located in this verge area.
- (7) Any proposed tree planting within the carriageway must be in accordance with the recommendations of a Traffic Study submitted with the application. Where proposed on both sides of the road, the carriageway shall be a minimum of 11.2m consisting of two 3.5m lanes and two 2.1m parking / planting lanes. Where proposed on one side of the road only, the carriageway shall be a minimum of 10.1m, consisting of two 4.0m lanes and one 2.1m parking / planting lane.
- (8) The outer edge of any planting areas is to be no more than 1.8m from the outer edge of the carriageway.

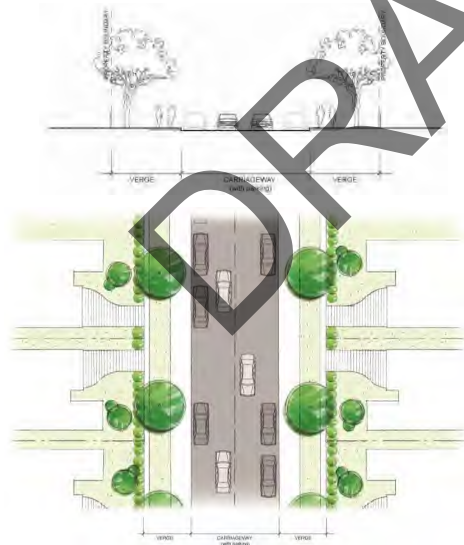


Figure 10: Indicative Layout of a Collector Road

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in **Table 6**.

Table 7: Collector Road with Optional Median (Typical Minimum Cross Section)

Verge			Carrageeway			Verge			Total
Offset	Shared Path	Planting	Lane	Median	Lane	Planting	Shared Path	Offset	
0.6	2.5	1.5	5.6	2.0	5.6	1.5	1.2	0.6	21.1
4.6			13.2			3.3			

Notes:

- (1) The carrageeway is measured from face of kerb to face of kerb.
- (2) The lane width consists of a 2.1m parking lane and a 3.5m travel lane. If the parking lane is proposed to be linemarked, the lane width shall be increased to 5.8m (2.3m parking lane and 3.5m travel lane).
- (3) Direct access to individual lots is permitted. Where a collector road is proposed to be access denied, the parking lane may not be required (however, a parking lane may be required if the road is adjacent to local shops, open space, playing fields, schools or the like). Where a parking lane is not required, the minimum lane widths shall not be reduced.
- (4) The individual sections within the verge may need to be wider if light poles / trees are to be located within those sections to provide clearance for motorists and cyclists in accordance with the relevant standards.
- (5) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection.
- (6) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services or a shared path or cycle lane are proposed to be located in this verge area.
- (7) Tree planting is not permitted within the carrageeway.

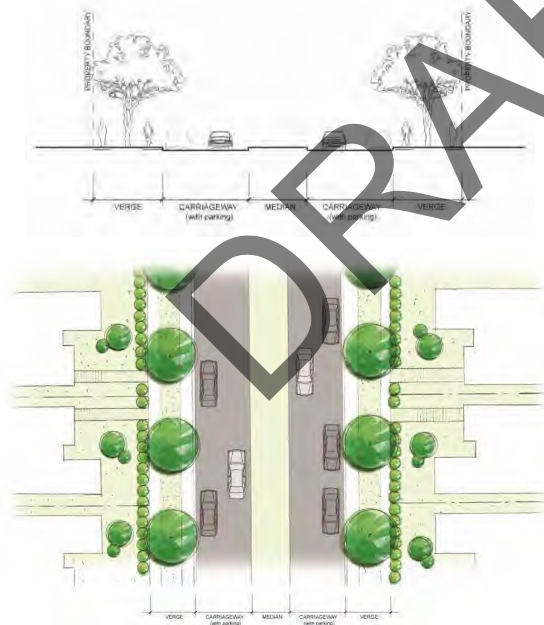


Figure 11: Indicative Layout of a Collector Road (with Optional Median)

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in **Table 7**.

Table 8: Local Street (Typical Minimum Cross Section)

Verge			Carriageway		Verge		Total
Offset	Footpath	Planting	Lane	Lane	Planting	Offset	
0.6	1.2	1.7	3.7	3.7	2.9	0.6	14.4
3.5			7.4		3.5		

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The carriageway width allows for two vehicles to pass adjacent to a parked car or one vehicle to pass between two parked cars. The parking and travel lanes or centre-line shall not be line-marked.
- (3) A roll kerb is required if the minimum carriageway width is proposed. Where a barrier kerb is proposed, the carriageway shall be increased to 7.6m.
- (4) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection.
- (5) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services are proposed to be located in this verge area.
- (6) For local roads accessing larger lots, where there is minimal direct lot access and demand for on-street parking, consideration will be given to a reduced carriageway.
- (7) Tree planting is not permitted within the carriageway.

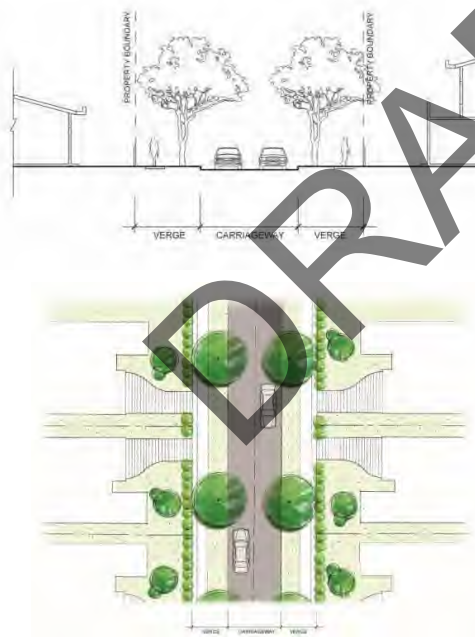


Figure 12: Indicative Layout of Local Street

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in **Table 8**.

Table 9: Local Street with Defined Planting Area and Parking in Carriageway (Typical Minimum Cross Section)

Verge			Carriageway				Verge			Total
Offset	Footpath	Planting	Planting/ Parking	Lane	Lane	Planting/ Parking	Planting	Offset		
0.6	1.2	1.7	2.1	2.75	2.75	2.1	2.9	0.6	16.7	
3.5			2.1	5.5		2.1	3.5			

Notes:

- (1) The carriageway is measured from face of kerb to face of kerb.
- (2) The outer edge of planting areas is to be no more than 1.8m from the outer edge of the carriageway.
- (3) The length of planting areas are to be designed to discourage parking in the lane.
- (4) The length of parking bays is to be designed to provide sufficient room for the parking of three vehicles, driveways and garbage collection.
- (5) No linemarking or other delineation is allowed if the minimum parking bay width is proposed. If linemarking or other delineation is proposed, the parking bay width shall be increased to 2.3m.
- (6) Tree species selection and spacing of trees will need to take into consideration the location of the trees and the impact on on-street activities such as street sweeping and garbage collection.
- (7) The carriageway shall be designed with a cross fall from the centre line to the kerbs on the outer edges of the carriageway. Planting areas shall have a separate kerb edge, however, consideration will be given to appropriate means of using the planting bays for water sensitive urban design purposes.
- (8) For roads adjacent to riparian corridors or other similar non-residential land (e.g. golf course, water supply canal) the verge on the non-residential side may be reduced to 1.0m wide. However, the verge width may be required to be wider if trunk services are proposed to be located in this verge area.
- (9) Where planting / parking bays are proposed on one side of the road only, the lane widths shall be increased to 3.0m.

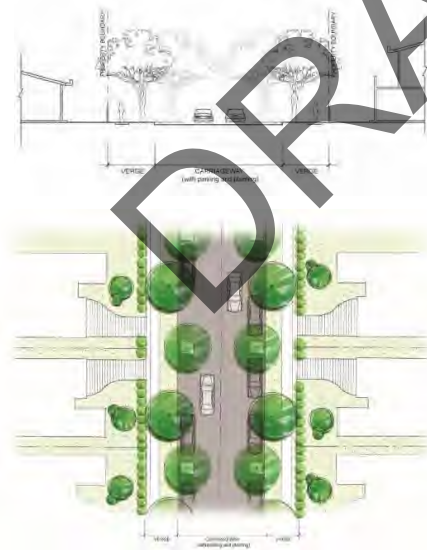


Figure 13: Indicative Layout of a Local Street (with Defined Planting and Parking in Carriageway)

Note: This figure is indicative only, not to scale and should not be used to determine the road dimensions or layout. The dimensions and layout are defined in Table 9.

3.1.1 Laneways

Laneways are public roads that are shareways, utilitarian thoroughways of the street network that provide rear vehicular access to compact or restricted access lots. The primary purpose of rear laneways is to create attractive front residential streets by removing garages and driveway cuts from the street frontages, improving the presentation of houses and maximising on street parking spaces and street trees. Laneways are a 'sacrificial' network device: while they should be neat and tidy, they should not be confused with streets in width, character or function.

A laneway is a shareway, designed to be shared by all users whether they are pedestrians, cyclists or drivers. Equal priority between all users reinforces the distinctive, slow speed environment for drivers.

In their design and subdivision of lots, laneways should be provided with casual surveillance from some second floor rooms and balconies over garages. Various building forms can provide this casual surveillance along the lane such as studio dwellings, secondary dwellings and rooms of the principal dwelling or lofts over garages. Separate titling of studio dwellings may affect servicing requirements. Generally there will be no underground services in the laneway (except for streetlights) as the studios will be strata titled so power, water, gas, sewer and communications will be located in the front street and reticulated from the front of the allotment through the lot to the rear studio.

Objectives

- a. To provide vehicular access to the rear or side of lots where front access is restricted or not possible, particularly narrow lots where front garaging is not permitted.
- b. To reduce garage dominance in residential streets.
- c. To maximise on-street parking spaces and landscaping in residential streets.
- d. To provide opportunities for affordable housing options.
- e. To reduce vehicular conflict through reduced driveway cross overs and focusing of traffic to known points.
- f. To enable garbage collection.
- g. To facilitate the use of attached and narrow lot housing to achieve overall higher neighbourhood densities.
- h. To create a slow speed shared zone requiring co-operative driving practices for the very low volume and frequency of vehicle movements that is distinctly different in character and materials to residential streets.

Controls

1. The design and construction of laneways is to be consistent with **Figure 14** and *Growth Centres Practice Note: Laneways*.
2. The laneway is a public "shareway" as the paved surface is for cyclists, pedestrians, garbage

collection, mail deliveries, cars etc., with a 10 km speed limit and driveway-style crossovers to the street rather than a road junction.

- 3. The minimum garage doorway widths for manoeuvrability in this laneway section are 2.4m (single) and 4.8m (double).
- 4. The configuration of the laneway, associated subdivision and likely arrangement of garages arising from that subdivision should create ordered, safe and tidy laneways by designing out ambiguous spaces and unintended uses such as casual parking, the storage of trailers, bin stacking etc.

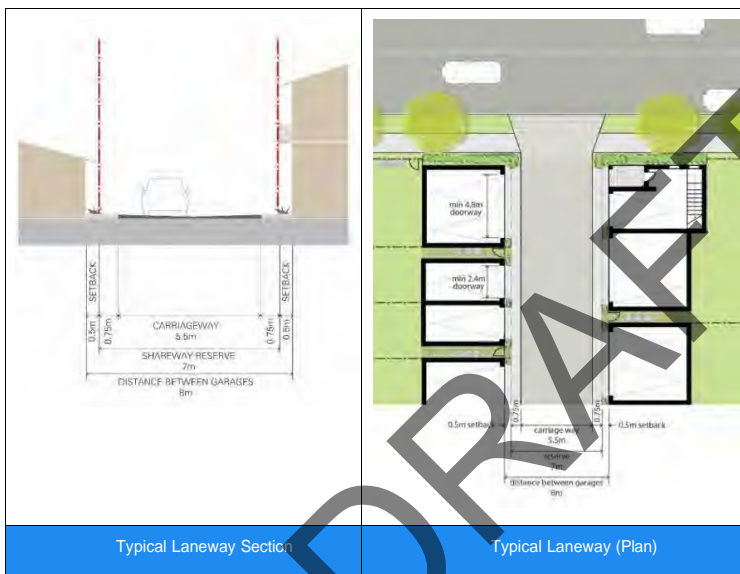


Figure 14: Laneway Principles

- 5. The layout of laneways should take into account subdivision efficiency, maximising favourable lot orientations, intersection locations with streets, topography, opportunities for affordable housing, legibility and passive surveillance.
 - generally, straight layouts across the block are preferred for safety and legibility, but the detailed alignment can employ subtle bends or secondary or studio dwellings over garages to add visual interest and avoid long distance monotonous views. "C" shaped layouts with the laneway length parallel to the front street can limit the views of laneways from residential streets to short sections. However, if the laneway is used for garbage collection, any bends or intersections are to be sized for garbage truck movements. Suggested layouts are in **Figure 15**, and
 - lanes on sloping land with significant longitudinal and / or cross falls require detailed design consideration to demonstrate roads).

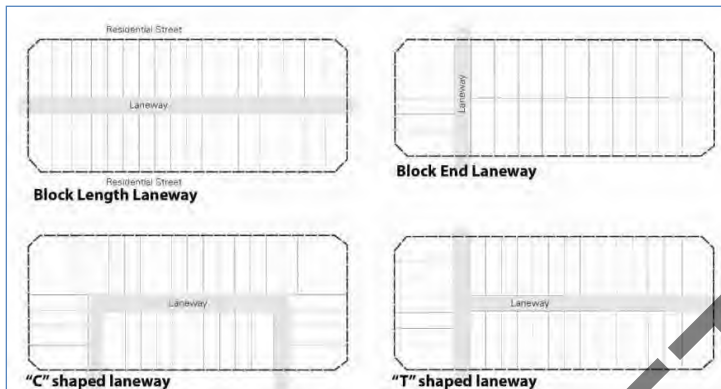


Figure 15: Sample Lane Layouts

6. Laneways that create a 'fronts to backs' layout (front addressed principle dwellings on one side and rear accessed garages on the other side) are to be avoided.
7. All lots adjoining a laneway should utilise the laneway for vehicular / garage access.
8. Passive surveillance along the laneway from the upper storey rooms or balconies of secondary dwellings, studio dwellings, principal dwelling or lofts over rear garages is encouraged. Ground floor habitable rooms on laneways are to be avoided unless they are located on external corners (laneway with a street) and face the street to take advantage of the residential street for an address, shown in **Figure 16** as lane entry / street corner lots. **Figure 16** indicates mid-lane lots and internal corner locations (lane with another lane) where ground floor habitable rooms in secondary dwellings or strata studios (marked 'S') are to be avoided.
9. A continuous run of secondary dwellings or strata studios along the lane is to be avoided, as it changes the character, purpose and function of the lane. No more than 25% of the lots adjoining lanes (excluding street corner lots with studio at the lane entry) are to have secondary dwellings or strata studios. See **Figure 16**.
10. All lot boundaries adjoining the lane are to be defined by fencing or built form. The garage setback to the lane is minimal (0.5m) to allow overhanging eaves or balconies to remain in the lot without creating spaces where people park illegally in front of garages and / or on the laneway. Deeper balconies requiring larger garage setbacks (up to 2m) may be permitted occasionally along the laneway provided the application demonstrates how the setback space will not create an opportunity for illegal parking, such as the presence of a supporting post or bollard.

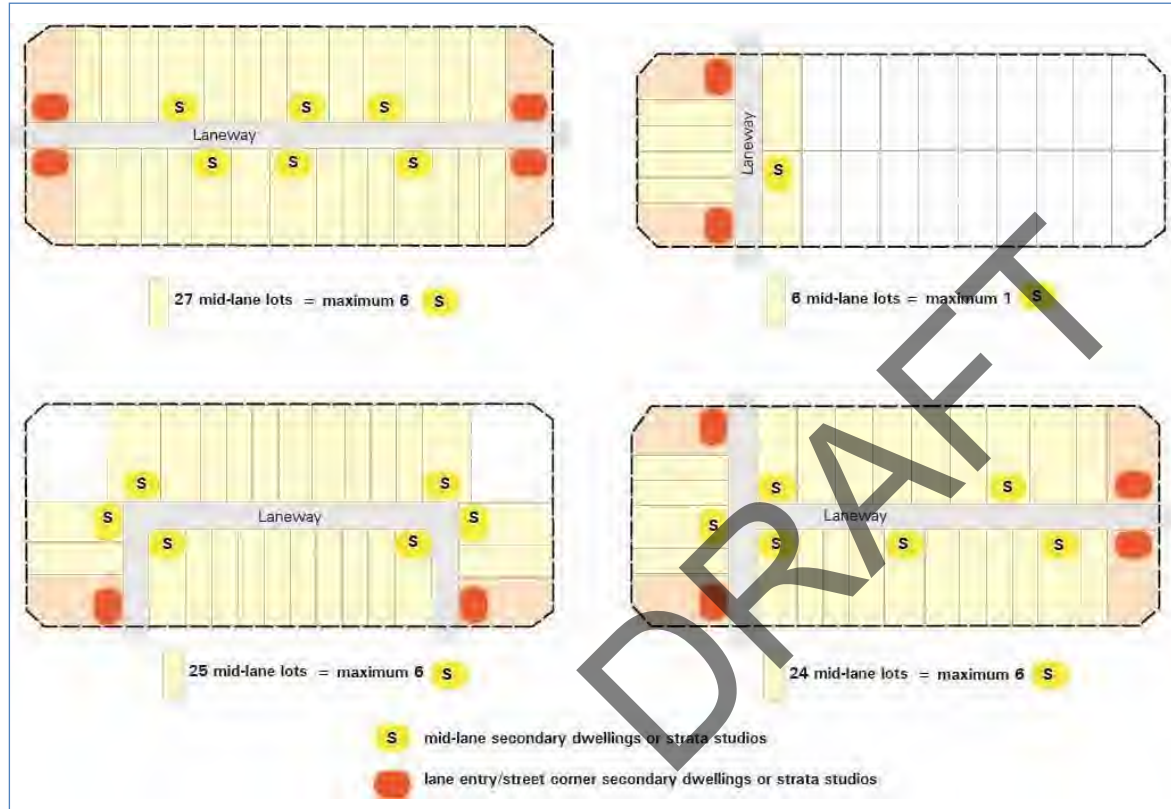


Figure 16: Sample Laneways Showing Maximum Number of Secondary Dwellings or Strata Studios

3.1.2 Shared Driveways

Shared driveways are privately owned and maintained driveways that serve two or more dwellings through a titling arrangement such as a reciprocal right of way or community title. Shared driveways are usually of minimal dimensions for vehicle access to lots with only a single access to the street network. Garbage collection is usually not a function. Shared driveways are a useful subdivision device for a small number of dwellings with otherwise difficult access or unavoidable block configurations, but are not a substitute in blocks designed with significant numbers of dwellings requiring rear access by laneways.

Objectives

- a. To minimise the impact of vehicle access points on the quality of the public domain and pedestrian safety.
- b. To provide safe and convenient access to garages, carports and parking areas.
- c. To clearly define public and private spaces, such that driveways are for the sole use of residents.
- d. To permit casual surveillance of private driveways from dwellings and from the street.

Controls

1. Shared driveways are to be constructed as one of three general types, depending on block geometry and garages to be accessed. Refer to examples in **Figure 17**.
2. Shared driveways are to have the smallest configuration possible to serve the required parking facilities and vehicle turning movements.
3. The driveway crossing the verge between the property boundary and the kerb is to have a maximum width of 5.4 metres.
4. The location of driveways is to be determined with regard to dwelling design and orientation, street gully pits and tree bays and is to maximise the available on-street parking.
5. The maximum travelling distance from a public road to a garbage collection area within a shared driveway is 70m. Where garbage collection is required to occur within the shared driveway (i.e. when an alternative collection point is not available), the layout is to be designed such that no reversing movements are required to be undertaken to enable a garage truck to enter and leave in a forward direction. A minimum pavement width of 5m and a turning circle with sweep turning paths overlaid into the design plan shall be submitted to demonstrate compliance with this requirement.
6. Access to allotments in the vicinity of roundabouts and associated splinter islands shall not be provided within 10m of the roundabout.
7. Driveways are not to be within 0.5m of any drainage facilities on the kerb and gutter.

8. Shared driveways are to have soft landscaped areas on either side, suitable for infiltration.
9. Shared driveways must be in accordance with the shareway principles and vehicle manoeuvring requirements of the *Growth Centres Practice Note: Laneways*.

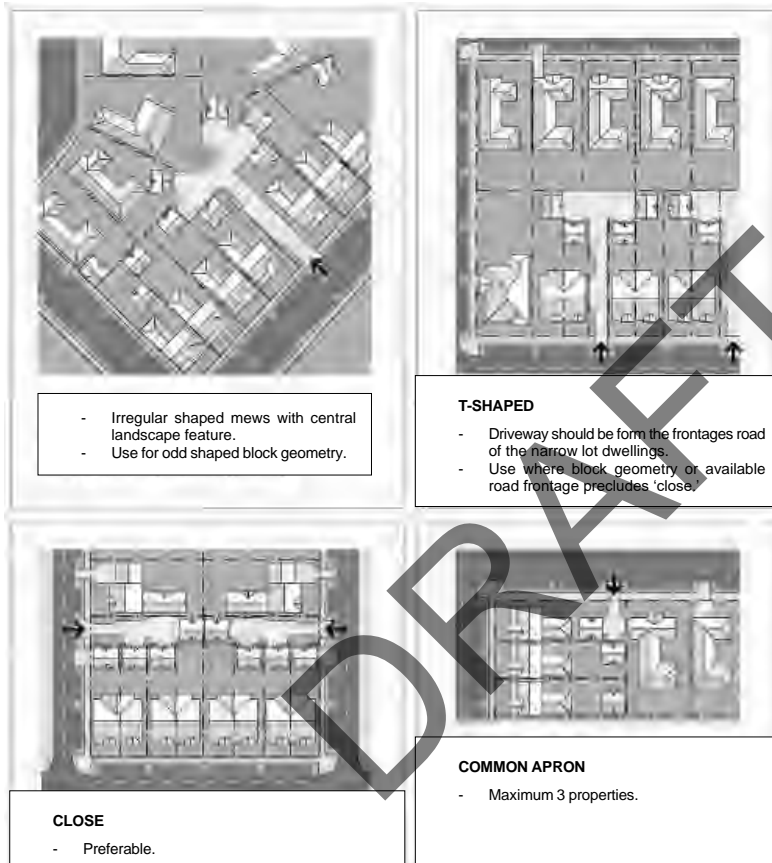


Figure 17: Indicative Examples of Shared Driveways

3.2 Pedestrian and Cycle Network

Objectives

- a. To provide a convenient, efficient and safe network of pedestrian and cycleway paths for the use of the community, within and beyond the site.
- b. To encourage residents to walk or cycle, in preference to using motor vehicles, as a way of gaining access to the schools, shops, and local community and recreation facilities.
- c. To promote the efficient use of land by allowing pedestrian pathways and cycleways to be located within parks and corridors wherever practical.

Controls

- 1. Key pedestrian and cycleway routes are to be provided generally in accordance with **Figure 18**. The design of cycleways located within the road reserve is to be in accordance with **Table 2 to Table 109**. The minimum width of off-street shared cycle and pedestrian pathways is to be 2.5m.
- 2. All pedestrian and cycleway routes and facilities are to be consistent with the *Planning Guidelines for Walking and Cycling (DoP and RTA 2004)* and Council's *Pedestrian Access and Mobility Plan 2003*.
- 3. Pedestrian and cycle routes and facilities in public spaces are to be safe, well lit, clearly defined, functional and accessible to all.
- 4. Pedestrian and cycle pathways, and pedestrian refuge islands are to be designed to be fully accessible by all in terms of access points and gradients, generally in accordance with Australian Standard 1428:1-4.
- 5. Pedestrian and cycle pathways are to be constructed as part of the infrastructure works for each residential stage with detailed designs to be submitted with DAs.

3.3 Public Transport Network

Objectives

- a. To encourage the provision and use of public transport within Oran Park.
- b. To ensure clear, safe pedestrian links to public transport stops.
- c. To allow for the majority of residential lots to be within 400m walking distance from an existing or proposed bus stop.

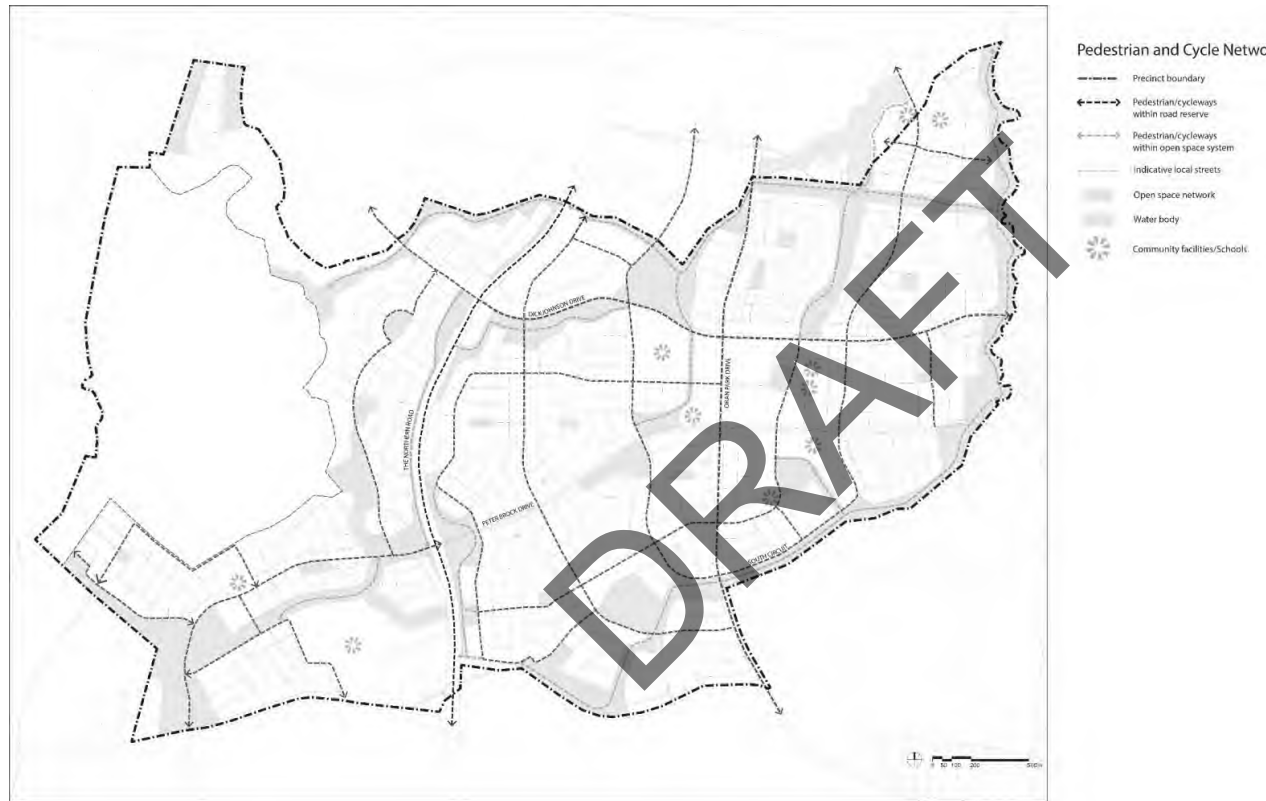
Controls

1. Bus routes are to be provided generally in accordance with **Figure 19** and, where the bus route is known, be indicated on the subdivision DA drawings. The final location of bus stops will be determined by Council's Local Traffic Committee.
2. A minimum travel-way width of 3.5m is to be provided along all bus routes. Roundabouts on bus routes are to be designed to accommodate bus manoeuvrability.
3. Bus stops are to be provided on-street and not within indented bays. Bus shelters are to be provided at key stops and installed at the subdivision construction stage.

Note: Regional or higher order bus routes within the Oran Park Precinct are to be identified by the Ministry of Transport. These routes will need to be designed with bus priority intersections.

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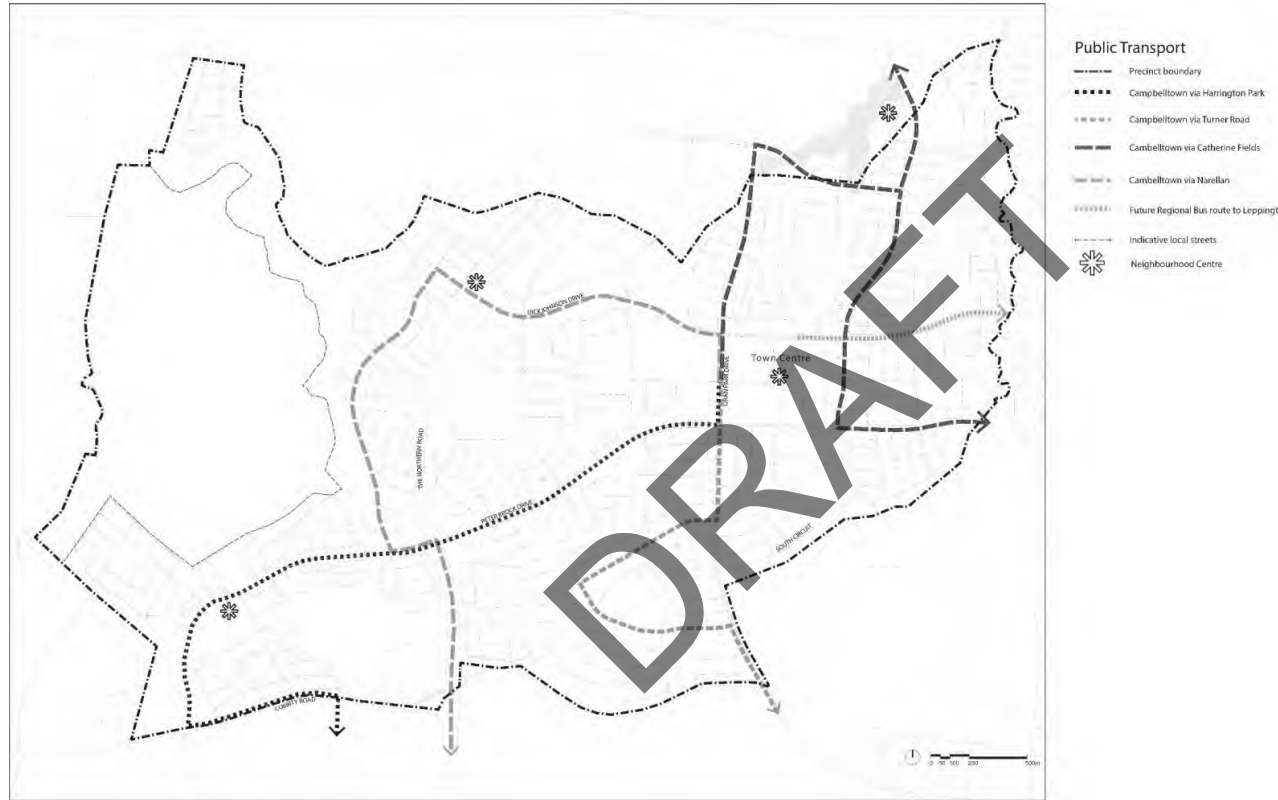
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Figure 18: Pedestrian and Cycleway Network



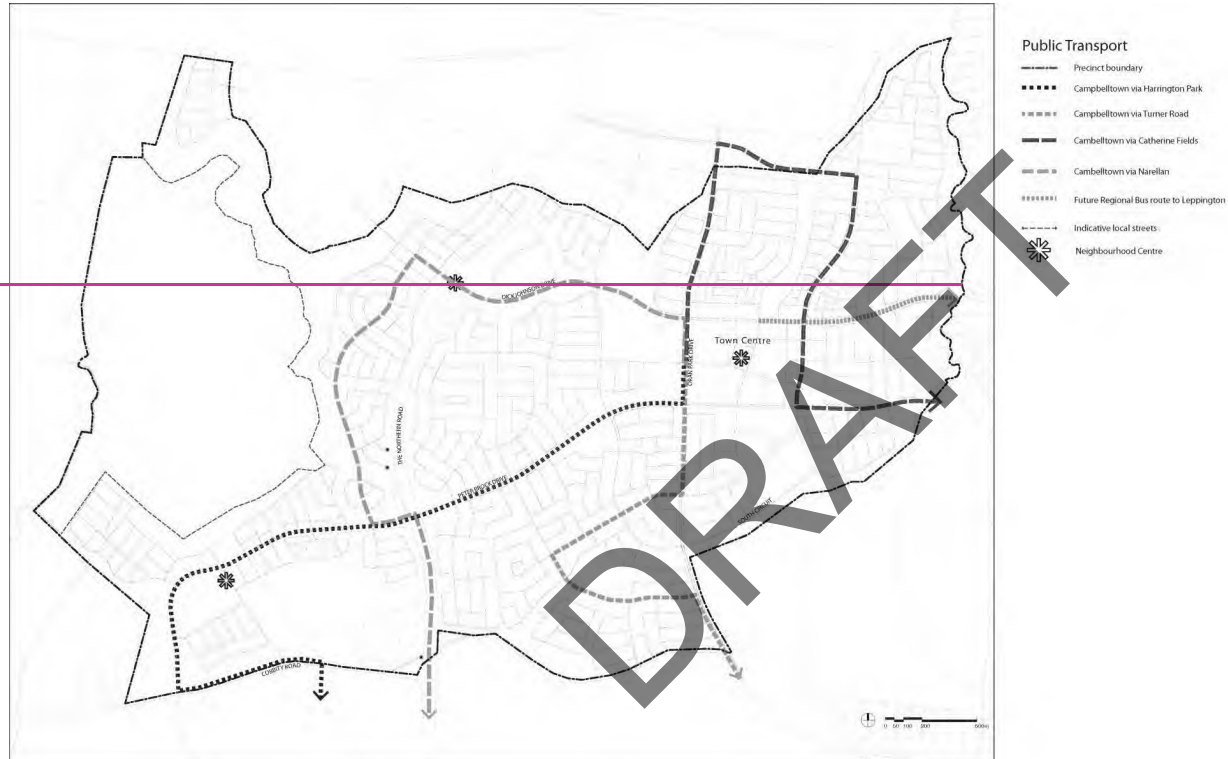


Figure 19: Public Transport Network

4. Open Space and Community Facilities

This section of the DCP outlines the objectives and development controls for the provision of public open space, landscaping and education, civic and community facilities.

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4.1 Public Parks and Landscape Strategy

Objectives

- a. To meet the public open space and recreational needs of residents.
- b. To provide an equitable distribution of public open space and recreation opportunities.
- c. To ensure high quality design and embellishment of all public open space.
- d. To ensure elevated visually sensitive land contributes to the landscape character of the precinct.

Controls

1. Public parks (local and district open space), other open space areas (i.e. riparian corridors) and areas with landscape value are to be provided generally in accordance **Figure 20**.
2. The minimum provision of open space and facilities including embellishment is to be consistent with the *Oran Park and Turner Road Section 94 Contributions Plan*.
3. Public parks are to have a minimum area of 2,000m². The following principles are to be taken into consideration in the location of public parks:
 - parks are to be located as focal points within residential neighbourhoods. All dwellings should be located no further than 400m from a public park,
 - where possible, parks should be co-located with community and education facilities, be highly accessible and linked by pedestrian and / or cycle routes,
 - parks should be located and designed to accommodate remnant vegetation and where appropriate, should be linked to and integrated with riparian corridors,
 - parks should be generally bordered by streets on all sides with houses oriented towards them for surveillance, and
 - a park should be located in the high point to the west of the road which interprets the former main straight of the Oran Park Raceway. This park should visually connect to the road which interprets the former main straight and should include features which interpret the history of the Raceway.
4. The detailed design of public parks is to consider:
 - the need for a range of play spaces and opportunities and cater for the range of ages,
 - provision of adequate parking, lighting and waste management facilities,
 - inclusion of interpretative signage detailing local history, Aboriginal cultural values, environmental education themes and the like, and

- provision of amenities such as seating and shade structures, drinking fountains, street lighting, street and information signs, planter boxes, feature fencing and the like. The design of such elements is to be consistent with Council's *Landscape and Streetscape Elements Manual for Camden*.
5. The provision of community parks and facilities (i.e. community association owned facilities) in addition to the required public parks and community facilities is encouraged.
 6. Where riparian corridors are to be in public ownership, they are to provide opportunities for pedestrian and cycleways, fitness trails and additional open space in a manner that maintains the environmental significance of these areas. A range of themed elements such as boardwalks, eco-pathways, and educational tracks should be incorporated in appropriate locations (i.e. within the 10m riparian corridor buffer). The design of such elements is to be consistent with Council's *Landscape and Streetscape Elements Manual for Camden*.
 7. A Landscape Plan is to be submitted for each public or community park at the time of subdivision of the adjoining residential area. The selection of landscape species for public open space areas is to consider bush fire risk. The Landscape Plan is to provide details on elements such as:
 - earthworks
 - plant species and sizes
 - utilities and services
 - hard and soft landscaping treatments
 - any entry statements
 - interpretative material
 - street furniture
 - play equipment
 - public art
 - signage and lighting
 - waste facilities



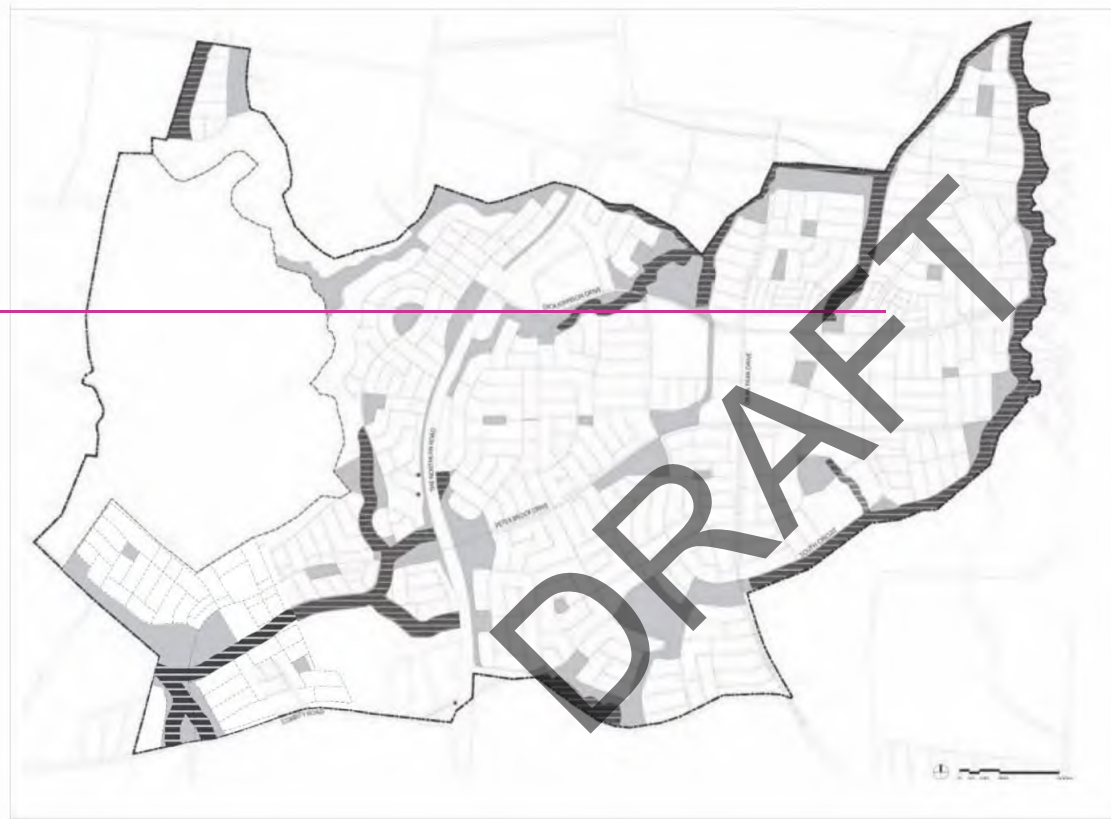
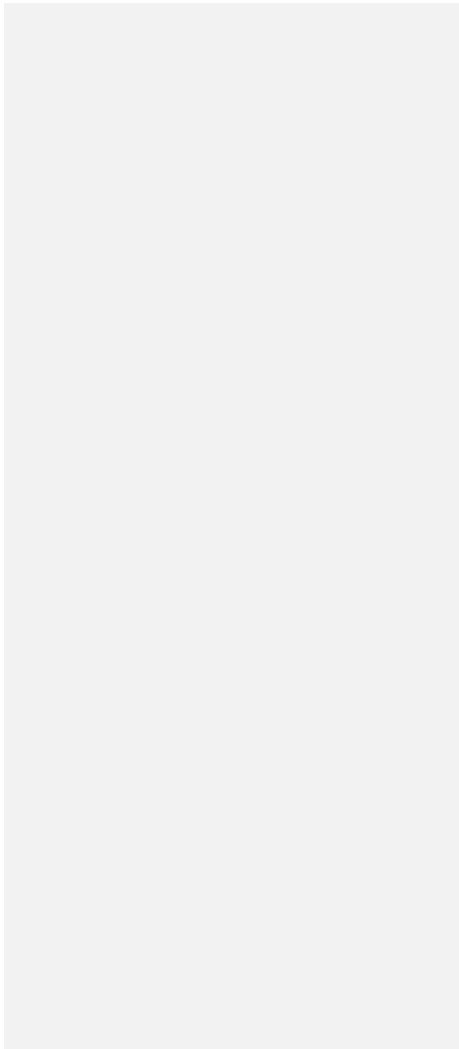


Figure 20. Open Space Network Plan

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4.2 Education, Civic and Community Facilities

Objectives

- a. To ensure a high level of provision and equitable distribution of education, civic and community facilities within the Oran Park Precinct.

Controls

1. Education, civic and community facilities are to be located and provided generally in accordance with **Figure 21** and the *Oran Park and Turner Road Section 94 Contributions Plan*.
2. Places of worship should be located within centres or co-located with other community facilities so as to create a community focal point, to share facilities such as parking, and to minimise impacts on residential areas.
3. Education, community buildings and places of worship are encouraged to enhance community identity and way-finding through iconic and landmark building design.
4. Community facilities are to be located above the Probable Maximum Flood (PMF).
5. Childcare centres are to be co-located with community facilities or education facilities or adjacent to open space areas and are to comply with the locational, design and operational controls contained within *Camden DCP 2006 Part F: Chapter 3 – Child Care Centres*. **Figure 21** identifies possible locations for child care centres that are in addition to centres co-located with commercial, community or education facilities. These locations are indicative only and subject to further detail being provided with any development consent for a child care centre.

*Note: The locations identified **Figure 21** are not limited to use for child care centres and other locations in the precincts may be suitable for child care centres.*

Note: Where a site identified for a community facility is not required, the site may be considered a suitable location for another similar community focused activity such as a childcare centre, or place of worship etc.



- Education, Civic and Community Facilities
- Precinct boundary
 - * Community facilities
 - ❄ Education facilities
 - ▲ Indicative locations for child care centres
 - Indicative local streets

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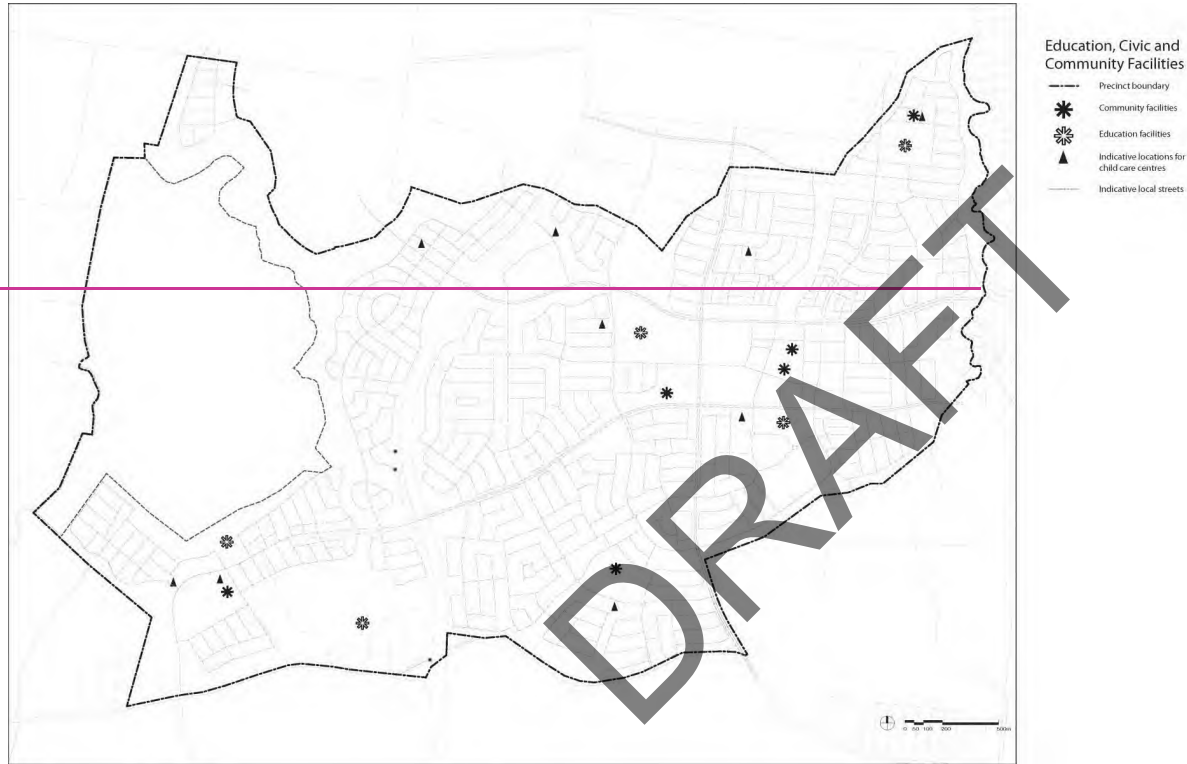


Figure 21: Indicative Location of Education, Civic and Community Facilities

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5.Special Area Design Principals

This section outlines the objectives and design principles relating to areas that require further detailed planning including the Oran Park Town Centre, the Neighbourhood Centres, the Oran Park Employment Area, Denbigh Transition Area, The Northern Road and Cobbitty Road Interface Area, and Riparian Protection Areas.

This DCP requires the preparation of more detailed planning and design controls in the form of a Part B amendment to this DCP, prior to the approval of development within certain areas within the precinct. A Part B DCP amendment may be prepared by an applicant, in consultation with the Council and the Department of Planning and Infrastructure and will be incorporated into this DCP as an amendment, subject to adoption by the Director-General. Where an inconsistency exists, provisions within a Part B DCP prevail over Part A.

Development only for the purposes of remediation, environmental landscape works and other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment, is permitted to be undertaken within these areas, with consent, prior to the adoption of a Part B DCP amendment. A DA for other development may be submitted subsequent to the lodgement of a Part B DCP amendment and assessed concurrently by Council.

The Part B DCPs will focus on the design of the built form, in particular, issues such as building siting, architectural design and articulation, active frontages, materials and finishes, and internal amenity (for residential uses) etc. They will also address the detailed design of the public domain, particularly within the town and neighbourhood centres. Appendix B of this DCP shows the areas the subject of a Part B DCP and sets out the relevant matters that need to be addressed within a Part B DCP amendment.

5.1 Oran Park Town Centre

Objectives

- (a) To create a vibrant town centre that functions as the community and economic heart of the Oran Park Precinct.
- (b) To ensure that the detailed design of the Town Centre is undertaken in a coordinated manner in order to achieve a high quality urban design outcome.
- (c) To ensure that the Oran Park Town Centre is well served by public transport.

Controls

1. The Oran Park Town Centre is to be located in accordance with the figure at **Appendix B**. An indicative layout of the Town Centre is shown at **Figure 22**. Council shall not grant consent for any development within the Oran Park Town Centre (as defined by the B2 Local Centre Zone boundary in the SEPP), unless the development is for the purposes of a marketing and sales suite, remediation, environmental landscape works or other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment. Council may grant consent if it is satisfied that appropriate development controls are in force in the form of a Part B DCP.

2. The Oran Park Town Centre is to be consistent with the following principles:

Function and uses:

- a maximum of 50,000m² GLAR of retail premises,
- incorporate a range of retail, commercial, entertainment, recreation and community uses to serve the needs of the wider community,
- incorporate higher density housing and mixed use development within the Town Centre frame.
- maximise employment opportunities within the Town Centre,
- concentrate intensive retail uses along and fronting a main street,
- co-locate uses and facilities as much as possible to maximise the efficient use of space,
- locate active uses at ground floor, throughout the Town Centre, in particular fronting the main street and all open space,
- incorporate the needs of health and aged care providers, facilities for young people, civic and emergency services within the Town Centre, and
- provide a mix of uses that promote an active and vibrant town centre.
- incorporate a pedestrian focused main street that acts as the focal point for the centre. Large format retail premises are to directly access the main street,

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- establish a clearly defined Town Centre core and frame differentiated through varying uses and intensity of development,
- provide an interconnected street block network with block sizes and mid-block connections that maximise pedestrian permeability,
- create a street layout that allows easy access to and within the town centre while allowing for regional traffic to by-pass the centre,
- consider potential future noise and amenity conflicts in the layout and location of Town Centre uses,
- emphasise sight lines to local landscape features, places of key cultural significance, civic buildings and public open space,
- locate a bus interchange within easy walking distance of the main street and retail core, and
- provide on-site detention storage with a storage requirement that maximises rainwater reuse.

Built form:

- provide a range of building heights, up to a maximum of 6 storeys with a transition in heights to surrounding residential areas. Building heights in excess of 6 storeys may be considered as part of the Part B DCP / SEPP amendment for the Town Centre,
- relate building heights to street widths and functions to promote a comfortable urban scale of development,
- define streets and open spaces with buildings that are generally built to the street edge, have a consistent street wall height and provide a continuous street frontage along all key streets,
- sleeve all large format retail premises and decked parking areas with active uses. Blank walls visible from the public domain are to be avoided,
- promote diversity and activity along the main street with a variety of frontage widths for retail shops,
- building heights are to take into account view lines and solar access to the public domain,
- residential and mixed use development is to be consistent with the guidelines and principles outlined in *SEPP No. 65 – Residential Flat Development* and the *Residential Flat Design Code* (DoP 2002),
- a high quality built form and energy efficient architectural design that promotes a 'sense of place' and modern character for the Town Centre, and
- waste storage and collection areas are to be accommodated and designed appropriately to minimise impacts, in particular within mixed use development.

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Pedestrian amenity:

- high amenity pedestrian streetscapes are to be provided through the Town Centre,
- walking and cycling leading to and within the Town Centre is to take priority over traffic circulation,
- continuous weather protection for pedestrians is to be provided in key locations, and
- adequate solar access is to be provided to key pedestrian streets.

Public domain:

- parks and plazas are to act as a focal point for the Town Centre and community activities and are to be designed to ensure adaptability and flexibility in use and function over time,
- incorporate a town square / civic plaza, adjacent to the main street which provides an urban landscape setting and a civic focus for the community,
- provide high amenity, pedestrian streets with generous footpath widths,
- incorporate the principles of Crime Prevention Through Environmental Design (CPTED) and *Safer by Design* (NSW Police) into all development within the Town Centre,
- provide a high quality landscape design including a co-ordinated package of street furniture and lighting that enhances the character of the Town Centre,
- provide street tree and open space planting that establishes generous shade for pedestrians,
- design all signage and advertising in a co-ordinated manner, and
- site servicing and loading facilities, waste storage and other infrastructure is to be designed to minimise visual impact on the public domain and impacts on neighbours.

Parking and access:

- lanes should be used to provide access to parking areas, loading docks and waste collection areas. Lanes will need to accommodate heavy vehicles where access to loading areas and waste collection is required,
- basement, semi-basement or decked parking is preferred over large expanses of at-grade parking,
- at-grade parking areas are to be generally located behind building lines and within the centre of street blocks. Notwithstanding this, Council will consider transitional arrangements for parking where an application is supported by a staging plan that indicates compliance with the above desired parking location principles upon ultimate development,
- parking is to be provided in accordance with *Part D, Chapter 1 of Camden DCP 2006*. Opportunities for shared parking provision for complementary uses within the town centre are to be provided, and

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- on-street parking is to be provided on all streets to contribute to street life and surveillance.



Figure 22: Oran Park Town Centre Indicative Layout Plan

5.2 Neighbourhood Centres

Objectives

- To create vibrant, mixed use neighbourhood centres that provide a range of small-scale retail, business and community uses which serve the needs of people who live and work in the surrounding neighbourhood.
- To ensure that the detailed design of the neighbourhood centres is undertaken in a co-ordinated manner in order to achieve a high quality urban design outcome.
- To provide opportunities for higher density housing.

Controls

- The neighbourhood centres are to be located in accordance with the figure at **Appendix B**. Council shall not grant consent for any development within the neighbourhood centres (as defined by the B1 Neighbourhood Centre zone boundary in the SEPP), unless the development is for the purposes of remediation, environmental landscape works or other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment. Council may grant consent if it is satisfied that appropriate development controls are in force in the form of a Part B DCP.

2. The neighbourhood centres are to be consistent with the following principles:

Function and uses:

- provide for a maximum of 5,000m² GLAR of retail premises within each neighbourhood centre to cater for the needs of the local population,
- incorporate a range of local retail, commercial, entertainment, childcare and community uses to serve the needs of the local community, and
- the neighbourhood centre is to provide a central focus for the community and is to be supported by higher residential densities in close proximity to the centre.

Layout:

- maximise exposure to the street and incorporate an active focal point in the form of a civic square, plaza or main street etc, and
- consider potential future noise and amenity conflicts in the layout and location of uses.

Built form:

- provide a range of building heights up to a maximum of 4 storeys,
- buildings are to be visible from and have a presence to street frontages. Where buildings are not proposed to be built to the street frontage, setbacks are to be minimised. Buildings are also to be designed and located to take advantage of proximity to open space areas, including riparian corridors. The building and landscape design is to be complementary to ensure legible, safe, comfortable and easy access for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate.
- avoid blank walls visible from principal streets and the public domain. Large format retail premises are to be sleeved, where appropriate, with active uses. In other circumstances, careful building design and landscaping shall minimise the extent and visibility of blank walls, and
- establish a 'sense of place' and contemporary character for the precinct through a high quality built form and energy efficient architectural design.

Pedestrian amenity:

- provide high amenity pedestrian streetscapes to and within the neighbourhood centres,
- walking and cycling leading to and within the neighbourhood centres is to take priority over traffic circulation,
- provide continuous weather protection for pedestrians, where possible, and
- provide adequate solar access to key pedestrian streets.

Public domain:

- incorporate the principles of Crime Prevention Through Environmental Design (CPTED) and *Safer by Design* (NSW Police) into all development within the neighbourhood centres,
- provide a high quality landscape design including a co-ordinated package of street furniture and lighting that enhances the character of the neighbourhood centres,
- provide street tree and open space planting to provide generous shade for pedestrians, and
- site servicing and loading facilities, waste storage and other infrastructure is to be designed to minimise visual impact on the public domain and impacts on neighbours.

Parking and access:

- the visibility of parking areas at street frontages shall be minimised through parking layout and design, building location and design and landscaping treatments. Bitumen and cars are not to be the dominant features of the landscape. Parking areas shall be designed to enable legible, safe, comfortable and easy access for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate,
- provide parking in accordance with *Part D, Chapter 1 of Camden DCP 2006*. Opportunities for shared parking provision for compatible uses within the neighbourhood centre are to be provided,
- Provide on-street parking for convenience and to contribute to street life and surveillance, and
- Design waste storage and collection areas, in particular within mixed use development, to minimise amenity impacts.

5.3 Oran Park Employment Area

Objectives

- a. To maximise opportunities for local employment within the Oran Park Precinct.
- b. To ensure that the detailed design of the Oran Park Employment Area is undertaken in a co-ordinated manner in order to achieve a high quality urban design outcome.

Controls

1. The Oran Park Employment Area is to be approximately 15ha in area and be located in accordance with the figure at **Appendix B**. Council shall not grant consent for any development within the Oran Park Employment Area (as defined by the IN1 General Industrial zone boundary in the SEPP), unless the development is for the purposes of remediation, environmental landscape works or other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment. Council may grant consent if it is satisfied that appropriate development controls are in force in the form of a Part B DCP.

2. The Oran Park Employment Area is to be consistent with the following principles:

Function and uses:

- provide a diverse range of employment generating development. Uses that provide higher employment levels are preferred over low intensity uses,
- front the East-West Road with active uses to activate the streetscape,
- provide local convenience retail and business premises that serve the needs of the local workforce, and
- provide a range of block sizes to accommodate uses consistent with the objective of maximising employment generating opportunities.

Built form and design:

- a maximum building height of 15m is permitted for development fronting the East-West Road. A maximum of 12m is permitted in other locations,
- provide setbacks appropriate to the proposed use of the land and characteristics of the location. Setback areas should allow for adequate landscaping to reduce the bulk and scale of buildings and enhance streetscape amenity, and
- buildings are to be designed to incorporate articulation, as well as variety in colours, materials and finishes in order to provide a high level of visual amenity when viewed from the public domain and roadways. Particular design attention is to be included within the Part B DCP to address buildings and fencing visible from The Northern Road and the East-West Road.

Residential interface:

- all development is to be designed and operated to minimise impacts on adjacent residential areas in terms of noise, traffic and circulation, emissions, and bulk and scale, and
- site servicing and loading facilities, waste storage and other infrastructure are to be designed to minimise visual impact on the public domain and impacts on neighbours.

Pedestrian amenity and public domain:

- walking and cycling leading is to be catered for, in particular along the East-West Road,
- incorporate the principles of Crime Prevention Through Environmental Design (CPTED) and *Safer by Design* (NSW Police) into all development within the employment area,
- provide small areas of high quality public domain or 'break out spaces' for the amenity of workers,
- provide street tree and open space planting that establishes generous shade for pedestrians, and
- design all signage and advertising in a co-ordinated manner.

Parking and access:

- off-street parking is to be provided in accordance with *Part D, Chapter 1 of Camden DCP 2006*. At-grade parking areas are to be located so as to minimise visual impacts. Large parking areas are to be located generally behind front building lines,
- direct vehicular access from The Northern Road is not permitted. A single, common slip lane may be permitted so that buildings can face onto the Northern Road, and
- roadways within and accessing the employment area are to be designed to accommodate heavy vehicles.

5.4 Denbigh Transition Area

Objectives

- a. To protect and enhance the heritage curtilage of the Denbigh Homestead.
- b. To provide a visual buffer to the Denbigh Homestead and to provide a 'green' backdrop to the residential areas.
- c. To ensure development within the Transition Area is constructed in an environmentally responsive manner.

Controls

1. The Denbigh Transition Area is shown in the figure at **Appendix B**. Council shall not grant consent for any development within the Denbigh Transition Area (except for the land adjacent to Cobbitty Road), unless the development is for the purposes of remediation, environmental landscape works or other minor works that, in the opinion of Council, do not predetermine an outcome on the land covered by the Part B amendment. Council may grant consent if it is satisfied that appropriate development controls are in force in the form of a Part B DCP.

Note: The exact boundary between the Transition Area and the residential area to the east is to be determined following detailed analysis of slopes and other site constraints.

2. The Part B DCP must be prepared in consultation with the NSW Heritage Council. Future development within the Denbigh Transition Area is to be consistent with the following principles:
 - residential subdivision is to be in the form of large lots to reflect the rural character of the area,
 - the ridgeline is to be revegetated with appropriate endemic species so as to provide a dense visual buffer,
 - retention and enhancement of vegetation identified on **Figure 34**, where possible,
 - existing significant trees, in particular large hollow bearing Eucalypts, are to be retained,
 - riparian corridors are to be protected and revegetated,

- ridge top areas that are subject to landslip are to be protected from development. Subject to detailed design, areas of soil creep are to be restricted from development. All areas of landslip and soil creep are to be revegetated,
 - ongoing management of any Aboriginal archaeological conservation areas,
 - bush fire hazard is to be minimised and APZs and fire trails provided where necessary, and
 - roads and cuttings are to be minimised.
3. The visual impact of dwelling houses within the Transition Area is to be minimised through appropriate siting, landscaping, and the use of materials and colours sympathetic to a rural environment.
 4. Subdivision DAs within the Transition Area are to be accompanied by a Vegetation Management Plan. The Plan is to address weed removal, proposed revegetation and ongoing tenure and maintenance of the ridgeline vegetation buffer.
 5. A landscape buffer shall be provided on both sides of the original alignment of the entrance driveway to the Denbigh Homestead (i.e. from The Northern Road). The buffer is to be a total of 40m wide and at least 10m on any one side (measured from the edge of the existing road alignment to any new adjacent road reserve alignment). The buffer shall be appropriately landscaped to reflect the rural landscape character of the approach to the Homestead. Uses or activities within this buffer, and any development immediately adjacent to this buffer, are to respond to the heritage values of the entrance driveway alignment.
 6. A tree-lined boulevard with widened verges facilitating planting and shared pedestrian and vehicle access shall be provided along the alignment of the Former Hassall Road (i.e. entrance from Cobbitty Road) to ensure that this historic connection to the Denbigh Homestead is not compromised. The driveway is to be designed generally in accordance with **Figure 23** (Hassall Driveway Concept Layout) and **Figure 24** (Hassall Driveway Cross Section).

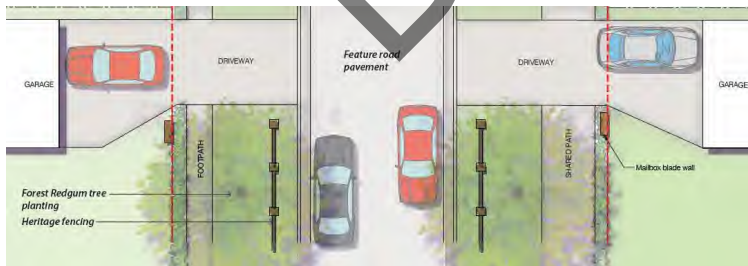


Figure 23: Hassall Driveway Concept Layout



Figure 24: Hassall Driveway Cross Section

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5.5 The Northern Road and Cobbitty Road Interface Area

Objectives

- a. To provide an appropriate and visually appealing urban design response to The Northern Road and Cobbitty Road frontages.
- b. To ensure a good level of amenity is provided for any dwellings adjoining The Northern Road frontage.
- c. To ensure future development is visually screened and a natural buffer is provided interfacing with the Metropolitan Rural Area (MRA).

Controls

1. A landscape buffer, of variable width, is to be provided along both sides of The Northern Road. The buffer is to extend along the full extent of the road, except adjacent to the neighbourhood centres. The buffer may be incorporated within the rear of lots subject to a restriction on title providing for the ongoing maintenance of the landscaped buffer. The buffer is to be designed to accommodate view corridors, at appropriate locations, from The Northern Road to the east and west.
2. The areas of vegetation identified on **Figure 27** are to be retained and enhanced where possible.
3. Any DA proposing the subdivision of land for residential lots with lots fronting either side of The Northern Road and Cobbitty Road is to include:
 - the means by which it is proposed to ensure that the visual impact of development when viewed from the road is appropriately managed, and
 - a report prepared by a suitably qualified acoustic consultant that makes recommendations as to what, if any, acoustic treatment will be required to ensure appropriate internal and external acoustic amenity for future residents.
 - for residential development along Cobbitty Road shown in **Figure 25**, this control is deemed to be satisfied if development is in accordance with the Visual Character Analysis (August 2022) prepared by Urbis.
4. Any fencing or acoustic structures proposed along or near to The Northern Road and Cobbitty Road frontages is to be designed so that it is not visually intrusive when viewed from the public domain. A continuous blank expanse of unbroken wall / fencing along this frontage will not be accepted.
5. Any DA proposing the construction of any building adjacent to The Northern Road is to include details relating to any architectural building treatments and fencing that may be required to ensure appropriate internal and external acoustic amenity for future residents.



Figure 25: Treatment of Residential Development along Cobbitty Road

6. For development outlined in blue in **Figure 25**, the following controls apply:
 - the creation of a 'restriction as to user' in a S.88B instrument on each and every lot identified in blue within the Cobbitty Road interface and zoned R1, specifying a minimum lot size of 1,000sqm and maximum height of 9.5 metres.
 - All dwelling houses must remain consistent with controls outlined in Section 7.4 of the DCP for Lots in the Environmental Living Zone (**Table 20**).
7. The perimeter road identified along the north-western boundary of Lot 6 in Deposited Plan 1276275 (593 Cobbitty Road Cobbitty) shall provide a landscaped road reserve as identified in **Figure 26**.

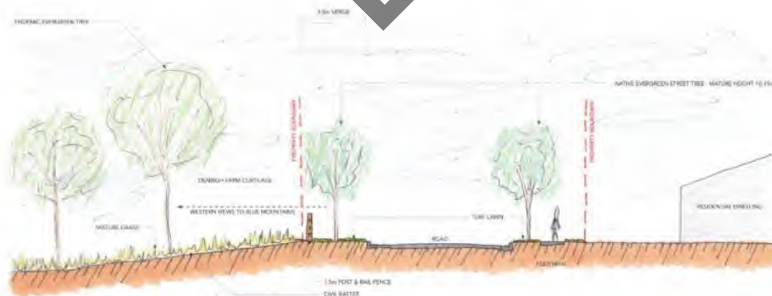


Figure 26 : Northwest Boundary Landscape Section

- 8. The rear setback of lots along the south-western boundary of Lot 2 in Deposited Plan 1276275 (499 Cobbitty Road Cobbitty) are to be appropriately landscaped in accordance with **Figure 27**. A Concept Landscape Plan must be submitted which demonstrates the appropriate treatment with a selection of native trees to achieve an appropriate interface.

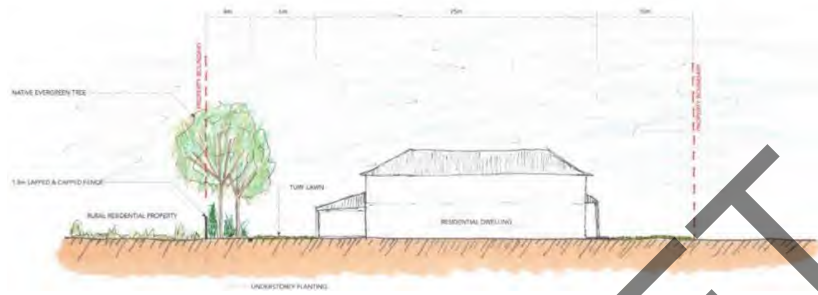


Figure 27: Southwest Boundary Landscape Section

- 9. The perimeter road which runs parallel with Cobbitty Road (as shown in **Figure 3** & **Figure 25**) is to be consistent with **Figure 28**.
 - An 8m landscaped verge is to be provided. This landscaped verge is to ensure the existing vegetation is to be retained. No works are permitted within the landscaped verge that will impact existing vegetation unless vegetation is able to be reinstated with similar native mature trees.
 - The front setback of the larger lots is to incorporate two trees that achieve a minimum mature height of 8m.

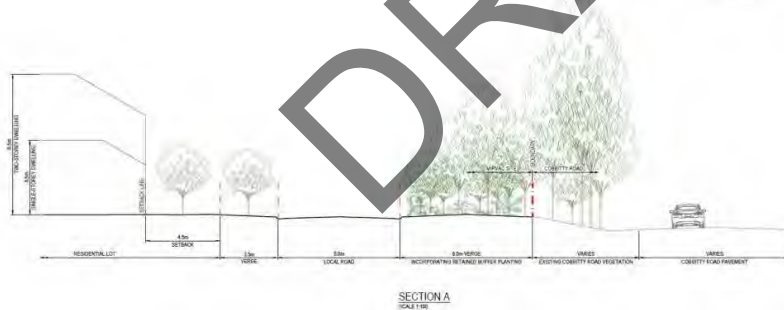


Figure 28: Cross Section of perimeter road which runs parallel with Cobbitty Road

6.Environmental Management

This section outlines the objectives and development controls relating to general environmental management issues that apply across the entire Oran Park Precinct including riparian corridors, flooding and water cycle management, salinity and soil management, Aboriginal and European archaeological heritage, bushfire hazard management, tree retention and biodiversity, contamination, odour and acoustics.

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6.1 Riparian Corridors

Objectives

- a. To protect, restore and enhance the environmental qualities of water courses, in particular South Creek.
- b. To ensure that the development has a neutral or beneficial impact on the quality and quantity of water and water courses.
- c. To allow the use of riparian corridor buffers for low impact recreation activities such as walking and cycling.
- d. To manage riparian corridors, wherever possible, in single ownership and as a continuous corridor.

Controls

1. Riparian corridors are to be provided in accordance with the Oran Park and Turner Road Waterfront Land Strategy 2009.
2. Development in and adjoining riparian corridors shall be consistent with Part B2 of this DCP. In the event of any inconsistency between this DCP and the Waterfront Land Strategy, the Waterfront Land Strategy prevails.

6.2 Flooding and Watercycle Management

Objectives

- a. To minimise the potential impact of flooding on development.
- b. To incorporate best practice stormwater management principles and strategies in development proposals.
- c. To mitigate the impacts of urban development on stormwater quality.
- d. To control the impacts of urban development on channel bed and bank erosion by controlling the magnitude and duration of sediment-transporting flows.
- e. To limit changes in flow rate or flow duration within the receiving waterway as a result of development.

Controls

1. No residential allotments are to be located at a level lower than the 1% Annual Exceedance Probability (AEP) flood level plus a freeboard of 500mm (i.e. within the 'flood planning area'). Pedestrian and cycle pathways and open space may extend within the 1% AEP flood level, provided that the safe access criteria contained in the *NSW Floodplain Manual* are met.

2. Management of 'minor' flows using piped systems for the 20% AEP (residential land use) and 10% AEP (commercial land use) shall be in accordance with Camden Council's *Engineering Design Specification – Subdivision and Development Works*. Management measures shall be designed to:
 - prevent damage by stormwater to the built and natural environment,
 - reduce nuisance flows to a level which is acceptable to the community,
 - provide a stormwater system which can be economically maintained and which uses open space in a compatible manner,
 - control flooding,
 - minimise urban water run-off pollutants to watercourses, and
 - meet the standards for a 20% AEP flood level.
3. Management of 'major' flows using dedicated overland flow paths such as open space areas, roads and riparian corridors for all flows in excess of the pipe drainage system capacity and above the 20% AEP shall be in accordance with Camden Council's *Engineering Design Specification*. Management measures shall be designed to:
 - prevent both short term and long term inundation of habitable dwellings,
 - manage flooding to create lots above the designated flood level with flood free access to a public road located above the 1% AEP flood level,
 - control flooding and enable access to lots, stabilise the land form and control erosion,
 - provide for the orderly and safe evacuation of people away from rising floodwaters,
 - stabilise the land form and control erosion, and
 - meet the standards for a 1% AEP flood level.
4. Where practical, development shall attenuate up to the 50% AEP peak flow for discharges into the local tributaries, particularly Category 1 and 2 creeks. This will be achieved using detention storage within water quality features and detention basins.
5. The developed 1% AEP peak flow is to be reduced to pre-development flows through the incorporation of stormwater detention and management devices.
6. All development is to incorporate water sensitive urban design (WSUD). WSUD is to be adopted throughout the development to promote sustainable and integrated management of land and water resources incorporating best practice stormwater management, water conservation and environmental protection. A WSUD Strategy is to be submitted as part of any subdivision DA and shall include:
 - identification of water management and other relevant objectives (relating, for example, to salinity hazard),

- identification and assessment of relevant site characteristics and constraints, including flood evacuation routes,
 - identification of potentially feasible (storm) water management strategies, which may comprise stormwater reuse options, best planning practices, stormwater treatment measures (in both public and private domain),
 - assessment of the potential strategies, including the nature, basis and outcomes of stormwater modelling used to assess alternative solutions. This assessment of alternative strategies should address compliance with management objectives, life cycle costs, ongoing operations and maintenance requirements, land take requirements, expected reliability and future management responsibilities,
 - assessment of the likely construction costs associated with the WSUD strategy as well as a maintenance framework addressing maintenance strategies and costs, and
 - a suitably detailed description of the preferred WSUD strategy and elements therein, in the form of documents, plans and conceptual diagrams (as appropriate).
7. The WSUD Strategy shall demonstrate how the stormwater quality targets set by the Department of Environment and Climate Change (DECC) (**Table 10**) will be achieved and shall be consistent with *Technical Note: Interim Recommended Parameters for Stormwater Modelling – North-West and South-West Growth Centres* and *Managing Urban Stormwater: Stormwater Planning* (DECC) and *Australian Runoff Quality* (Engineers Australia). A monitoring plan that encompasses strategies for water sampling, maintenance of WSUD facilities and risk management in the short, medium and longer terms is to be included as part of the WSUD strategy.
8. Compliance with the targets at **Table 10** is to be determined through stormwater quality modelling in accordance with the parameters outlined in the relevant technical guidance from DECC.
9. The WSUD strategy is to take into account riparian zone and creek management and include the following measures:
- the ephemeral hydrology of creeks is to be maintained or restored, where possible, by diverting excess flow via intercepting stormwater pipes to downstream storages for reuse,
 - flow attenuation and / or diversion via the intercepting stormwater pipes will be required to meet the stream erosion index objectives established by DECC (**Table 10**),
 - flow in excess of the 20% AEP peak flow may flow into the creek and be conveyed to detention basins that form part of the major drainage system, and
 - erosion control and bank stabilisation measures shall be incorporated within the waterway where required.
10. Any development for the area identified in red in **Figure 29** shall demonstrate consistency with the WSUD Strategy set by the 'Integrated Water Management Plan' (Orion Consulting, 2022).

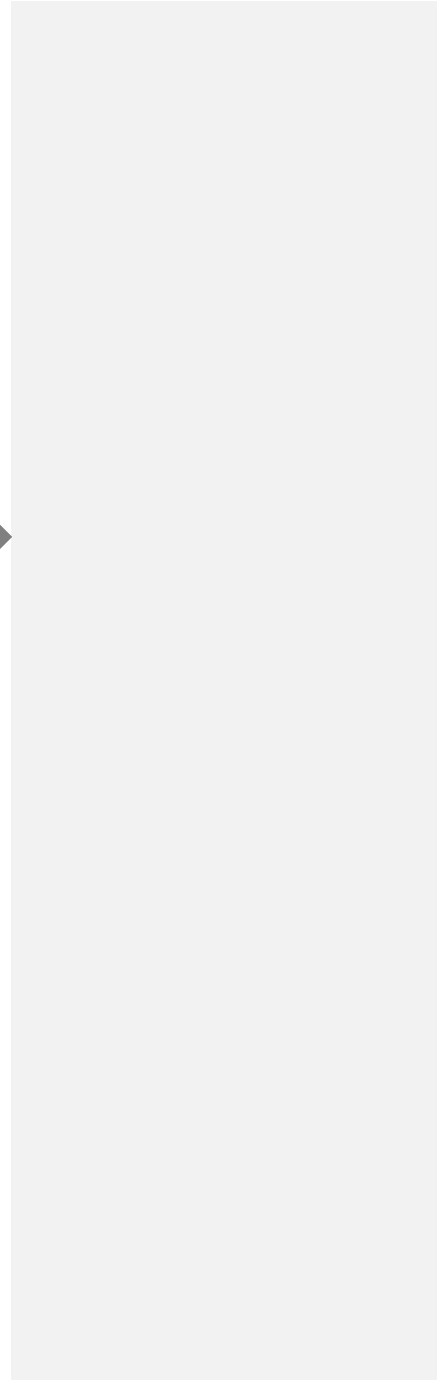
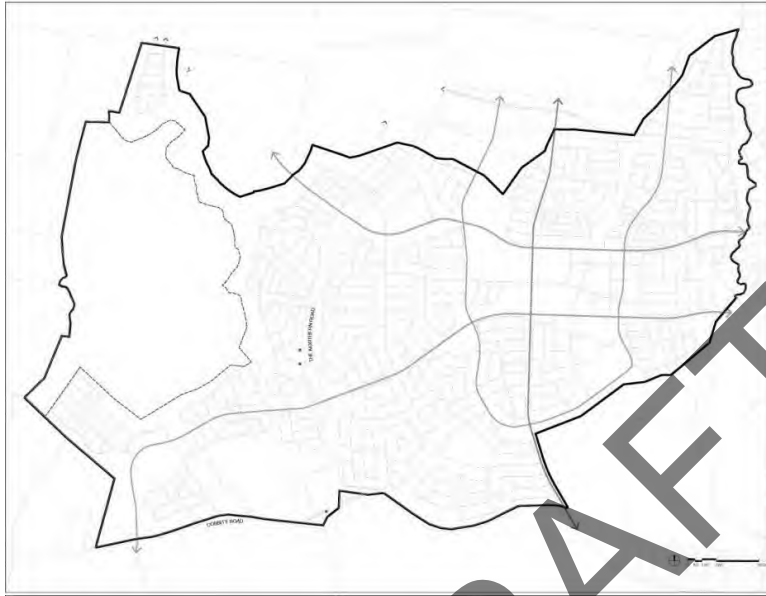


Figure 29: Areas in red reliant on the 'Integrated Water Management Plan' (Orion Consulting, 2023)

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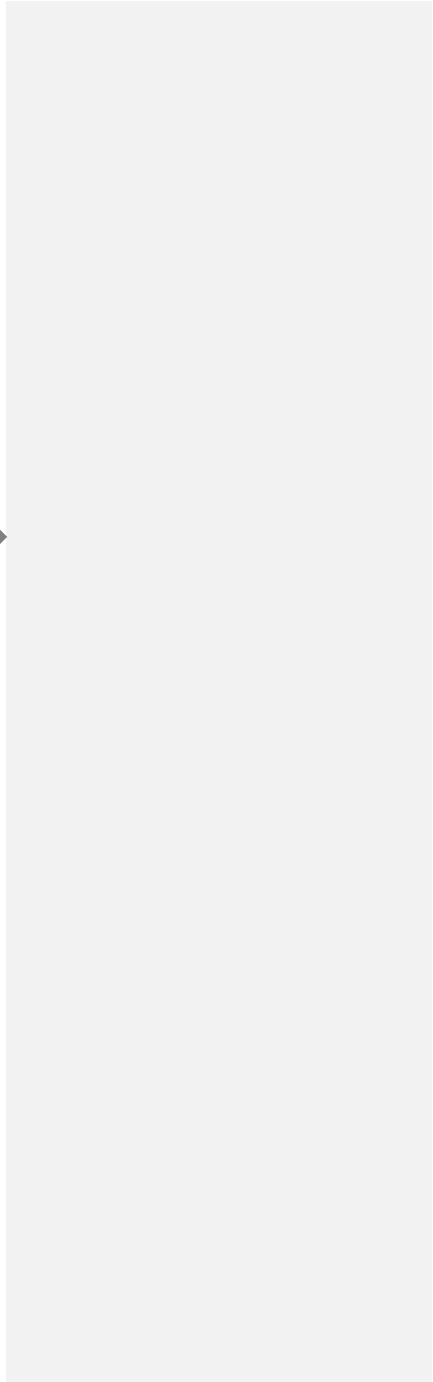


Table 10: Environmental Stormwater Objectives

	WATER QUALITY % reduction in pollutant loads				ENVIRONMENTAL FLOWS Stream erosion control ratio Post-development duration of above 'stream forming flow': Natural duration of above 'stream forming flow' ¹
	Gross Pollutants (>5mm)	Total suspended solids	Total phosphorus	Total nitrogen	
Stormwater management objective	90	85	65	45	3.5 – 5.0 : 1 ²
'Ideal' stormwater outcome	100	95	95	85	1 : 1

¹ For the purposes of these objectives, the 'stream forming flow' is defined as 50% of the 50% AEP flow rate estimated for the catchment under natural conditions

² This ratio should be minimised to limit stream erosion to the minimum practicable. Development proposals should be designed to achieve a value as close to one as practicable, and values within the nominated range should not be exceeded. A specific target cannot be defined at this time

6.3 Salinity and Soil Management

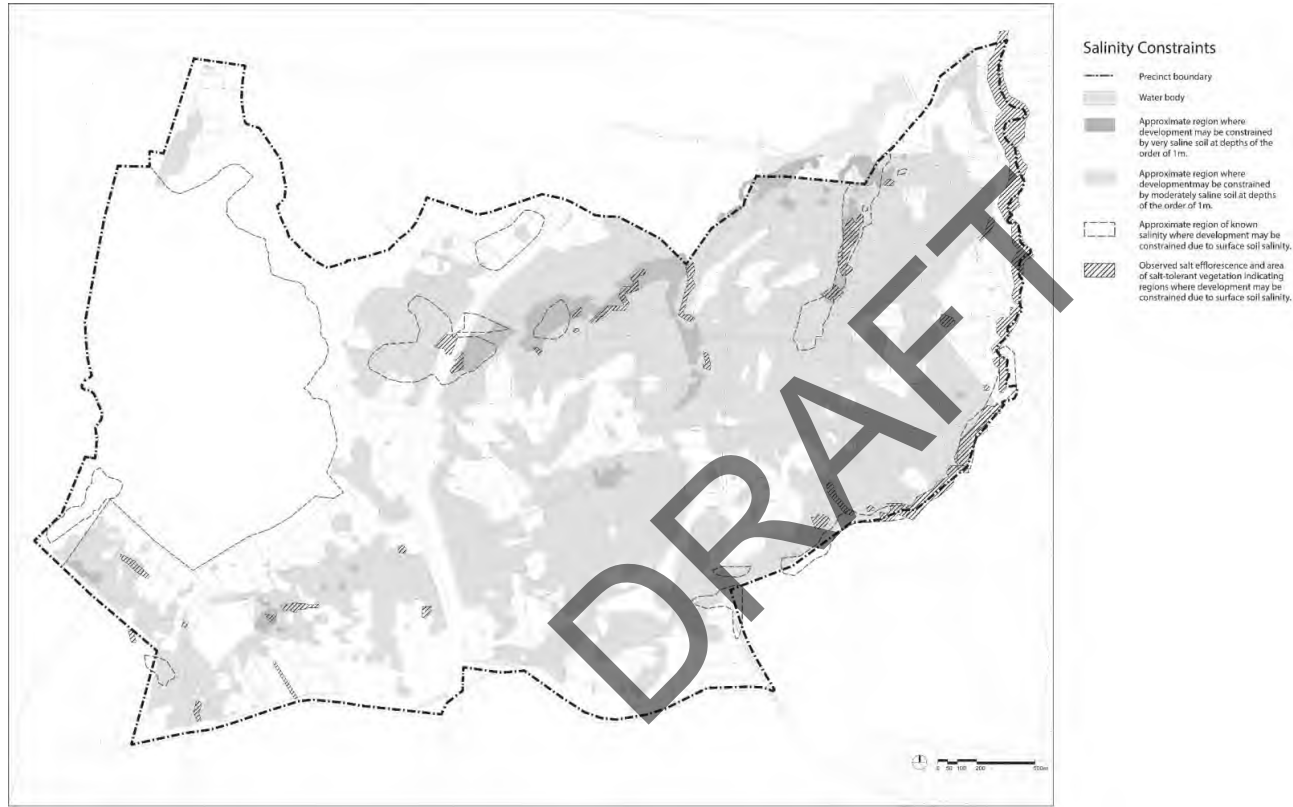
Objectives

- a. To minimise the damage caused to property and vegetation by existing saline soils, or processes that may create saline soils.
- b. To ensure development will not significantly increase the salt load in existing watercourses within the site.
- c. To prevent degradation of the existing soil and groundwater environment, and in particular, to minimise erosion and sediment loss and water pollution due to siltation and sedimentation.

Controls

1. Every subdivision DA for land identified in **Figure 30** as being constrained by known salinity or may be constrained by very or moderately saline soils is to be accompanied by a Salinity Report prepared by a suitably qualified consultant. The report is to cover the conditions of the site, the impact of the proposed subdivision on the saline land and the mitigation measures that will be required during the course of construction. The consultant is to certify the project upon completion of the works. The report shall provide details of recent soil testing that either verifies the results of the rezoning study or provides evidence of any changes to salinity levels. Such soil testing shall be focused at the edges of areas identified on **Figure 33** as very saline or moderately saline. Soil testing shall also be focused on areas where proposed excavation exceeds 3m in depth. Investigations and sampling for salinity are to be conducted in accordance with the requirements of the Local Government Salinity Initiative booklet called *Site Investigations for Urban Salinity* produced by the Department of Environment and Climate Change (formerly the Department of Natural Resources). Where applicable, the salinity report shall also report on the issues of soil aggressivity and sodicity and any mitigation measures required. All works are to conform with the Local Government Salinity Initiative series of booklets produced by the Department of Environment and Climate and Council's policy - *Building in Salinity Prone Environments*.

2. Groundwater recharge is to be minimised by:
 - directing runoff from paved areas (roads, car parks, domestic paving etc) into lined stormwater drains rather than along grassed channels as necessary,
 - lining or locating any pondages higher in the landscape to avoid recharge where proximity to the water table is likely to create groundwater mounding,
 - encouraging on site detention of roof runoff and use of low water demanding plants, and
 - encouraging tree planting especially adjacent to watercourses.
3. For road works within areas identified as a salinity hazard:
 - disturbance of subsoil should be minimised,
 - engineering designs incorporating considerations of salinity impacts are required, and
 - subsoil drainage is to be installed along both sides of all roads.
4. All development must incorporate soil conservation measures to minimise soil erosion and siltation during construction and following completion of development. Soil and Water Management Plans, prepared in accordance Camden Council's *Erosion and Sediment Control Policy and Managing Urban Stormwater - Soils and Construction* (Landcom 3rd Edition March 2004 (*The Blue Book*)) are to be submitted with each subdivision DA.
5. All sediment and erosion controls are to be installed prior to the commencement of any construction works and maintained throughout the course of construction until disturbed areas have been revegetated / established. Certification to this effect is required by the applicant to be submitted to Council prior to construction.



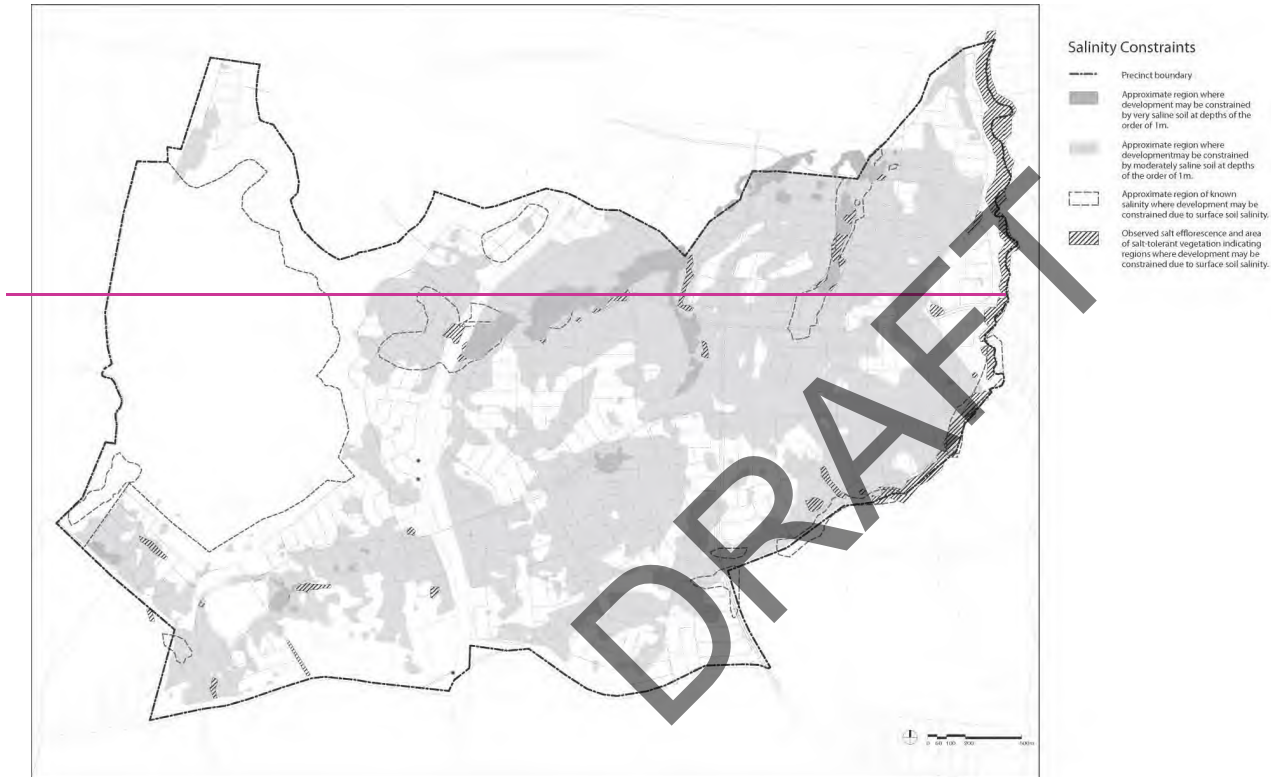


Figure 30: Areas Constrained by Salinity

6.4 Aboriginal and European Heritage

Objectives

- a. To protect and manage areas and elements of identified Aboriginal and European archaeological heritage of the precinct.
- b. To incorporate elements of Aboriginal and European heritage within the redevelopment of the precinct.

Controls

1. Aboriginal Archaeological Conservation Areas are identified **Figure 31**. Development shall not proceed within these areas without appropriate investigation and consultation with the relevant local Aboriginal groups and until a Plan of Management has been prepared that addresses the ongoing management of any archaeological deposits within the Conservation Areas.
2. Interpretive signage, that provides information on the history and heritage significance of the sites, is to be provided within the public domain areas.
3. Items of European heritage significance are shown at **Figure 32**. Prior to any development that affects these items, an assessment of heritage significance is to be undertaken which addresses the significance assessment criteria contained in the *NSW Heritage Manual*. An applicant is to demonstrate to Council how any proposed development responds to identified archaeological constraints. If any relics are to be retained *in situ*, an applicant is to outline all management measures to ensure ongoing protection of the relics.

Note: A Part B DCP will be required prior to development in the Denbigh Transition Area. See Section 5.4 and Appendix B of this DCP for further details.

4. Development within the curtilage of the Oran Park House as shown on **Figure 32** shall be designed having regard to the following:
 - limiting the visibility of the development from the Oran Park House, or
 - where development will be visible from the Oran Park House, public views are provided to the House and building design and form has regard to the setting and significance of the House and its surrounds.



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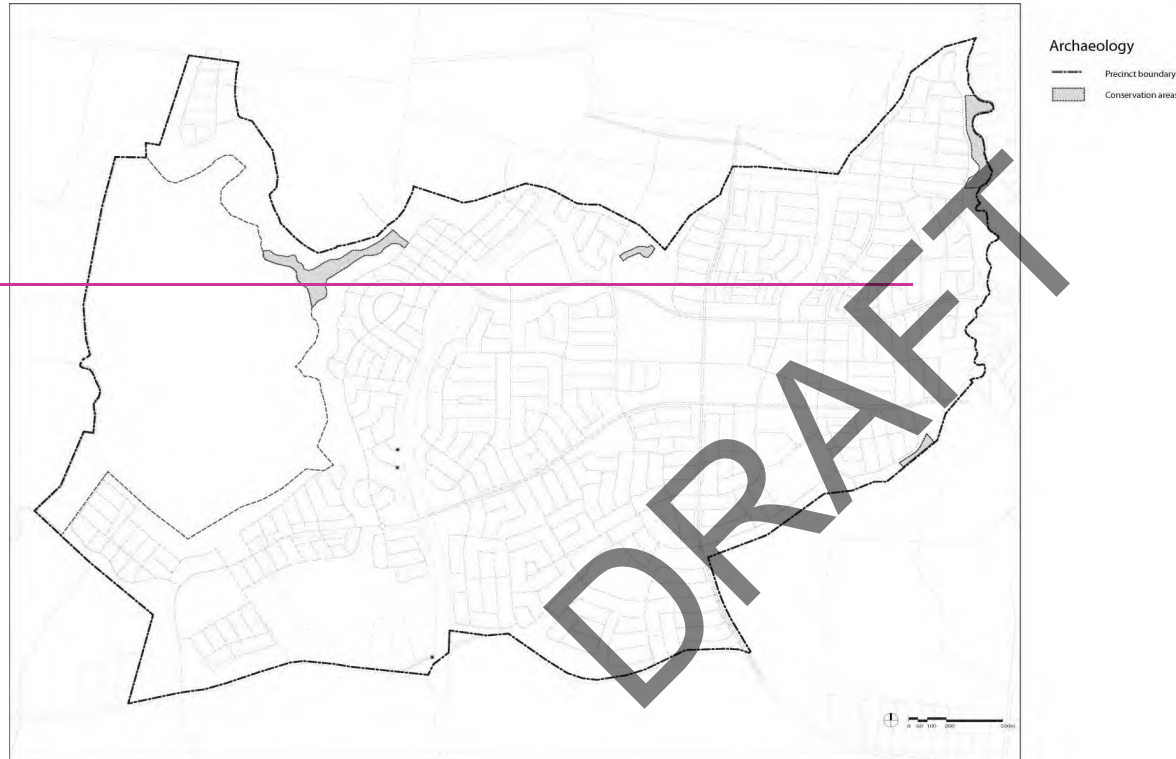


Figure 31: Aboriginal Archaeological Conservation Areas



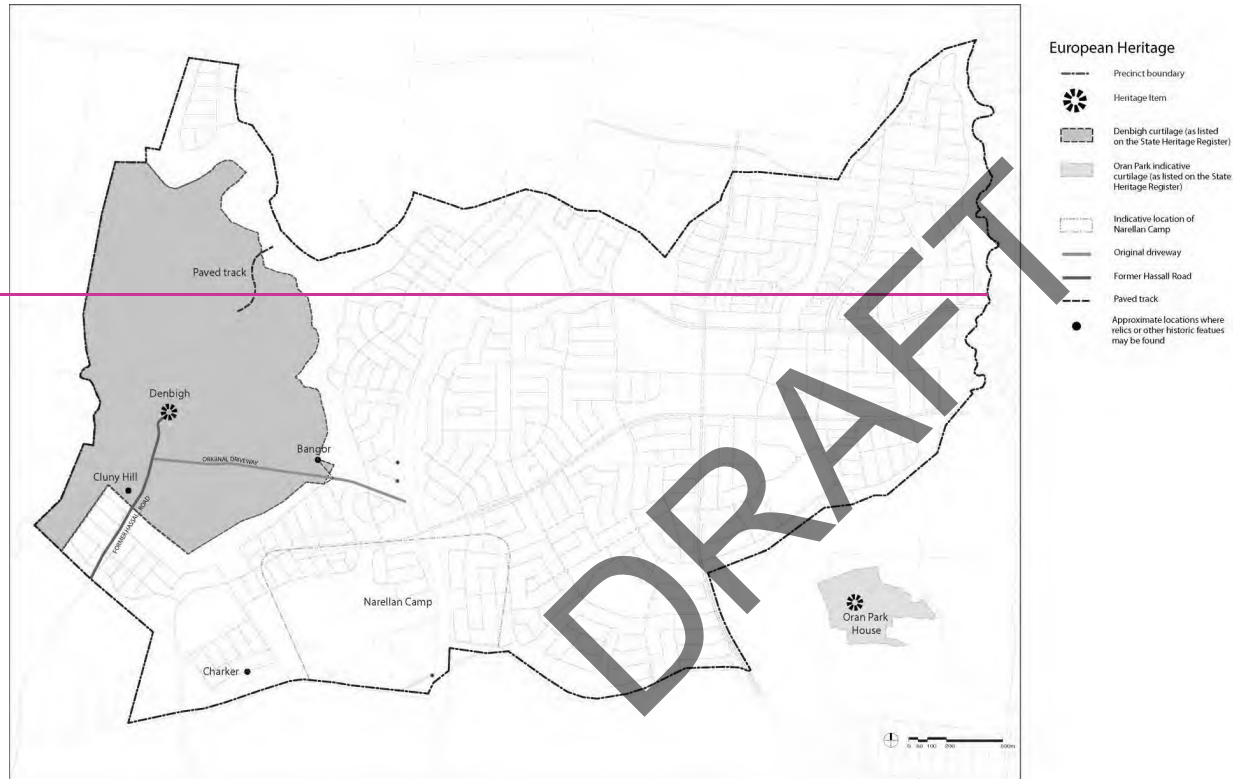


Figure 32: Elements of European Heritage Significance

6.5 Bushfire Hazard Management

Objectives

- a. To prevent loss of life and property due to bushfires by providing for development compatible with bushfire hazard.
- b. To encourage sound management of bushfire-prone areas.

Controls

1. Subject to detailed design at DA stage, the indicative location and widths of APZs are to be provided generally in accordance with **Figure 33**. APZs:
 - are to be located wholly within the precinct,
 - may incorporate roads and flood prone land,
 - are to be located wholly outside of a core riparian zone (CRZ) but may be located within the buffer areas to the CRZs,
 - may be used for open space and recreation subject to appropriate fuel management,
 - are to be maintained in accordance with the *Planning for Bushfire Protection 2006* (RFI),
 - may incorporate private residential land, but only within the building setback (no dwellings are to be located within the APZ),
 - are not to increase the maintenance burden on public lands, and
 - are to be generally bounded by a perimeter fire trail / road that is linked to the public road system at regular intervals in accordance with *Planning for Bushfire Protection 2006*.

Note 1: Where sufficient room is available within the road reserve and the front yard of private lots, the APZ shall be located wholly within these areas. Where insufficient room is available, the vegetated buffer to the core riparian zone may be considered appropriate for a portion of the APZ. Note 2: APZs within the Denbigh Curtilage Transition Area will be determined as part of the Part B DCP amendment for that land.

2. Reticulated water is to meet the standards contained within *Planning for Bushfire Protection 2006*. Water supply is to be via a ring main system, engineered to the requirements of *Australian Standard 2419.1-1994 Fire Hydrant Installations*.
3. Vegetation within public and community title parks and Category 3 riparian zones is to be designed and managed as a 'fuel reduced area'.
4. Buildings adjacent to APZs are to be constructed in accordance with the requirements of Appendix 3 of *Planning for Bushfire Protection 2006* and *Australian Standard 3959-1999 - Construction of Building in Bushfire Prone Areas*.
5. Where an allotment fronts and partially incorporates an APZ it shall have an appropriate depth to accommodate a dwelling with private open space and the minimum required APZ. The APZ will be identified through a Section 88B instrument.
6. Temporary APZs, identified through a Section 88B instrument, will be required where development is proposed on allotments next to undeveloped land. Once the adjacent stage of development is undertaken, the temporary APZ will no longer be required and shall cease.



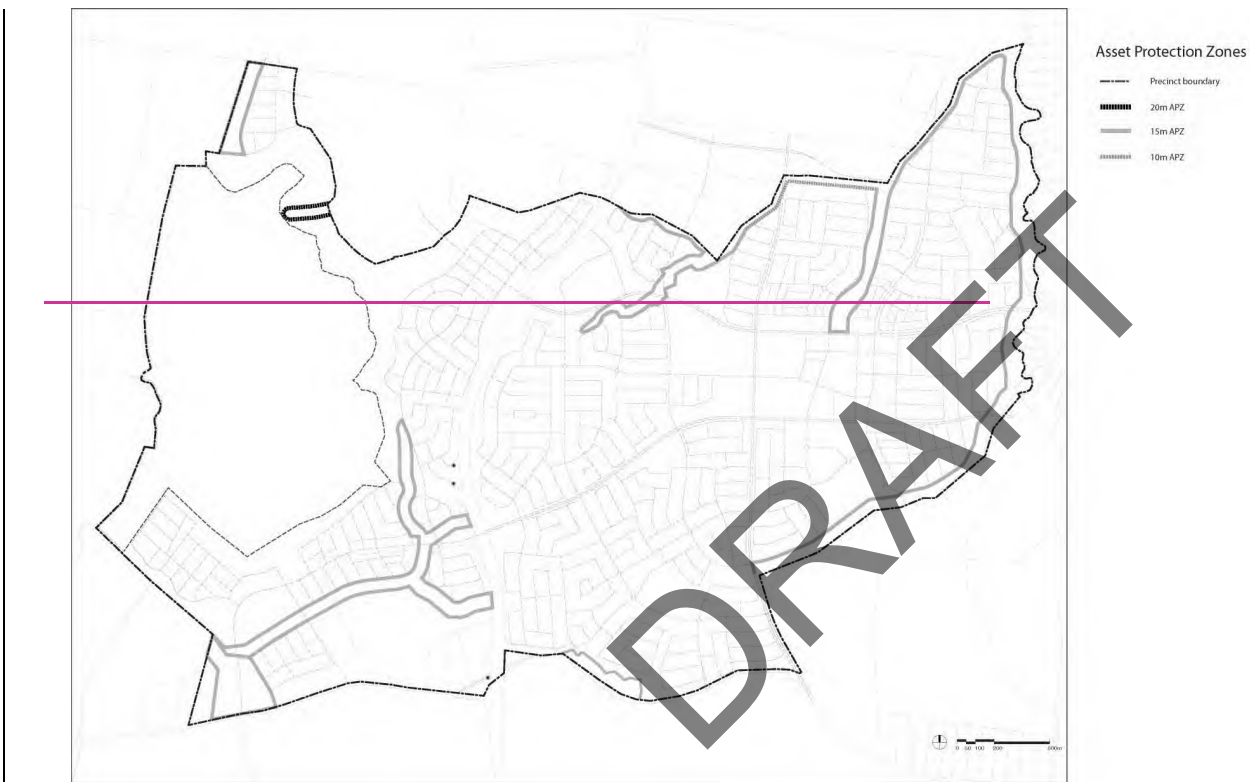


Figure 33: Indicative Location of Asset Protection Zones

6.6 Tree Retention and Biodiversity

Objectives

- a. To ensure the protection and enhancement of existing significant trees and to improve or maintain biodiversity values within the precinct.
- b. To maintain or improve as much existing vegetation as practicable within the precinct.
- c. To reduce impacts of runoff from roads and impervious areas on adjacent lands.
- d. To prevent the spread of weeds during and after construction.

Controls

1. All high significance vegetation identified at **Figure 34** is to be retained within open space. The moderate significance vegetation identified at **Figure 34** is to be retained where possible.
2. A Tree Survey Plan is to be submitted with each subdivision DA. The Tree Survey Plan is to identify the location, type and condition of all existing trees, and is to indicate those trees proposed to be removed, including the justification for their removal, and those to be retained. Where trees are to be retained, details of any protection methods shall be submitted with the DA. Priority should be given to retention of trees that have biodiversity value, particularly hollow bearing trees. These and other significant trees are to be retained wherever possible within public and community parks, streetscapes and riparian corridors.
3. A Vegetation Management Plan (VMP) is required to be prepared for the biodiversity corridor connecting Harrington Park to South Creek, via the southern tributary. The Plan is to be submitted as part of any subdivision of land adjoining the corridor.
4. Native vegetation (canopy level) shall be provided, where possible, within pocket parks, riparian corridors and street verges to create a 'stepping-stone corridor' for terrestrial biodiversity. Details of any planting shall be provided within a detailed Landscape Plan submitted with a development application for subdivision of land.
5. Where development is located within or close to a known biodiversity corridor fencing shall be sympathetic to the passage of native fauna.
6. All subdivision design and bulk earthwork is to consider the need to minimise weed dispersion and eradication. In the opinion of Council, where a significant weed issue exists, a Weed Eradication and Management Plan is to be submitted with the subdivision DA that outlines weed control measures during and after construction. In these instances, a detailed Management Plan will be required to be prepared prior to any earth works being undertaken.



- Remnant Vegetation
- Precinct boundary
 - High significance vegetation
 - Moderate significance vegetation
 - Water body



Figure 34: Areas of Significant Remnant Vegetation

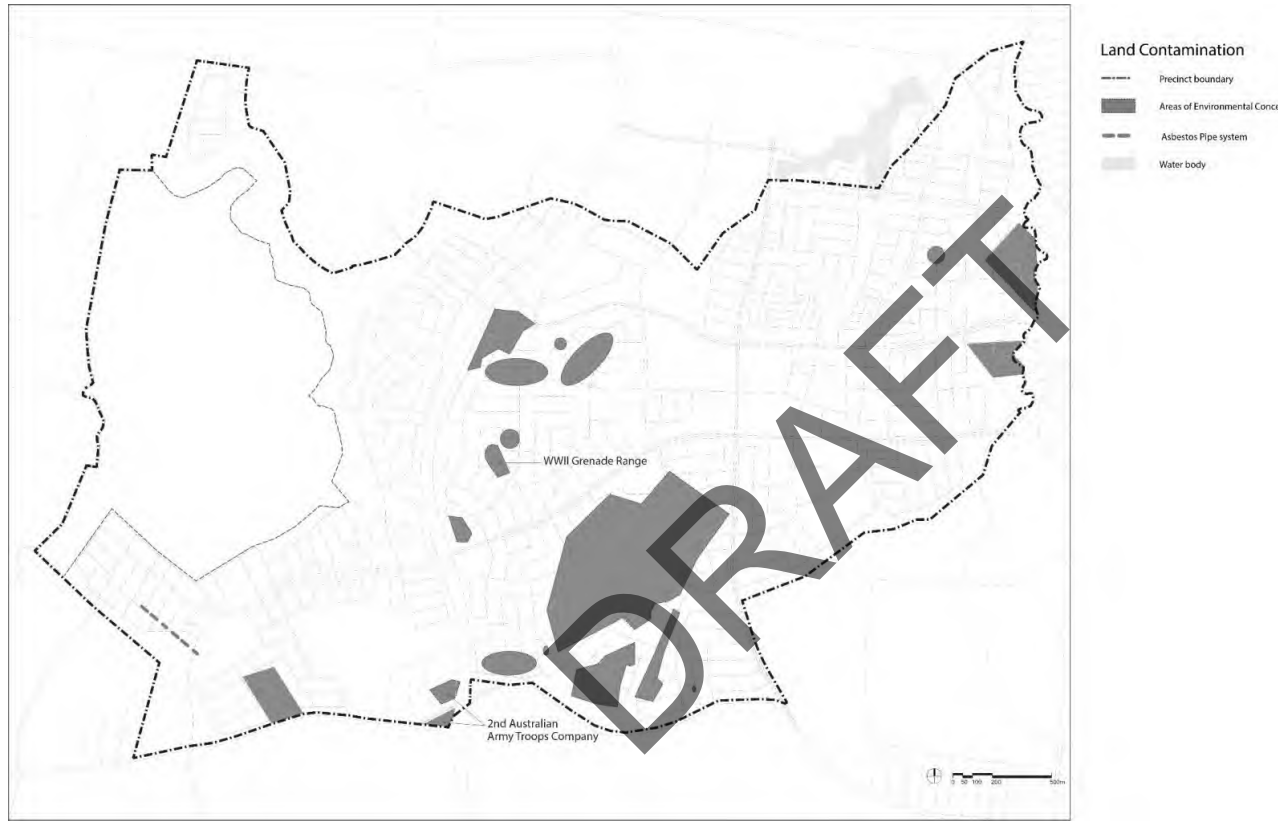
6.7 Contamination Management

Objectives

- a. To minimise the risks to human health and the environment from the development of potentially contaminated land.
- b. To ensure that potential site contamination issues are adequately addressed at the subdivision stages.

Controls

1. DAs for development in Areas of Environmental Concern (AEC) as identified at **Figure 35** shall be accompanied by a Stage 2 Detailed Environmental Site Investigation prepared in accordance with Council's *Policy – Management of Contaminated Lands*. If remediation is required, a Remediation Action Plan (RAP) is to be prepared and submitted as part of any DA that seeks consent for remediation. Council may require a Site Audit Statement (SAS) (issued by a DECC Accredited Site Auditor) where remediation works have been undertaken to confirm that areas identified as contaminated land are suitable for the proposed use. The SAS shall be submitted prior to the issue of the Subdivision Certificate.
2. Where redevelopment is proposed on a site where the Council suspects that contamination may be present or for applications proposing a change of use to a more sensitive land use (e.g. residential, education, public recreation facility etc), Council will require a Stage 1 Preliminary Environmental Site Contamination Investigation. Depending on the outcome of the Stage 1 investigation, a Stage 2 Environmental Site Investigation may also be required.
3. All investigations, reporting and identified remediation works must be in accordance with the protocols of Council's *Policy – Management of Contaminated Lands* and the DECC's *Guidelines for Consultants Reporting on Contaminated Sites*.



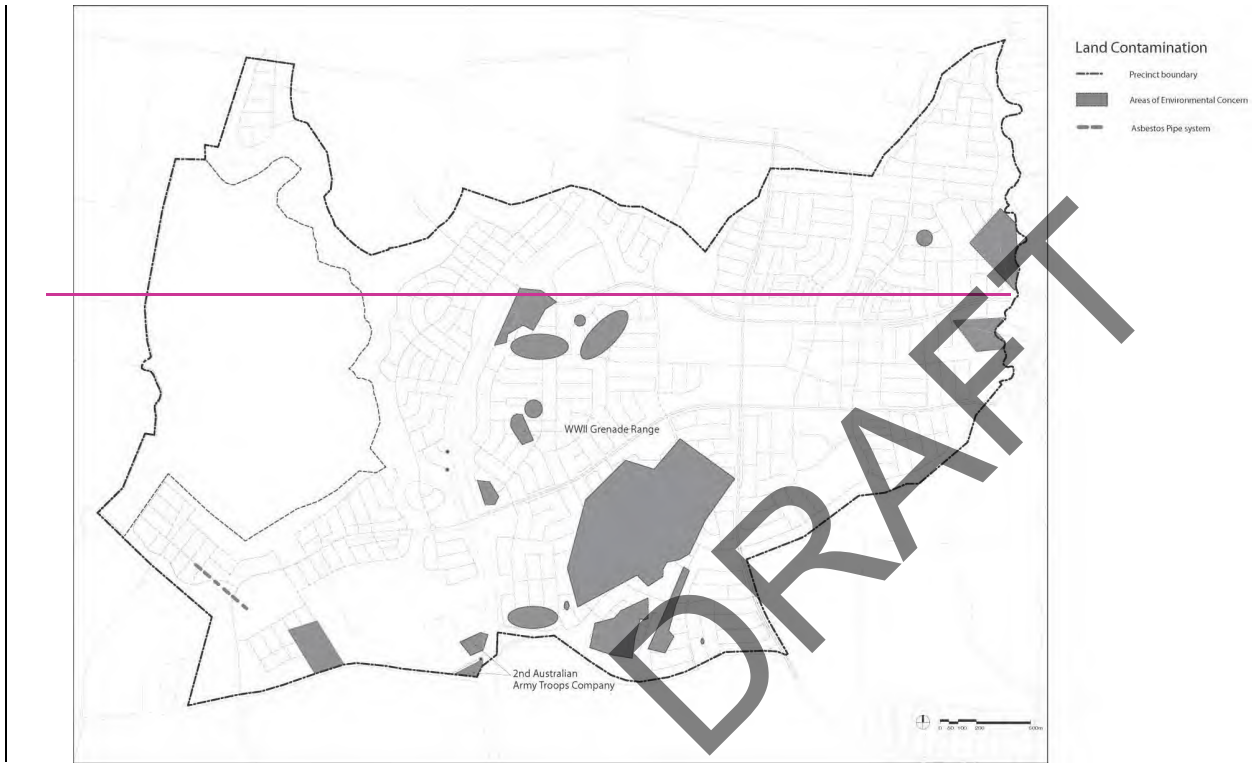


Figure 35: Areas of Environmental Concern

6.8 Odour

Objective

- (a) To ensure appropriate levels of odour amenity for future residents.

Controls

1. Any residential subdivision DA on land east of the main North-South spine road is to be accompanied by a Level 3 Odour Impact Assessment (using the dispersion-modelling program CALPUFF) to verify the actual nuisance levels of odour generated by the existing poultry farms in Springfield Road, Catherine Fields. The assessment is to be undertaken in accordance with the EPA Draft Policy 'Assessment and Management of Odour from Stationary Sources in NSW and Technical Notes'.

Note: Refer to Figure 4-1 in the Level 1 Odour Impact Assessment for Oran Park Precinct prepared by Benbow Environmental dated March 2007 for the affected area.

2. Any land identified by the Level 3 Odour Impact Assessment as being within a nominated separation distance shall not be developed until either:
 - Council is satisfied that the poultry operation ceases to operate, or
 - it can be demonstrated to Council that a change to the operation of the poultry farm has resulted in removal of the odour source.
3. Where an existing poultry farm is proposed to expand or a new poultry farm proposed within the precinct boundary, a Level 3 Odour Impact Assessment must be undertaken to verify the actual nuisance level of odour generated by the poultry farm. The assessment is to be undertaken in accordance with the EPA Draft Policy "Assessment and Management of Odour from Stationary Sources in NSW and Technical Notes". Any Level 3 Odour Assessment must also consider the local terrain effects on odour behaviour for day and night-time periods and determine the suitable separation distance that the farm must be from sensitive development. For residential or sensitive use developments a 2.0 OU / m³ should be used as the criterion to determine the level of odour nuisance / impact.
4. For industrial / employment developments, the emission of all air impurities is to be strictly controlled in accordance with the *Protection of the Environment Operations (Clean Air) Regulation 2002* and must not exceed the prescribed standard concentration and emission rates. Where no standard is prescribed by the regulation, the activity or operation of any plant must be carried out by such practicable means as may be necessary to prevent or minimise air pollution. A report prepared by a suitably qualified air quality expert may be requested by Council to be prepared prior to development consent being granted. Such a report is to detail the likely air emissions and impacts, methods for control and maintenance of equipment, to ensure compliance with the *Protection of the Environment Operations Act 1997* and associated Regulations.
5. All Sewage Treatment Plants (STP) are to be surrounded by an odour buffer. The size of such buffer is to be determined by a suitably qualified air quality expert in conjunction with Sydney Water and Camden Council. Where there is a proposal to locate a STP in or near the precinct that includes associated odour buffer zones, all proposed residential development boundaries and

sensitive land use developments must be located outside of the defined buffer zones of the STP. Sewage Pumping Stations (SPS) must be located a suitable distance away from residential development boundaries that includes sensitive land use developments preferably in areas of public open space.

6.9 Acoustics

Objective

- a. To achieve an acceptable residential noise environment whilst maintaining well designed and attractive residential streetscapes.
b. To discourage the use of local streets by heavy vehicles.

Controls

1. Residential development shall be designed to comply with Council's Environmental Noise Policy that incorporates DECC's Environmental Criteria for Road Traffic Noise. However, for residential development adjoining sub-arterial and collector roads, where external traffic noise level limits will be exceeded at the façade of the residential premises nearest to the noise source, the development will be deemed to comply with Council's Environmental Noise Policy if:

- the principal private open space area of the residential premises complies with the relevant noise limit, and
- the internal noise levels identified in sub-clause (2) are achieved.

2. The internal noise level limits for residential development are:

For residential premises impacted by traffic noise from arterial, or sub-arterial roads;

- in a naturally ventilated - windows open condition (i.e. windows open up to 5% of the floor area, or attenuated natural ventilation open to 5% of the floor area), or mechanically ventilated windows closed condition:

Table with noise level data: Sleeping areas (LAeq 15 hour, Day: 40dB, LAeq 9 hour, Night: 35dB), Living areas (LAeq 15 hour, Day: 45dB, LAeq 9 hour, Night: 40dB)

- where a naturally ventilated - windows open condition cannot be achieved, it is necessary to incorporate mechanical ventilation compliant with AS1668 and the Building Code of Australia. The noise levels above shall be met with mechanical ventilation or air-conditioning systems not operating. The following LAeq noise levels shall not be exceeded when doors and windows are shut and mechanical ventilation or air conditioning is operating:

Sleeping areas	L _{Aeq} 15 hour, Day	43dB
	L _{Aeq} 9 hour, Night	38dB
Living areas	L _{Aeq} 15 hour, Day	46dB
	L _{Aeq} 9 hour, Night	43dB

Note: These levels correspond to the combined measured level of external sources and the ventilation system operating normally.

For residential premises impacted by traffic noise from collector roads:

- in a naturally ventilated - windows open condition (i.e, windows open up to 5% of the floor area, or attenuated natural ventilation open to 5% of the floor area), or mechanically ventilated windows closed condition:

Sleeping areas	L _{Aeq} 1 hour, Day	40dB
	L _{Aeq} 1 hour, Night	35dB
Living areas	L _{Aeq} 1 hour, Day	45dB
	L _{Aeq} 1 hour, Night	40dB

- where a naturally ventilated - windows open condition cannot be achieved, it is necessary to incorporate mechanical ventilation compliant with AS1668 and the Building Code of Australia. The noise levels above shall be met with mechanical ventilation or air-conditioning systems not operating. The following L_{Aeq} noise levels shall not be exceeded when doors and windows are shut and mechanical ventilation or air conditioning is operating:

Sleeping areas	L _{Aeq} 1 hour, Day	43dB
	L _{Aeq} 1 hour, Night	38dB
Living areas	L _{Aeq} 1 hour, Day	46dB
	L _{Aeq} 1 hour, Night	43dB

Note: These levels correspond to the combined measured level of external sources and the ventilation system operating normally.

Note: L_{Aeq} 1 hour noise levels shall be determined by taking as the second highest L_{Aeq} 1 hour over the day and night period for each day and arithmetically averaging the results over a week for each period (5 or 7 day week, whichever is highest).

3. For residential subdivisions that:
 - are adjacent to arterial, sub-arterial or collector roads, or
 - are potentially impacted upon by a nearby industrial / employment area, or

- are on steep (> 1:10) or elevated land within 100m of an arterial, sub-arterial or collector road

an acoustic report is required to be submitted as part of a subdivision application demonstrating that the proposed subdivision design and any required acoustic attenuation can comply with the above noise control levels. An acoustic report is also required for any non-residential use to be undertaken within a residential area.

4. All industrial / commercial / employment development is to comply with the *Industrial Noise Policy* (DECC 2000).
5. Noise walls are not permitted on any sub-arterial road, collector street or local street. Arterial roads require an innovative solution that maintains a quality landscape and streetscape. Options for arterial roads can include, but may not be limited to landscaped mounds, a combination of mounds and walls or well-designed walls that have interesting materials, colours, patterns and an openness through use of transparent materials or outwardly angled walls.
6. A combination of the following measures (described in **Figure 36**) is to be used to mitigate the impacts of traffic noise on sub-arterial roads and collector streets:
 - setbacks and service roads,
 - internal dwelling layouts that are designed to minimise noise in living and sleeping areas,
 - changes in topography,
 - using attached dwellings,
 - using higher than standard fencing between separate buildings constructed with a suitably solid mass, and
 - site layouts that locate principal private open space areas away from the noise source.

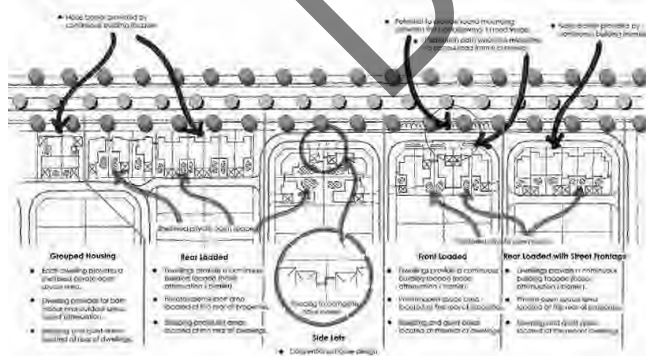


Figure 36: Measures to Minimise Noise Intrusion

7. Development in Residential Areas

This section of the DCP provides development controls relating to neighbourhood and subdivision design, streetscape and architectural design, setbacks, corner lots, zero lot lines, dwelling height, massing and siting, private open space, garages, access and parking, studios / Fonzie flats, dual occupancies, mixed use and high density housing, safety and surveillance, fencing and cut and fill.

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7.1 Residential Density and Subdivision

The Growth Centres are subject to minimum residential density targets as detailed in the Residential Density Maps in the SEPP. This section provides guidance on the typical characteristics of the residential density target bands.

Net Residential Density means the net developable area in hectares of the land on which the development is situated divided by the number of dwellings proposed to be located on that land. Net Developable Area means the land occupied by the development, including internal streets plus half the width of any adjoining access roads that provide vehicular access, but excluding land that is not zoned for residential purposes. Refer to Figure 37 and Landcom’s “Residential Density Guide” and the Department of Planning and Environments’ “Areas Dwelling Density Guide” for further information.



Figure 37: Example for Calculating Net Residential Density of a Subdivision Application

Net Residential Density is an averaging statistic. The average dwelling density target in the SEPP should be achieved across the identified area with a diversity of lot and housing types. However, this does not mean that all streets offer the same housing and lot mix. Built form intensity should vary across a neighbourhood in response to the place: more intense around centres or fronting parks, less intense in quieter back streets. In lower density areas, there will be a higher proportion of larger lots and suburban streetscapes but there may also be some streets with an urban character. In higher density areas, urban streets with more attached housing forms will be more common but there will also be some suburban streetscapes.

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In recognition of different objectives and street characters at varying densities, certain built form controls vary by density bands. Refer to the section Residential Density.

7.2 Residential Density

Objectives

- a. To ensure minimum density targets are delivered.
- b. To provide guidance to applicants on the appropriate mix of housing types and appropriate locations for certain housing types.
- c. To establish the desired character of the residential areas.
- d. To promote housing diversity and affordability.

Controls

1. All applications for residential subdivision and the construction of residential buildings are to demonstrate that the proposal meets the minimum residential density requirements of the relevant Precinct Plan and contributes to meeting the overall dwelling target in the relevant Precinct.
2. Residential development is to be generally consistent with the residential structure as set out in the Residential Structure Figure in the relevant Precinct Schedule, the typical characteristics of the corresponding Density Band in **Table 11**.

Table 11: Typical Characteristics of Residential Net Densities

Net Residential Density dw / Ha	Typical Characteristics
10 - 12.5 dw / Ha	Generally located away from centres and transport. Predominantly detached dwelling houses on larger lots with some semi-detached dwellings and / or dual occupancies. Single and double storey dwellings. Mainly garden suburban and suburban streetscapes. (See Figure 31).
15 – 20 dw / Ha	Predominantly a mix of detached dwelling houses, semi-detached dwellings and dual occupancies with some secondary dwellings. Focused areas of small lot dwelling houses in high amenity locations. At 20 dw / Ha, the occasional manor home on corner lots. Single and double storey dwellings. Mainly suburban streetscapes, the occasional urban streetscape. (See Figure 31).
25 - 30 dw / Ha	Generally located within the walking catchment of centres, corridors and / or rail based public transport. Consists of predominantly small lot housing forms with some multi-dwelling housing, manor homes and residential flat buildings located close to the local centre and public transport. Generally single and double storey dwellings with some 3 storey buildings. Incorporates some laneways and shared driveways. Be designed to provide for activation of the public domain, including streets and public open space through the orientation and design of buildings and communal spaces.
	Mainly urban streetscapes, some suburban streetscapes. (See Figure 31).

40+ dw / Ha	<p><u>Mainly urban streetscapes, some suburban streetscapes. (See Figure 31).</u></p> <p>Generally located immediately adjacent to centres and / or rail based public transport.</p> <p>Consists of predominantly residential flat buildings, shop top housing, manor homes, attached or abutting dwellings and multi-dwelling housing.</p> <p>Generally double and multi-storey buildings.</p> <p>Predominantly urban streetscapes with minimal front setback; incorporates laneways and shared driveways. (See Figure 31).</p>
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Garden Suburban



Suburban



Urban

Figure 38: Distinct and Coherent Streetscapes Occur in Varying Proportions in Density Bands

3. Residential development in an Environmental Living area, on the **Residential Structure** figure, is to:
- consist primarily of single dwellings on larger lots, reflecting the environmental sensitivity and visual character of these parts of the Precincts,
 - emphasise high quality housing design to make the most of the environmental characteristics of the surrounding area,
 - be designed and located to minimise impacts on flood prone land, and risks to property from flooding,
 - avoid impacts on Existing Native Vegetation and other remnant native vegetation,
 - consider relationships to adjoining land uses including public open space and drainage infrastructure,
 - be designed to respond to constraints from infrastructure corridors such as electricity lines, underground gas pipelines and any Sydney Catchment Authority infrastructure, and
 - consider views to and from the land and surrounding parts of the Growth Centre.
4. Non-residential development in the residential areas is encouraged where it:
- contributes to the amenity and character of the residential area within which it is located,
 - provides services, facilities or other opportunities that meet the needs of the surrounding residential population and contributes to reduced motor vehicle use,
 - will not result in detrimental impacts on the amenity and safety of surrounding residential areas, including factors such as noise and air quality, and
 - is of a design that is visually and functionally integrated with the surrounding residential area.

Note: The relevant Precinct Plan permits certain non-residential development within the residential zones. Other parts of this DCP provide more detailed objectives and controls for these types of development.

7.3 Block and Lot Layout

Objectives

- a. To establish a clear urban structure that promotes a 'sense of neighbourhood' and encourages walking and cycling.
- b. To efficiently utilise land and achieve the target dwelling yield for the relevant Precinct.
- c. To emphasise the natural attributes of the site and reinforce neighbourhood identity through the placement of visible key landmark features, such as parks, squares and landmark buildings.
- d. To optimise outlook and proximity to public and community facilities, parks and public transport with increased residential density.
- e. To encourage variety in dwelling size, type and design to promote housing choice and create attractive streetscapes with distinctive characters.
- f. To accommodate a mix of lot sizes and dwelling types across a precinct.
- g. To establish minimum lot dimensions for different residential dwelling types.

Controls

Blocks

1. Residential neighbourhoods are to be focused on elements of the public domain such as a school, park, retail, or community facility that are typically within walking distance.
2. Subdivision layout is to create a legible and permeable street hierarchy that responds to the natural site topography, the location of existing significant trees and site features, place making opportunities and solar design principles.
3. Pedestrian connectivity is to be maximised within and between each residential neighbourhood with a particular focus on pedestrian routes connecting to public open space, bus stops and railway stations, educational establishments and community / recreation facilities.
4. Street blocks are to be generally a maximum of 250m long and 70m deep. Block lengths in excess of 250m may be considered by Council where pedestrian connectivity, stormwater management and traffic safety objectives are achieved. In areas around neighbourhood and town centres, the block perimeters should generally be a maximum of 520m (typically 190m x 70m) to increase permeability and promote walking.

5. Minimum lot sizes for each dwelling type will comply with the minimum lot size provisions permitted by the Sydney Region Growth Centres SEPP, summarised here as **Table 12**. In certain density bands, variations to some lot sizes may be possible subject to clauses 4.1AC, 4.1AD, 4.1AE, 4.1AF and 4.1AG in the Sydney Region Growth Centres SEPP.
6. Minimum lot frontages applying to each density band will comply with **Table 13**. Lot frontage is measured at the street facing building line as indicated in **Figure 39**.

Table 12: Minimum Lot Size by Density Bands

Minimum Net Residential Target (dwellings / Ha)	R1 General Residential	R3 Medium Density Residential
Dwelling House (base control)	300	300
With BEP	250	225
As Integrated DA	250	125
Locational criteria* (BEP or Integrated DA)	225	N/A
Studio Dwelling	No minimum lot size as strata development not subject to minimum lot size controls	
Secondary Dwelling	450	In principle lot
Dual Occupancy	500	400
Semi Detached Dwelling	200	200
Attached Dwelling	375	375
Multi Dwelling Housing	1,500	375
	375	
Manor Homes	Not permissible	600
Residential Flat Buildings	Not permissible	2,000

* On land zoned R1 General Residential, the minimum development lot size for the purposes of a dwelling house can be varied to 225m² and minimum development lot size for the purpose of multi-dwelling housing can be varied to 375m² in places that satisfy one of the following locational criteria:

- adjoining land approved for Public Recreation or land that is separated from land approved for Public Recreation only by a public road;
- adjoining land approved for Special Infrastructure and set aside for Drainage or Educational purposes or land that is separated from land approved for Special Infrastructure and is set aside for Drainage or Educational purposes only by a public road, and in either instance is also within 400m of land approved for Neighbourhood Centre or Local Centre, adjoining land approved for Neighbourhood Centre, Local Centre or Mixed Use or land that is separated from land approved for Neighbourhood Centre, Local Centre or Mixed Use only by a public road.

Table 13: Minimum Lot Frontages by Density Bands

Minimum Lot Frontages		Net Residential Density Target (dw / Ha)		
		10 to 12.5 dw / Ha	15 dw / Ha	20 to 45 dw / Ha
Minimum Lot Frontages	Front Loaded	12.5m	9m	7m
	Rear Loaded	4.5m	4.5m	4.5m

Note: The combination of the lot frontage width and the size of the lot determine the type of dwelling that can be erected on the lot, and the development controls that apply to that dwelling.

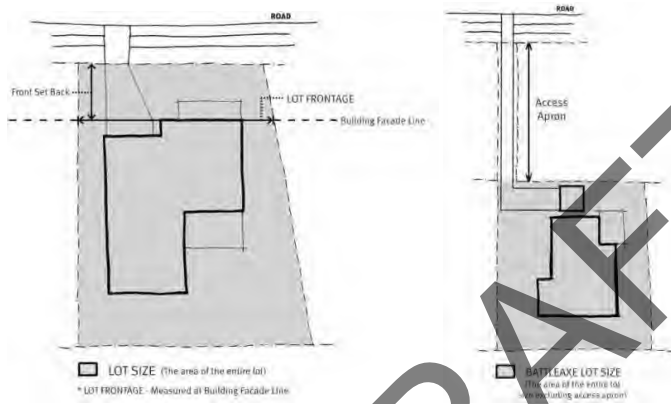


Figure 39: Measurement of Minimum Lot Widths and Lot Area

7. A range of residential lot types (area, frontage, depth, zero lot and access) must be provided to ensure a mix of housing types and dwelling sizes and to create coherent streetscapes with distinctive garden suburban, suburban and urban characters across a neighbourhood.
8. No more than 40% of the total residential lots proposed in a subdivision development application may be of the same lot type. For the purposes of this control, a lot type is primarily determined by lot frontage, but other variables that may be considered are access and configuration. Lot width categories are determined by a range of plus or minus 1.0m. For example, lots between 9.0m and 11.0m are classified as the one type of lot for the purposes of this control. Every DA for subdivision must be accompanied by a Lot Mix table showing the lot types, number and percentage of the overall total. Lots subdivided using Subdivision Approval Pathways B1 or B2 (Integrated Housing) for attached or abutting dwellings are exempt from this control.
9. In density bands $\leq 25dw / Ha$, total lot frontage for front accessed lots greater than or equal to 7m and less than 9m should not exceed 20% of any block length due to garage dominance and on-street parking impacts.
10. Lots should be rectangular. Where lots are an irregular shape, they are to be large enough and oriented appropriately to enable dwellings to meet the controls in this DCP.

11. Where residential development adjoins land zoned RE1 Public Recreation or SP2 Drainage, subdivision is to create lots for the dwelling and main residential entry to front the open space or drainage land.
12. The orientation and configuration of lots is to be generally consistent with the following subdivision principles:
 - smallest lots achievable for the given orientations fronting parks and open space with the larger lots in the back streets,
 - larger lots on corners, and
 - north to the front lots are either the widest or deepest lots, or lots suitable for residential development forms with private open space at the front. Narrowest lots with north to the rear.
13. Preferred block orientation is established by the road layout on the Indicative Layout Plan in the relevant Precinct Schedule. Optimal lot orientation is east-west or north-south where the road pattern requires. Exceptions to the preferred lot orientation may be considered where factors such as the layout of existing roads and cadastral boundaries, or topography and drainage lines, prevent achievement of the preferred orientation.
14. An alternative lot orientation may be considered where other amenities such as views and outlook over open space are available, and providing appropriate solar access and overshadowing outcomes can be achieved.

Note: The combination of the lot frontage width and the size of the lot determine the type of dwelling that can be erected on the lot, and the development controls that apply to that dwelling.

Zero Lot Lines

15. The location of a zero lot line is to be determined primarily by topography and should be on the low side of the lot to minimise water penetration and termite issues. Other factors to consider include dwelling design, adjoining dwellings, landscape features, street trees, vehicle crossovers and the lot orientation as illustrated at **Figure 52**.
16. On all lots where a zero lot line is permitted, the side of the allotment that may have a zero lot alignment must be shown on the approved subdivision plan.

17. Where a zero lot line is nominated on an allotment on the subdivision plan, the adjoining (burdened) allotment is to include a 900mm easement for single storey zero lot walls and 1200mm for two storey zero lot walls to enable servicing, construction and maintenance of the adjoining dwelling. No overhanging eaves, gutters or services (including rainwater tanks, hot water units, air-conditioning units or the like) of the dwelling on the benefited lot will be permitted within the easement. Any services and projections permitted under **Clause 7.6.4(8)** within the easement to the burdened lot dwelling should not impede the ability for maintenance to be undertaken to the benefited lot.
18. The S88B instrument for the subject (benefited) lot and the adjoining (burdened) lot shall include a note identifying the potential for a building to have a zero lot line. The S88B instrument supporting the easement is to be worded so that Council is removed from any dispute resolution process between adjoining allotments.

For more information, refer to the **Growth Centres Practice Notes: Zero Lot Boundaries and Building Envelope Plans**.

Subdivision of Shallow Lots

19. Shallow lots (typical depth 14-18m, typical area <200m²) intended for double storey dwellings should be located only in locations where it can be demonstrated that impacts on adjoining lots, such as overshadowing and overlooking of private open space, satisfy the requirements of the DCP. For lots over 225m² where development is not Integrated Assessment, the Building Envelope Plan should demonstrate in principle how DCP requirements such as solar access and privacy to neighbouring private open spaces will be satisfied.

Subdivision for Attached or Abutting Dwellings

20. Subdivision of lots for Torrens title attached or abutting dwellings must take into account that construction will be in 'sets'. A 'set' is a group of attached or abutting dwellings built together at the same time that are designed and constructed independently from other dwellings.
21. The maximum number of attached or abutted dwellings permissible in a set is six.
22. The composition of sets needs to be determined in the subdivision design to take into account the lot width required for a side setback to the end dwellings in each set. Examples of lot subdivisions for sets are illustrated in **Figure 40**.



Figure 40: Two Examples of Lot Subdivision for 'Sets' of Attached or Abutting Terraces

Residential Flat Buildings

- 23. A person may not amalgamate two or more adjoining allotments after principle subdivision to create a larger lot that achieves the minimum lot size required for residential flat buildings.

7.3.1 Battle-axe Lots

Objectives

- a. To limit battle-axe lots to certain circumstances.
- b. To ensure that where a battle-axe lot without public road or open space frontage is provided, their amenity and the amenity of neighbouring lots is not compromised by their location.
- c. To enable battle-axe shaped lots or shared driveway access to lots fronting access denied roads.

Controls

- 1. Principles for the location of battle-axe lots are illustrated at **Figure 41**.
- 2. Subdivision layout should minimise the use of battle-axe lots without public frontage to resolve residual land issues.

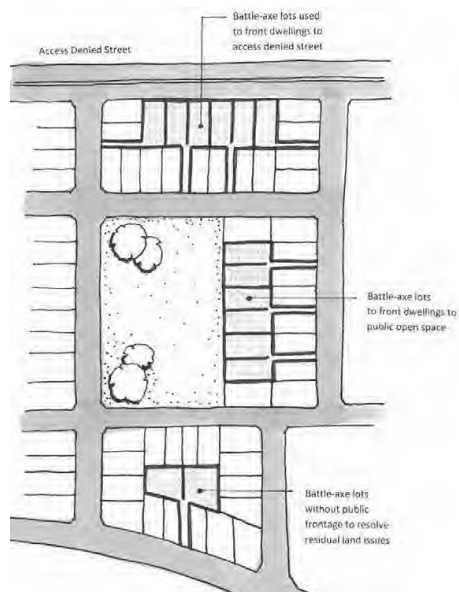


Figure 41: Examples of Locations of Battle-axe Lots

3. In density bands 10, 15 and 20 dw / Ha, the minimum site area for battle-axe lots without any street or park frontage is 500m² (excluding the shared driveway) and only detached dwelling houses will be permitted.
4. The driveway or shared driveway will include adjacent planting and trees, as indicated in **Figure 42**.
5. Driveway design, including dimensions and corner splays, is to be in accordance with Council's Engineering Specifications.

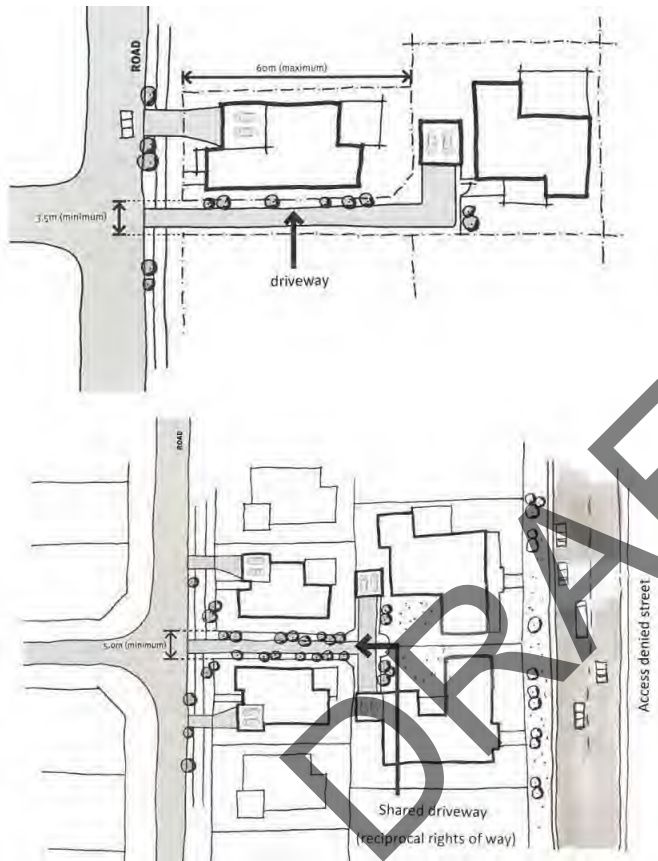


Figure 42: Examples of Driveways and Shared Driveways for Battle-axe Lots

7.3.2 Corner Lots

Objectives

- a. To ensure corner lots are of sufficient dimensions and size to enable residential controls to be met.

Controls

1. Corner lots, including splays and driveway location, are to be designed in accordance with AS 2890 and Council's Engineering Specifications.
2. Corner lots are to be designed to allow dwellings to positively address both street frontages as indicated in **Figure 36**.
3. Garages on corner lots are encouraged to be accessed from the secondary street or a rear lane.
4. Plans of subdivision are to show the location of proposed or existing substations, kiosks, sewer man holes and / or vents affecting corner lots.

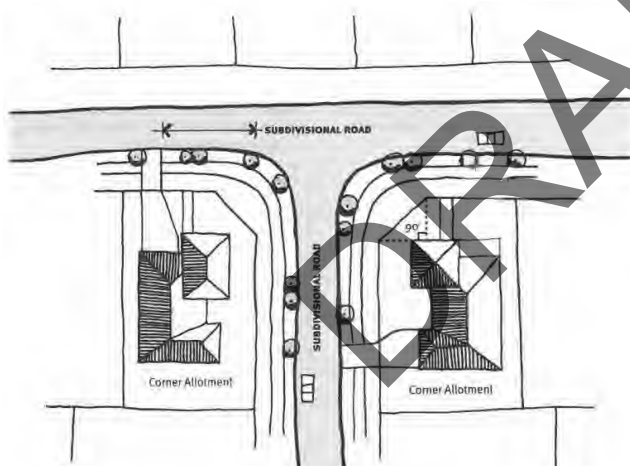


Figure 43: Corner Lots

7.4 Subdivision Approval Process

Objectives

- a. To facilitate a diversity of housing sizes and products.
- b. To ensure that subdivision and development on smaller lots is undertaken in a coordinated manner.
- c. To ensure that all residential lots achieve an appropriate level of amenity.

Controls

1. The land subdivision approval process is to be consistent with the requirements of **Table 14**.
2. Subdivision of land creating residential lots less than 225m² or lots less than 9m wide shall include a dwelling design as part of the subdivision development application. The dwelling design is to be included on the S88B instrument attached to the lot.

Table 14: Subdivision Approval Process

Approval pathway	DA for Subdivision	DA for Subdivision with Building Envelope Plan	DA for Integrated Housing (Integrated Assessment with subdivision prior to construction of dwellings)	DA for Integrated Housing
	Pathway A1	Pathway A2	Pathway B1	Pathway B2
Application	Lots equal to greater than 300m ²	Lots less than 300m ² and equal to or greater than 225m ² in area, and with a width equal to or greater than 9m*	Dwelling construction involving detached or abutting dwellings on: lots less than 225m ² , or lots with a width less than 9m*	Dwelling construction involving common walls (i.e. attached dwellings) on: lots less than 225m ² , or lots with a width less than 9m*
Dwelling plans required	As part of future DA or CDC	As part of future DA or CDC	Yes as part of subdivision application	Yes as part of subdivision application
Dwelling Design 88B restriction required	No	Yes	Yes, only approved dwelling can be built	Yes, only approved dwelling can be built
Timing of subdivision (release of linen plan)	Pre-construction of dwellings	Pre-construction of dwellings	Prior to the issue of the CC	Post-construction of dwellings
Housing Code applicable	Yes	Yes (for 200m ² lots and above)	No	No

*Minimum lot width refer to **Figure 40**.

3. Subdivision applications that create lots smaller than 300m² and larger than or equal to 225m² must be accompanied by a Building Envelope Plan (BEP). An example of a BEP is included at **Figure 44**.

The BEP should be at a legible scale (suggested 1:500) and include the following elements:

- lot numbers, north point, scale, drawing title and site labels such as street names,
- maximum permissible building envelope (setbacks, storeys, articulation zones),
- preferred principal private open space,
- garage size (single or double) and location, and
- zero lot line boundaries.

A BEP should be fit for purpose and include only those elements that are necessary for that particular lot. Other elements that may be relevant to show include:

- special fencing requirements,
- easements and sewer lines,
- retaining walls,
- preferred entry / frontage (e.g. corner lots),
- access denied frontages,
- electricity kiosks or substations, and
- indicative yield on residue or super lots.

For further information, refer to the **Department of Planning and Environment Delivery Note: Building Envelope Plans**.

4. Applications for subdivision using approval pathways A2, B1 and B2 require a Public Domain Plan (PDP) to be submitted as part of the application. The purpose of the PDP is to demonstrate how the public domain will be developed as a result of future development on the proposed lots. An example of a PDP is included at **Figure 45**.

The PDP should be at a legible scale (suggested 1:500) and include the following elements:

- lot numbers, north point, scale, drawing title and site labels such as street names,
- indicative building footprints on the residential lots,

- location of driveways and driveway crossovers,
- verge design (footpath, landscape),⁹⁵
- surrounding streets and lanes (kerb line, material surface where special treatments proposed),
- in laneways, indicative provision for bin collection,
- street tree locations. (Sizes and species list can be provided on a separate plan),
- demonstrated provision and arrangements for on-street car parking particularly in relation to street tree planting, driveways and intersections*, and
- extent of kerb line where parking is not permitted*.

** In principle, not as public domain works*

Other elements that may be relevant to show include:

- location and type of any proposed street furniture,
- location of retaining walls in the public domain,
- electricity substations, and
- indicative hydrant locations at lane thresholds.

Information on landscape treatment within the private lot is not required.

For further information, refer to the **Department of Planning and Environment Delivery Note: Public Domain Plans.**

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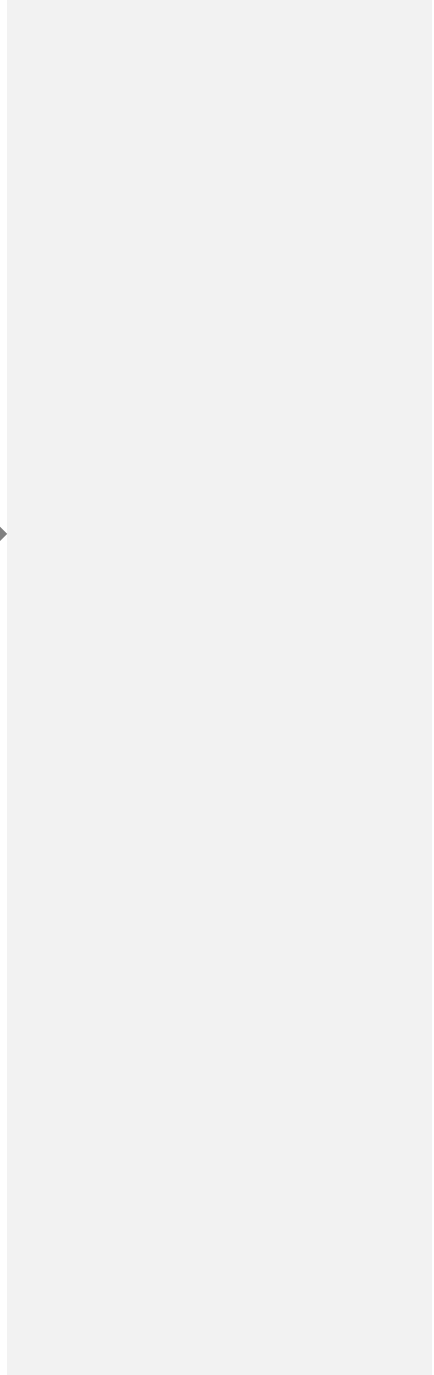




Figure 44: Sample of Building Envelope Plan (BEP)

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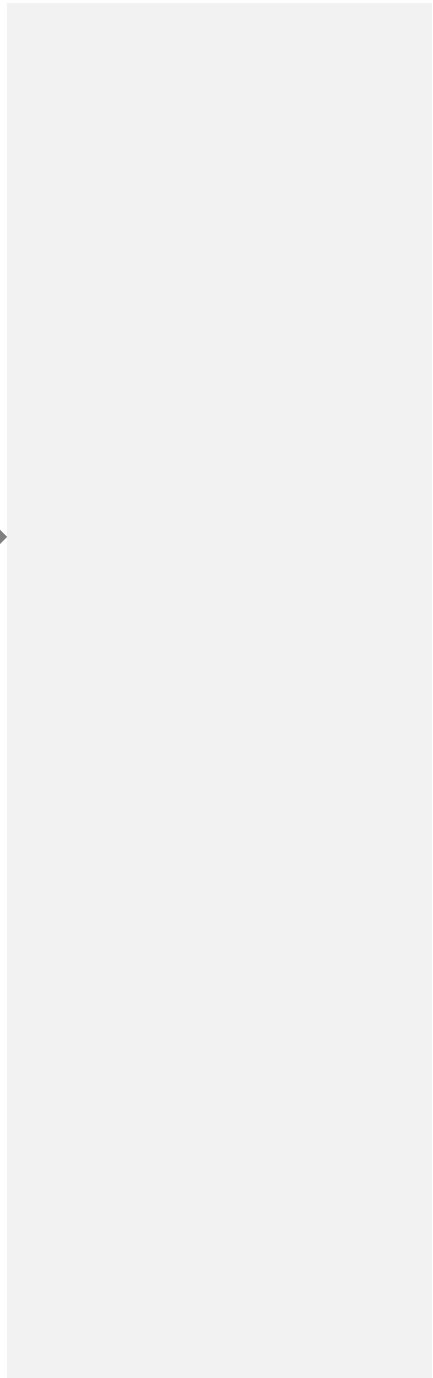




Figure 45: Sample of a Public Domain Plan

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7.5 Site Responsive Design

7.5.1 Site Analysis

Site analysis for each individual lot is an important part of the design process. Development proposals need to illustrate design decisions which are based on careful analysis of the site conditions and their relationship to the surrounding context. By describing the physical elements of the locality and the conditions impacting on the site, opportunities and constraints for development can be understood and addressed in the design.

The Site Analysis Plan should show the existing features of the site and its surrounding area, together with supporting written material. A Site Analysis Plan must show at least the following features:

- the position of the proposed building in relation to site boundaries and any other structures and existing vegetation and trees on the site,
- any easements over the land,
- the location, boundary dimensions, site area and north point of the land,
- the location of existing street features adjacent to the property, such as trees, planting, street lights,
- contours and existing levels of the land in relation to buildings and roads and, whether the proposed development will involve any changes to these levels,
- the location and uses of buildings on sites adjoining the land, and
- a stormwater concept plan (where required).

7.5.2 Cut and Fill

Objectives

- a. To minimise the extent of cut and fill within residential allotments.
- b. To protect and enhance the aesthetic quality of the area by controlling the form, bulk and scale of land forming operations.
- c. To ensure that fill material is not contaminated and does not adversely affect the fertility or salinity of soil, or the quality of surface water or groundwater.
- d. To ensure that the amenity of adjoining residents is not adversely affected by any land forming operation.

Controls

1. DAs are to illustrate where it is necessary to cut and / or fill land and provide justification for the proposed changes to the land levels.
2. The maximum amount of cut shall not exceed 1m. The maximum amount of fill shall not exceed 1m.
3. Fill within 2.0m of a property boundary shall be fully contained by the use of deepened (drop) edge beam construction with no fill permitted outside of this building footprint.
4. The use of a deepened edge beam shall not exceed 1m above natural ground level.
5. Where excavation or filling is required alongside a driveway, it shall be retained by a retaining wall.
6. Council will consider permitting greater cut for basement garages and split level designed development on steeply sloping sites.
7. All retaining walls proposed are to be identified in the development application and shall be a minimum 0.3m from property boundaries. Excavations affecting adjoining properties are to be retained or shored immediately. All other approved retaining walls are to be in place prior to the issue of an occupation certificate.
8. The maximum height of voids within individual allotments is 3m, as illustrated in Figure 39.

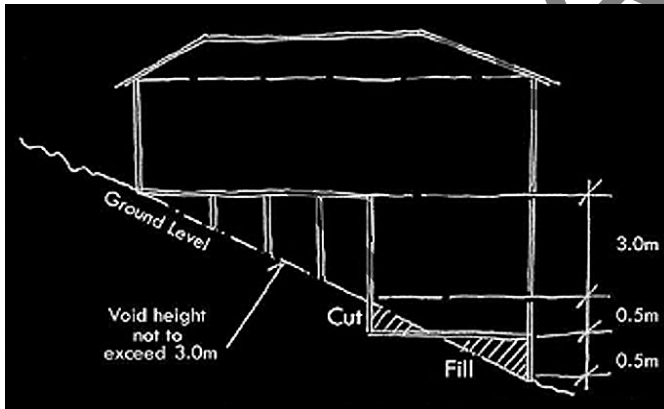


Figure 46: Maximum Height of Voids Within Residential Lots

7.5.3 Sustainable Building Design

Objectives

- a. To maximise microclimate benefits to residential lots and to minimise impacts of residential development on local climatic conditions.
- b. To enhance streetscape amenity and ensure an appropriate standard of landscaping.
- c. To minimise energy usage and greenhouse emissions and encourage the adoption of renewable energy initiatives.
- d. To minimise consumption of potable water for non-potable uses, minimise site runoff and promote stormwater re-use.
- e. To minimise the use of non-renewable resources and minimise the generation of waste during construction.

Controls

1. The majority of plant species are to be selected from the preferred species listed at **Appendix C** and indigenous species are preferred.
2. The provisions of BASIX will apply with regards to water requirements and usage.
3. The design of dwellings is to maximise cross flow ventilation.
4. The orientation of dwellings, location of living rooms and the positioning and size of windows and other openings is to take advantage of solar orientation to maximise natural light penetration to indoor areas and to minimise the need for mechanical heating and cooling.
5. Outdoor clothes lines and drying areas are required for all dwellings and can be incorporated into communal areas for multi-dwelling development and residential flat building developments.
6. Design and construction of dwellings is to make use of locally sourced materials where possible.
7. Residential building design is to use, where possible, recycled and renewable materials.
8. Roof and paving materials and colours are to minimise the retention of heat from the sun.
9. The design of dwellings that are required to attenuate noise shall use, where possible, alternatives to air-conditioning, such as acoustic wall ventilators, ceiling fans, or bulkhead-mounted ducted fans to achieve appropriate ventilation.

7.6 Dwelling Design Controls

Under the provisions of the Precinct Plan, development consent is generally required for all dwellings in all residential zones, except where applications meet the criteria for complying development. This section establishes objectives and controls for the following types of residential accommodation as defined in the Growth Centres SEPP:

- dwelling houses;
- semi-detached dwellings;
- attached dwellings;
- abutting dwellings;
- multi-dwelling housing;
- dual occupancy dwellings;
- manor homes;
- residential flat buildings;
- secondary dwellings; and
- studio dwellings.

Additional controls for attached or abutting dwellings, secondary dwellings, studio dwellings, dual occupancies, multi-dwelling housing, manor homes, residential flat buildings and shop top housing are contained in **Section 7.7**.

It is acknowledged that innovative dwelling designs are evolving particularly on lots <300m², and design solutions may be developed that meet the objectives but do not comply with the relevant controls. In density bands ≥25 dw / Ha, there is the opportunity to vary the dwelling design controls where agreed to as part of an integrated housing development application at subdivision approval.











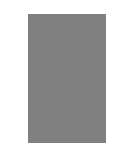
*Note: Reference should be made to the **Glossary** for descriptions of the various dwelling types, and to the relevant Precinct Plan for statutory definitions of land uses.*

7.6.1 Summary of Key Controls

The following **Table 15** summarises the types of lots and housing. **Table 15** is diagrammatic only and directs readers to the relevant **Table 16 to Table 20** containing the main development controls.

The key controls should be read in conjunction with the controls in the clauses that follow.

Table 15: Summary of Lot and Dwelling Types

Access	Lot Width	Detached	Zero Lot	Abutting / Attached	Controls Table
Rear access	≥ 4.5m				Table 16
Front access	7 > 9m				Table 17
	≥ 9 ≥ 15m				Table 18
	> 15m				Table 19
	Environmental Living Zone				Table 20

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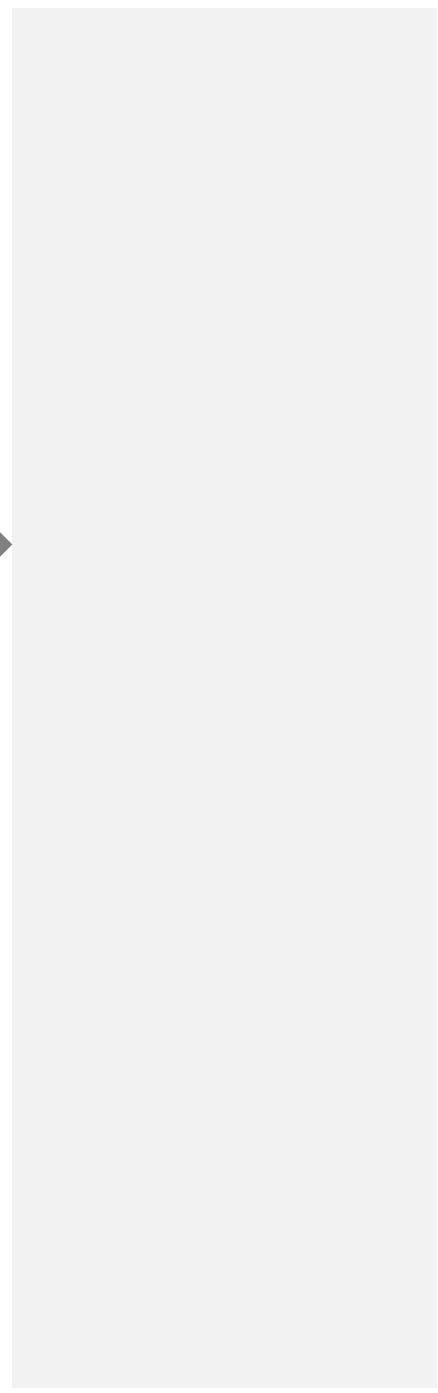


Table 16: Summary of Key Controls for Lots with Frontage Width $\geq 4.5\text{m}$ for Rear Accessed Dwellings

Element	Control	
Front setback (minimum)	4.5m to building facade line; 3.5m to building façade fronting open space. 3.0m to articulation zone; 2.0m to articulation zone fronting open space.	In density bands ≥ 25 dw / Ha 3m to building façade line, 1.5m to articulation zone.
Side setback (minimum)	Zero Lot, Attached or Abutting Boundary (benefited lot) Ground floor: 0m Upper floor: 0m	Detached Boundary 0.9m. If lot burdened by zero lot boundary, side setback must be within easement: 0.9m (single storey zero lot wall) 1.2m (double storey zero lot wall)
Maximum length of zero lot line on boundary	Attached / abutting house: 15m (excludes rear loaded garages) upper levels only. No limit to ground floor.	Zero lot house: 15m (excludes rear loaded garages)
Rear setback (minimum)	0.5m (rear loaded garages to lane)	
Corner lots secondary street setback (minimum)	1.0m	
Building height, massing and siting	In density areas ≤ 20 dw / Ha: 2 storeys maximum (3rd storey subject to clause 7.6.5 (1))	In density areas ≥ 25 dw / Ha: 3 storeys maximum
Site coverage	Upper level no more than 40% of lot area. Refer also Clause 7.7.2	
Soft landscaped area	Minimum 15% lot area. The first 1m of the lot measured from the street boundary (excluding paths) is to be soft landscaped.	
Principal Private Open Space (PPOS)	In density areas ≤ 20 dw / Ha: Minimum 16m ² with minimum dimension of 3m.	In density areas ≥ 25 dw / Ha: Minimum 16m ² with minimum dimension of 3m. 10m ² per dwelling if provided as balcony or rooftop with a minimum dimension of 2.5m.
Solar access	In density areas ≤ 20 dw / Ha: At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of both the proposed development and the neighbouring properties.	In density areas ≥ 25 dw / Ha: At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of: <ul style="list-style-type: none"> all affected neighbouring properties and, at least 70% of the proposed dwellings.
	For alterations and additions to existing dwellings in all density areas, no reduction in the existing solar access to PPOS of the existing neighbouring properties.	
Garages and car parking	Rear loaded garage or car space only for lots of this type. Minimum garage width 2.4m (single) and 4.8m (double). 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.	

Table 17: Summary of Key Controls for Lots with Frontage Width $\geq 7\text{m}$ and $< 9\text{m}$ for Front Accessed Dwellings

Element	Control	
Front setback (minimum)	4.5m to building facade line; 3.5m to building façade fronting open space. 3.0m to articulation zone; 2.0m to articulation zone fronting open space. 5.5m to garage line and minimum 1m behind the building line.	
Side setback (minimum)	Zero Lot, Attached or Abutting Boundary Ground floor: 0m Upper floor: 0m	Detached Boundary 0.9m. If lot burdened by zero lot boundary, side setback must be within easement: 0.9m (single storey zero lot wall) 1.2m (double storey zero lot wall)
Maximum length of zero lot line on boundary	15m	
Rear setback (minimum)	4m (ground level) and 6m (upper levels)	
Corner lots secondary street setback (minimum)	1.0m	
Building height, massing and siting	In density areas $\leq 20\text{ dw / Ha}$: 2 storeys maximum (3rd storey subject to Clause 7.6.5 control #1)	In density areas $\geq 25\text{ dw / Ha}$: 3 storeys maximum
Site coverage	Upper level no more than 50% of lot area	
Soft landscaped area	Minimum 15% lot area. The first 1m of the lot measured from the street boundary (excluding paths) is to be soft landscaped.	
Principal Private Open Space (PPOS)	In density areas $\leq 20\text{ dw / Ha}$: Minimum 16m ² with minimum dimension of 3m.	In density areas $\geq 25\text{ dw / Ha}$: Minimum 16m ² with minimum dimension of 3m. 10m ² per dwelling if provided as balcony or rooftop with a minimum dimension of 2.5m.
Solar access	In density areas $\leq 20\text{ dw / Ha}$: At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to 50% of the required PPOS of both the proposed development and the neighbouring properties.	In density areas $\geq 25\text{ dw / Ha}$: At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of: • all affected neighbouring properties and, • at least 70% of the proposed dwellings.
	For alterations and additions to existing dwellings in all density areas, no reduction in the existing solar access to PPOS of the existing neighbouring properties.	
Garages and car parking	Single width garage or car space only. Carport and garage minimum internal dimensions: 3m x 5.5m. 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces. The garage must be less than 40% of the total area of the front façade.	
Layout	Driveway locations must be paired to preserve on-street parking spaces in front of lots. In density bands $\leq 25\text{ dw / Ha}$, total lot frontage of this lot type not to exceed 20% of the block length due to garage dominance and on-street parking impacts.	

Table 18: Summary of Key Controls for Lots with Frontage Width ≥ 9m and ≤15m for Front Accessed Dwellings

Element	Control	
Front setback (minimum)	4.5m to building facade line; 3.5m to building façade fronting open space or drainage land 3.0m to articulation zone; 2.0m to articulation zone fronting open space or drainage land 5.5m to garage line and 1m behind the building line	
Side setback (minimum)	Detached boundary: Ground Floor: 0.9m Upper Floor: 0.9m	Lots with a zero lot boundary (Side A): Ground Floor: 0m (Side A), 0.9m (Side B) Upper Floor: 1.5m (Side A), 0.9m (Side B)
Length of zero lot line on boundary	11m	
Rear setback (minimum)	4m (ground level) and 6m (upper levels)	
Corner lots secondary street setback (minimum)	2.0m	
Building height, massing and siting	2 storeys maximum (3rd storey subject to Clause 7.6.5 control #1)	
Site coverage	Single storey dwellings: 60% Lot ≤ 375m², upper level no more than 40% of lot area. Lot > 375m², upper level no more than 35% of lot area.	
Landscaped area	Minimum 25% of allotment area.	
Principal Private Open Space (PPOS)	Minimum 20m² with minimum dimension of 4.0m. 50% of the area of the required PPOS (of both the proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June)	
Garages and car parking	Lots ≥9m and <12.5m: Where front accessed, single width garages only. Rear lane or side street accessed double garages permitted. Max. carport and garage door width not to exceed 3m (single) or 6m (double)	Lots ≥12.5m and ≤15m: Front or rear accessed single, tandem or double garages permitted. Triple garages are not permitted.
	1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.	

Table 19: Summary of Key Controls for Lots with Frontage Width > 15m for Front Accessed Dwellings

Element	Control
Front setback (minimum)	4.5m to building facade line. 3.5m to building façade fronting open space or drainage land. 3.0m to articulation zone. 2.0m to articulation zone fronting open space or drainage. 5.5m to garage line and 1m behind the building line.
Side setback (minimum)	Ground Floor: 0.9m (Side A), 0.9m (Side B) Upper Floor: 0.9m (Side A), 1.5m (Side B)
Rear setback (minimum)	4m (ground level) and 6m (upper levels)
Corner lots secondary street setback (minimum)	2.0m
Building height, massing and siting	2 storeys maximum (3rd storey subject to Clause 7.6.5 control #1)
Site coverage	Single storey dwellings: 50% Two storey dwellings: 50% at ground floor and 30% at upper floor
Landscaped area	Minimum 30% of the allotment area
Principal Private Open Space (PPOS)	Minimum 24m ² with minimum dimension 4m 50% of the area of the required principal private open space (of both the proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June).
Garages and car parking	Front or rear loaded double and tandem garages permitted Maximum garage door width 3m (single) and 6m (double) Triple garages are not permitted. 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.

Table 20: Summary of Key Controls for Lots in the Environmental Living Zone

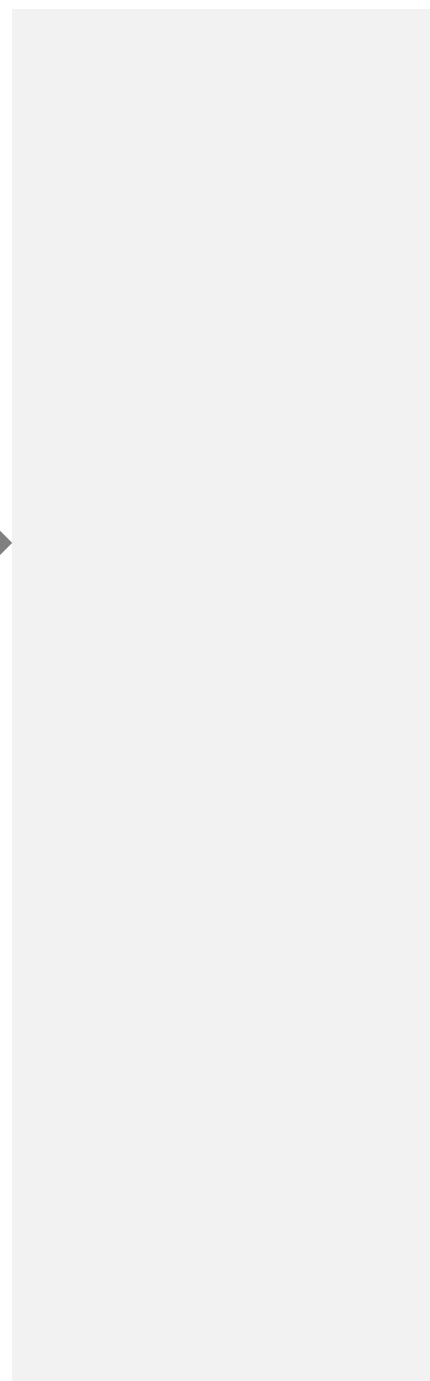
Element	Control
Front setback (minimum)	4.5m to building facade line Façade articulation is to be behind the front setback Garage setback 1m behind the building façade line
Side setback (minimum)	Ground Floor: 1.5m Upper Floor: 1.5m (Side A), 3m (Side B)
Rear setback (minimum)	10m
Corner lots secondary street setback (minimum)	4.5m
Building height, massing and siting	2 storeys (3rd storey subject to Clause 7.6.5 control #1)
Site coverage	Single storey dwellings: 35% Two (or more) storey dwellings: 25% ground floor and 15% upper floors
Landscaped area	Single storey dwellings: Minimum 55% of the allotment area Two or more storey dwellings: Minimum 60% of the allotment area
Principal Private Open Space (PPOS)	Minimum 24m ² with minimum dimension 4m 50% of the area of the required principal private open space (of both the proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June).
Garages and car parking	Front or rear loaded double and tandem garages permitted Maximum garage door width 3m (single) and 6m (double) where garages front a public road. Triple garages permitted where at least one garage door is not visible from the street or where the total width of the garages is less than 50% of the total width of the building façade. 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.

7.6.2 Streetscape and Architectural Design

Growth Centres neighbourhoods will be composed of a variety of streets with different but equally appealing characters and built form intensity. In low density precincts, suburban streetscapes will be most common but there will also be some streets with a more urban village character. In higher density precincts, urban village streets will be more common but there will also be some suburban streetscapes. The objective is to avoid a monoculture of the one type of street which is neither a successful suburban or urban street.

Figure 47 illustrates how the designed combination of built form, lot size, setbacks, garaging and landscaping can create distinctive streetscape characters ranging from the low intensity 'garden suburban' character based on landscaped private space around buildings to the built form intensity and public landscapes of urban streets.

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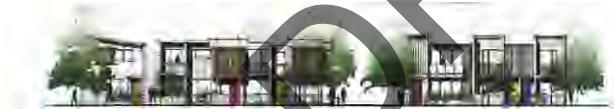




Garden Suburban



Suburban



Urban

Figure 47: The Combination of Built Form, Lot Size, Garaging and Landscaping Creates Different Streetscapes

Objectives

- a. To ensure that buildings are designed to enhance the built form and character of the neighbourhood by encouraging innovative and quality designs that contribute to unified streetscapes.
- b. To encourage a diversity of house types.
- c. To provide a clear distinction between private and public space and to encourage casual surveillance of the street.
- d. To reinforce significant street intersections particularly on open space and other key strategic areas through articulation of corner buildings.

Controls

1. The primary street facade of a dwelling should address the street and must incorporate at least two of the following design features:
 - entry feature or porch,
 - awnings or other features over windows,
 - balcony treatment to any first floor element,
 - recessing or projecting architectural elements,
 - open verandah,
 - bay windows or similar features, or
 - verandahs, pergolas or similar features above garage doors.
2. Corner lot development should emphasise the corner. The secondary street facade for a dwelling on a corner lot should address the street and must incorporate at least two of the above design features. Landscaping in the front setback on the main street frontage should also continue around into the secondary setback.
3. Modulation of the façade should be integral to the design of the building, rather than an unrelated attached element.
4. Eaves are to provide sun shading and protect windows and doors and provide aesthetic interest. Except for walls built to the boundary, eaves should have a minimum of 450mm overhang (measured to the fascia board). Council will consider alternative solutions to eaves so long as appropriate sun shading is provided to windows and display a high level of architectural merit.
5. The pitch of hipped and gable roof forms on the main dwelling house should be between 22.5 degrees and 35 degrees. Skillion roofs, roofs hidden from view by parapet walls, roofs on detached garages, studios and ancillary buildings on the allotment are excluded from this control.

6. Front facades are to feature at least one habitable room with a window onto the street.
7. Carports and garages are to be constructed of materials that complement the colour and finishes of the main dwelling.
8. Streets should be fronted with similar housing types to create a consistent street character. For example, a 'garden suburban' street character will be created where most dwellings are detached on lot widths $\geq 15\text{m}$, perhaps with deeper lots allowing for larger front setbacks and generous landscaping around dwellings. A suburban street character will be created where most dwellings are front loaded, detached or zero lotted on lot widths between 9 - 15m. An urban street character will be created where most dwellings are zero lotted, attached / abutting on lot widths less than 9m with rear garages. Streetscape design principles are illustrated at **Figure 48**.

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Garden Suburban Streetscape Principles



Suburban Streetscape Principles



Urban Streetscape Principles

Figure 48: Streetscape Design Principles

7.6.3 Front Setbacks

Objectives

- a. To enable the integration of built and landscape elements to create an attractive, visually consistent streetscape.
- b. To encourage simple and articulated building forms.
- c. To ensure garages do not dominate the streetscape.

Controls

1. Dwellings are to be consistent with the front setback controls and principles in the relevant **Table 16 to Table 20, Figure 42 and Figure 43**.
2. On corner lots, front setback controls are to be consistent with **Figure 51**.
3. To achieve a desired streetscape character, the building façade front setback for a series of lots can be more or less than the setbacks shown in **Table 16 to Table 20** where agreed to as part of the preparation of a Building Envelopes Plan or integrated housing development application at subdivision approval and the front setbacks are attached to the lot titles. However, the front setback to garages must be a minimum of 5.5m.
4. Elements permitted in the articulation zone (shown on **Figure 49, Figure 50 and Figure 51**) include those items listed in Control 7.6.2(1).
5. Except for rear loaded garages, garages are to be setback at least 5.5m from the street boundary and at least 1m behind the building line of the dwelling.

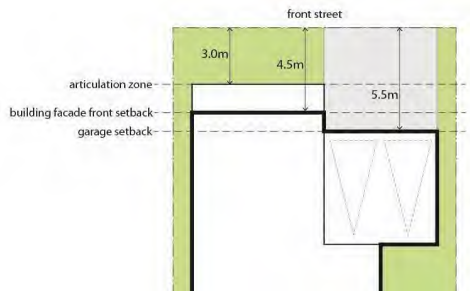


Figure 49: Minimum Front Setback Distances

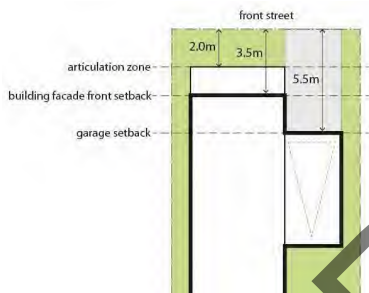


Figure 50: Minimum Front Setbacks for Dwellings Fronting Open Space or Drainage Land

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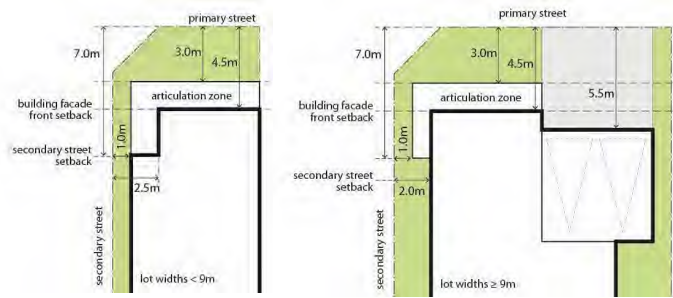
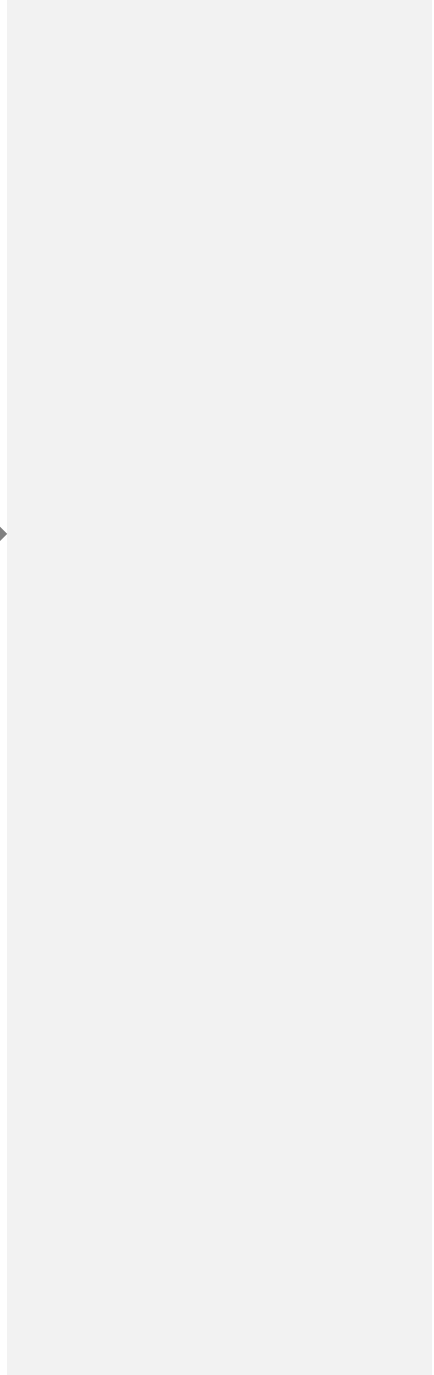


Figure 51: Minimum Setbacks on Corner Lot Dwellings

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7.6.4 Side and Rear Setbacks

Objectives

- a. To create an attractive and cohesive streetscape that responds to the character areas.
- b. To minimise the impacts of development on neighbouring properties.
- c. To provide appropriate separation between buildings.
- d. To create opportunities for articulation on the side walls.

Controls

1. All development is to be consistent with the side and rear setback controls in the relevant **Table 16 to Table 20** and principles in
2. **Figure 52.**
3. The location of a zero lot line (Side A) is to be determined primarily by topography and should be on the low side of the lot to minimise water penetration and termite issues. Other factors to consider include dwelling design, adjoining dwellings, landscape features, street trees, vehicle crossovers and the lot orientation as illustrated at
4. **Figure 52.**
5. For attached or semi-detached dwellings the side setback only applies to the end of a row of attached housing, or the detached side of a semi-detached house.
6. Pergolas, swimming pools and other landscape features / structures are permitted to encroach into the rear setback.
7. The minimum setback to dwellings from a side boundary that adjoins Public Recreation or Drainage land shall be:
 - 3m in the R2, R3 and R4 zones, and
 - 4.5m in the Environmental Living zone.
8. For dwellings with a minimum 900mm side setback, projections permitted into side and rear setback areas include eaves (up to 450 millimetres wide), fascias, sun hoods, gutters, down pipes, flues, light fittings, electricity or gas meters, rainwater tanks and hot water units.
9. No overhanging eaves, gutters or services (including rainwater tanks, hot water units, air-conditioning units or the like) of the dwelling on the benefited lot will be permitted within the easement. Any services and projections permitted under Clause 7.6.4 (6) within the easement to the burdened lot dwelling should not impede the ability for maintenance to be undertaken to the benefited lot.

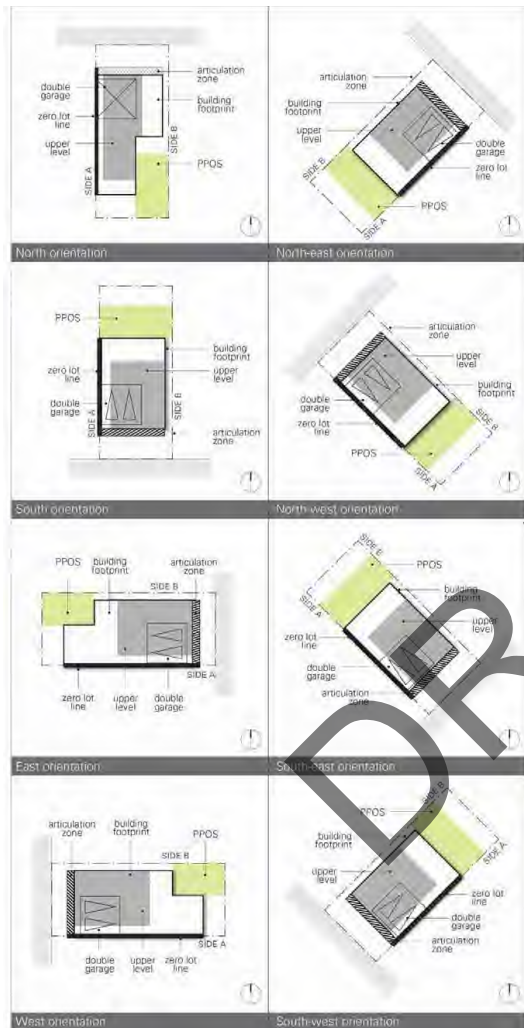


Figure 53: Dwelling and Open Space Siting Principles for Different Lot Orientations

10. For battle-axe lots without a street facing elevation setbacks are to be determined in the context of surrounding lots, built form and the location of private open space. An example is shown **Figure 50**.
11. The upper floor of dwellings on battle-axe lots must be setback so as not to impact adversely on the existing or future amenity of any adjoining land on which residential development is permitted, having regard to overshadowing, visual impact and privacy.
12. For a battle-axe lot with direct frontage to land zoned for a public purpose or a street facing elevation (such as access denied lots), the front setback controls in **Section 7.6.3** to apply to the lot boundary adjoining the public purpose zone, and side and rear setbacks are to apply to lot boundaries determined relative to the front setback boundary as shown in **Figure 51**.



Figure 53: Battle-axe Lot (Without any Street Frontage) Example of Setbacks

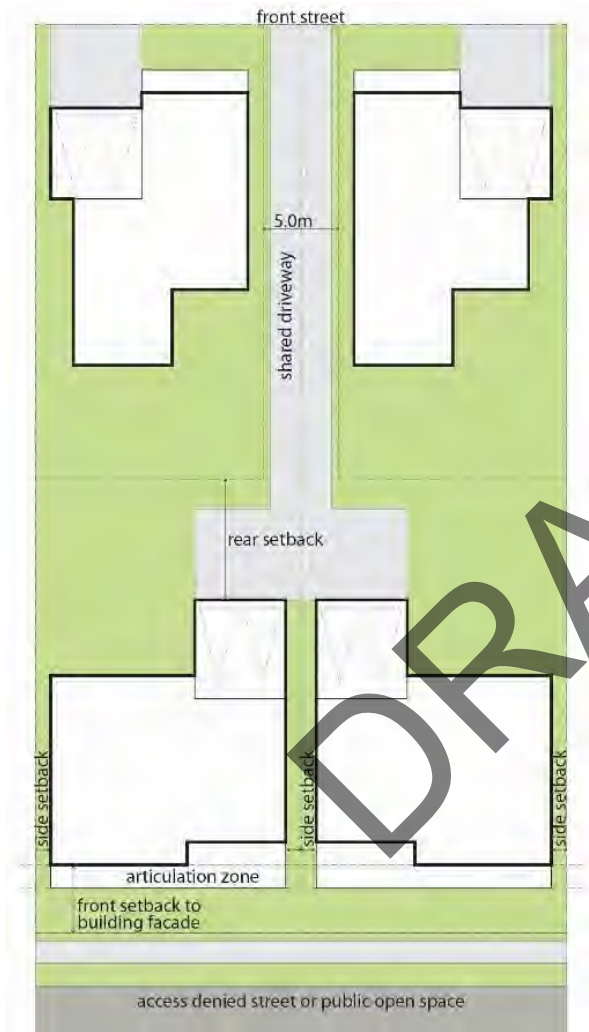


Figure 54: Battle-axe Lot (Fronting Access Denied Road) Setbacks

7.6.5 Dwelling Height, Massing and Siting

Objectives

- a. To ensure development is of a scale appropriate to protect residential amenity.
- b. To ensure building heights achieve built form outcomes that reinforce quality urban and building design.

Controls

1. Dwellings are to be generally a maximum of 2 storeys high. Council may permit a 3rd storey if it is satisfied that:
 - the dwelling is located on a prominent street corner,
 - the dwelling is located adjacent to a neighbourhood or local centre, public recreation or drainage land, a golf course, or a riparian corridor,
 - the dwelling is located on land with a finished ground level slope equal to or more than 15%, and is not likely to impact adversely on the existing or future amenity of any adjoining land on which residential development is permitted, having regard to overshadowing, visual impact and any impact on privacy, or
 - the third storey is within the roof line of the building (i.e. an attic).

Note: Reference should be made to clause 4.3 of the relevant Precinct Plan for statutory height limits.

2. All development is to comply with the maximum site coverage as indicated in the relevant **Table 16 to Table 20**.
3. Site coverage is the proportion of the lot covered by a dwelling house and all ancillary development (e.g. carport, garage, shed) but excluding unenclosed balconies, verandahs, porches, alfresco areas etc.
4. The ground floor level shall be no more than 1m above finished ground level.
5. Dwellings on a battle-axe lot without public open space or street frontage are to be a maximum of 2 storeys high.

7.6.6 Landscaped Area

Landscaped area is defined as an area of open space on the lot, at ground level, that is permeable and consists of soft landscaping, turf or planted areas and the like.

Objectives

- a. To encourage the use of native flora species and low maintenance landscaping.
- b. To contribute to effective stormwater management, management of micro-climate impacts and energy efficiency.
- c. To ensure a balance between built and landscaped elements in residential areas.
- d. To create the desired street character.

Controls

- 1. The minimum soft landscaped area within any residential lot is to comply with the controls and principles in the relevant **Tables 6 to 10**. **Figure 55** illustrates areas of a lot that can contribute towards the provision of soft landscaped area and principal private open space.
- 2. Plans submitted with the development application must indicate the extent of landscaped area and nominate the location of any trees to be retained or planted.
- 3. Surface water drainage shall be provided as necessary to prevent the accumulation of water.
- 4. Use of low flow watering devices is encouraged to avoid over watering. Low water demand drought resistant vegetation is to be used for the majority of landscaping, including native salt tolerant trees.

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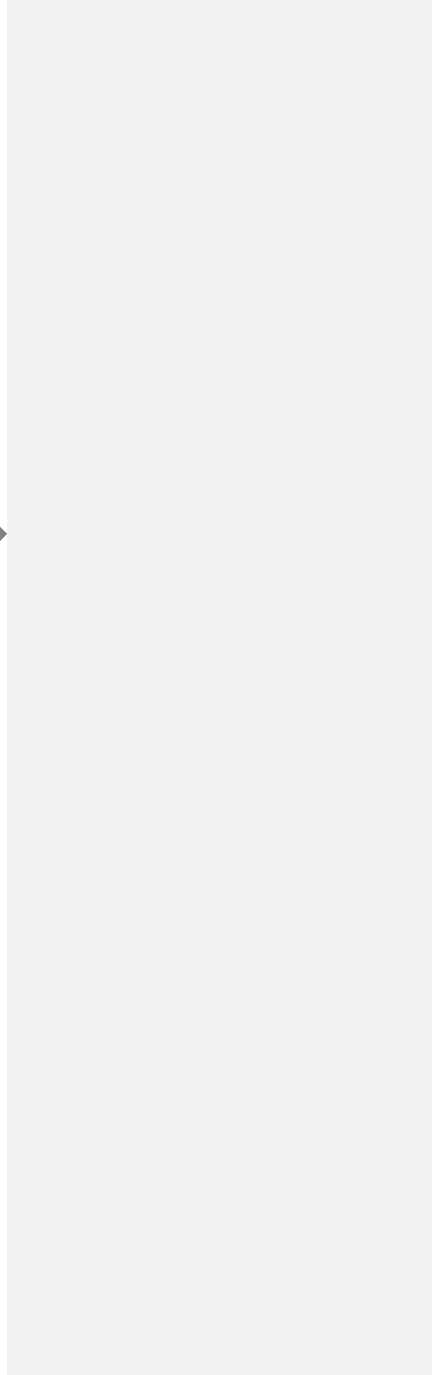




Figure 55: Soft Landscaped Area and Principal Private Open Space

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7.6.7 Private Open Space

Objectives

- a. To provide a high level of residential amenity with opportunities for outdoor recreation and relaxation.
- b. To enhance the spatial quality, outlook, and usability of private open space.
- c. To facilitate solar access to the living areas and private open spaces of the dwelling.

Controls

1. Each dwelling is to be provided with an area of Principal Private Open Space (PPOS) consistent with the requirements of the relevant **Table 16 to Table 20**.
2. The location of PPOS is to be determined having regard to dwelling design, allotment orientation, adjoining dwellings, landscape features, topography.
3. The PPOS is required to be conveniently accessible from the main living area of a dwelling or alfresco room and have a maximum gradient of 1:10. Where part or all of the PPOS is permitted as a semi-private patio, balcony or rooftop area, it must be directly accessible from a living area.
4. Open space at the front of the dwelling can only be defined as PPOS where this is the only means of achieving the solar access requirements of Control 1 above. PPOS at the front of a dwelling must be designed to maintain appropriate privacy (for example, raised level above footpath or fencing or hedging) and be consistent with the streetscape design controls in **Section 7.6.2**.

7.6.8 Garages, Site Access and Parking

Objectives

- a. To control the number, dimensions and location of vehicle access points. To reduce the visual impact of garages, carports, and parking areas on the streetscape.
- b. To provide safe, secure and convenient access to parking within garages, carports and parking areas, with casual surveillance of private driveways from dwellings and from the street.
- c. To minimise conflict between pedestrians and vehicles at the junction of driveways and footpaths.
- d. To provide predominantly on-site parking for residents.

Controls

1. 1-2 bedroom dwellings will provide at least 1 car space.
2. 3 bedroom or more dwellings will provide at least 2 car spaces.
3. At least one car parking space must be located behind the building façade line where the car parking space is accessed from the street on the front property boundary.

Note: A car space may include a garage, carport or other hard stand area constructed of materials suitable for car parking and access. The required car parking spaces specified above may be provided using a combination of these facilities, including use of the driveway (within the property boundary only) as a parking space.

4. Vehicular access is to be integrated with site planning from the earliest stages of the project to eliminate / reduce potential conflicts with the streetscape requirements and traffic patterns, and to minimise potential conflicts with pedestrians.
5. Driveways are to have the smallest configuration possible (particularly within the road verge) to serve the required parking facilities and vehicle turning movements and shall comply with AS2890.
6. The location of driveways is to be determined with regard to dwelling design and orientation, street gully pits and trees and is to maximise the availability of on-street parking.

Notes: Section 7.4 requires plans of subdivision to nominate driveway locations and preferred building envelopes. The design of dwellings should refer to the approved subdivision plans and be consistent with the nominated driveway locations to the greatest practical extent.

Controls for driveways and access to corner lots are contained in Section 7.3.3 and Figure 43.

7. Driveways are not to be within 1m of any drainage facilities on the kerb and gutter.
8. Planting and walls adjacent to driveways must not block lines of sight for pedestrians, cyclists and motorists.
9. Driveways are to have soft landscaped areas on either side, suitable for water infiltration.
10. Garages are to be designed and located in accordance with the controls in **Table 16 to Table 20**.
11. Garage design and materials are to be consistent with the dwelling design.

For front loaded garages:

12. Single garage doors should be a maximum of 3m wide and double garage doors should be a maximum of 6m wide.
13. Minimum internal dimensions for a single garage are 3m wide by 5.5m deep and for a double garage 5.6m wide by 5.5m deep.

14. Garage doors are to be visually recessive through use of materials, colours, and overhangs such as second storey balconies.
15. Three car garages are only permitted in the Environmental Living and Large Lot Residential zones where:
 - at least one of the garage doors is not directly visible from a public road,
 - one of the car spaces is in a stacked configuration, or
 - the total width of the garage is not more than 50% of the length of the building façade.
16. For garages accessed from a laneway or shared driveway a minimum garage door width of 2.4m (single) and 4.8m (double) is required.

7.6.9 Visual and Acoustic Privacy

Objectives

- a. To site and design dwellings to meet requirements for visual and acoustic privacy, whilst minimising visual and acoustic impacts of development on adjoining properties.

Controls

1. Direct overlooking of main habitable areas and private open spaces of adjacent dwellings should be minimised through building layout, window and balcony location and design, and the use of screening devices, including landscaping.
2. Habitable room windows with a direct sightline to the habitable room windows in an adjacent dwelling within 9m are to:
 - be obscured by fencing, screens or appropriate landscaping,
 - be offset from the edge of one window to the edge of the other by a distance sufficient to limit views into the adjacent window,
 - have a sill height of 1.7m above floor level,
 - have fixed obscure glazing in any part of the window below 1.7m above floor level, or
 - fixed screen or opaque windows can be built closer than non-habitable room windows

3. The design of dwellings must minimise the opportunity for sound transmission through the building structure, with particular attention given to protecting bedrooms and living areas.
4. In attached dwellings, bedrooms of one dwelling are not to share walls with living spaces or garages of adjoining dwellings, unless it is demonstrated that the shared walls and floors meet the noise transmission and insulation requirements of the Building Code of Australia.
5. The internal layout of residential buildings, window openings, the location of outdoor living areas (i.e. courtyards and balconies), and building plant should be designed to minimise noise impact and transmission.



Figure 56: Strategies for Minimising Noise Transmission

7.6.10 Fencing

Objectives

- a. To ensure boundary fencing is of a high quality and does not detract from the streetscape.

Controls

1. Front fencing shall be in harmony with the street, consistent in design and style with its dwelling and a maximum of 1m high. Separate application is to be made for fences higher than 1m and for courtyard walls. Side and rear fencing are to be a maximum of 1.8m high. Front fences and walls are to not impede safe sight lines for traffic.
2. On corner lots the preferred outcome is for the dwelling to front both street frontages providing a better overall streetscape presentation. Where fencing to the secondary street frontage is proposed, it is not to exceed 1.8m high for more than one third of the length of the secondary road frontage, if relevant.
3. On corner lots the front fencing style is to be continued along the secondary street frontage to at least 1m behind the building line of the dwelling. Side fences higher than 1m are not to extend past the Building Facade Line or Garage Building Line.

4. Where a dwelling is located adjacent to open space, boundary fencing is to be of a high quality material and finish. The design of the fencing is to permit casual surveillance of the open space and provide the dwelling with outlook towards the open space. Fencing that adjoins mews or rear accessways is to permit casual surveillance. Colorbond or timber paling or lapped / capped fencing can only be used internally between dwelling lots.
5. Where cut is proposed on the boundary of a lot, retaining walls are to be constructed with side fence posts integrated with its construction (relevant construction details are required with retaining wall approval). Otherwise retaining wall must be located a minimum of 450mm from the side or rear boundary of the lot containing the cut.

7.7 Additional Controls for Certain Development Types

7.7.1 Attached or Abutting Dwellings

Additional controls for attached or abutting dwellings are outlined below, and should be read in conjunction with those in **Clause 7.6**.

Objectives

- a. To ensure that the development of attached or abutting dwellings creates an architecturally consistent street character.

Controls

1. It is preferred that garages for attached dwellings are located at the rear of the lot. Where attached dwellings have frontage to a collector road, all vehicle access and parking is to be located at the rear of the lot.
2. Attached or abutting dwellings should have a pleasing rhythm and order when seen together as a group, rather than appear as a random arrangement of competing dwellings. Each dwelling should benefit from the unified design of the whole form, a co-ordinated style and base colour palette. Individuality can be added as small details or accent colours, rather than strikingly different forms.

7.7.2 Secondary Dwellings, Studio Dwellings and Dual Occupancies

Controls for secondary dwellings, studio dwellings or dual occupancies are in part determined by whether the secondary, principal or dual occupancy dwelling is proposed at the time of the application or at some point in the future to be strata subdivided. Strata subdivisions create the need for separate or common property dwelling entries, parking and open space to service each dwelling.

The **Glossary** of this DCP provides further explanation and examples of secondary dwelling, studio dwellings or dual occupancy types. The controls that follow apply to all forms of secondary dwellings, studio dwellings and dual occupancies.

Objectives

- a. To enable the development of a diversity of dwelling types.
- b. To contribute to the availability of affordable housing.
- c. To promote innovative housing solutions that are compatible with the surrounding residential environment.
- d. To provide casual surveillance to rear lanes.

Controls

Secondary Dwellings and Studio Dwellings

1. Secondary dwellings and studio dwellings are to comply with the controls in **Section 7.6**, except where the controls in this clause differ, in which case the controls in this clause take precedence.
2. Secondary dwellings and studio dwellings are to comply with the key controls in **Table 21**.
3. The maximum site coverage control for upper floors in the relevant **Table 16 to Table 20** may be exceeded by the combined upper floor coverage of the secondary or studio dwelling and principal dwelling, providing that:
 - the privacy of the principal dwelling and dwellings on adjoining land is not compromised, and
 - solar access to the principal private open space of neighbouring lots is not significantly reduced.
4. The maximum gross floor area of a studio dwelling is 75m².
5. The finishes, materials and colours of the secondary dwelling or studio dwelling are to complement the principal dwelling in its construction features.
6. For secondary dwellings, windows and private open spaces must not overlook the private open space of any adjacent dwellings. For studio dwellings, windows and private open spaces must not overlook the private open space of any adjacent dwellings including the principal dwelling. Windows that potentially overlook adjacent lots must either have obscured glazing, be screened or have a minimum sill height of 1.5m above floor level.
7. Secondary or studio dwellings and associated garages may have a zero lot setback to one side boundary and may be attached to another garage / secondary dwelling on an adjoining lot, particularly where the secondary or studio dwelling is associated with an attached or semi-detached dwelling.

Table 21: Key Controls for Secondary Dwellings and Studio Dwellings

Element	Secondary Dwelling	Studio Dwelling (Strata)
On-site car parking	No additional car parking space required.	One additional dedicated on-site car parking space. Car parking space to be located behind building facade line of principal dwelling. Car parking space not to be in a stacked configuration.
Private open space	No separate private open space to be provided for studio.	Balcony accessed directly off living space having minimum size of 8m ² with minimum dimension of 2m.
Subdivision	Subdivision of studio from principal dwelling not permitted.	Strata title subdivision only from the principal dwelling on the land.
Access	Separate direct access to a street, laneway or shared driveway way not required.	Access to be separate from the principal dwelling and is to front a public street, lane or shared private access way or Combined access for the principal dwelling and secondary dwelling to be through communal land as shown on the strata plan.
Services and facilities	No separate services or facilities required.	Provision for separate services, such as mail delivery and waste collection, and an on-site garbage storage area so that bins are not visible from public street or laneway. To be located on a street address that is able to be accessed by garbage collection and mail delivery services. May be serviced from the front residential street via the principal dwelling lot.

8. Where the secondary or studio dwelling is built to a zero lot line on a side boundary, windows are not to be located on the zero lot wall unless that wall adjoins a laneway, public road, public open space or drainage land.
9. Studio dwellings are to have balconies or living areas that overlook laneways for casual surveillance.
10. Rear garages with secondary or studio dwellings may have first level balconies facing the lane provided the balcony remains within the lot boundary. Where 2m deep, overhanging balconies for private open space requirements of studio dwellings are located along a lane, the application must demonstrate how garages setback underneath avoid creating an overly wide lane and ambiguous space opportunities for illegally parked cars, trailers, bins etc.
11. Where a secondary or studio dwelling is built over a rear garage and separated from the upper levels of the principal dwelling, there must be a minimum separation of 5m between the upper floor rear façade of the principal dwelling and the secondary or studio dwelling.

12. Studio dwellings are to be located at the rear of the lot only where the lot has access from a rear lane or secondary street on a corner lot.
13. Studio dwellings must comply with separation controls nominated in Australian Standards and the National Construction Code.
14. Studio dwellings are not permitted where the principal dwelling is an attached dwelling, unless:
 - the studio dwelling is located above a rear loaded garage,
 - the studio dwelling has direct access to a public road or laneway, and
 - garbage and mail facilities are accessible by residents and by service vehicles.

Dual Occupancies

15. Dual occupancies are to comply with the controls in **Section 7.6**, except where the controls in this clause differ, in which case the controls in this clause take precedence.
16. The maximum site coverage control for second storeys in the relevant **Table 16 to Table 20** may be exceeded by the combined 2nd storey coverage of both dwellings in a dual occupancy, providing that:
 - the privacy of the principal dwelling and dwellings on adjoining land is not compromised; and
 - solar access requirements for the principal private open space can be met for the principal dwelling and dwellings on adjoining lots.
17. The design of both dwellings in a dual occupancy development is to be consistent in construction features, finishes, materials and colours.
18. Detached dual occupancy dwellings are not to include zero lot lines for the second dwelling where the second dwelling is located at the rear of the lot.
19. Dual occupancy development is not permitted on a lot that contains an attached dwelling.
20. Dual occupancy dwellings are permitted at the rear of lots (i.e. behind a dwelling that has frontage to a principal street, whether attached or detached to that dwelling) only where:
 - each dwelling has direct pedestrian and vehicle access to a public road, and
 - garbage and mail facilities are accessible by service vehicles and by the occupants of the dwellings.

21. Dual occupancy development referred to in Control 19 above is preferred to be located on corner lots.
22. Where the dual occupancy dwellings are to be strata subdivided:
 - private open space is to be provided for each dwelling in accordance with the relevant controls **Table 16 to Table 20**, or
 - shared private open space is to be provided equivalent to 15% of the site area and shown as communal space on the strata plan, and a minimum area of private open space of 10m² with a minimum dimension of 2.5m is to be provided for each dwelling.
23. The minimum landscaped area on a lot containing a dual occupancy development is to be 20% of the site area.
24. Where practical for front loaded driveway access, shared driveway crossings of the nature strip are to be provided to service both dwellings.

7.7.3 Multi Dwelling Housing

Objectives

- a. To ensure that the design of multi-dwelling housing is consistent with the character of residential areas within the Precinct.
- b. To ensure the quality of multi-dwelling housing is of a high quality and contributes to the amenity of residents.

Controls

1. Multi-dwelling housing sites are to have direct frontage to a public road (i.e. not on battle-axe lots).
2. Multi-dwelling housing is to comply with the controls in **Table 22**.
3. Controls for adaptable dwellings (requirement triggered by minimum number of dwellings in development, located elsewhere in DCP) also apply to multi-dwelling housing. Adaptable dwellings are preferably to be single level accommodation at ground level and be located on the street frontage.
4. A landscape plan is to be submitted with every application for multi-dwelling housing.
5. Where a multi dwelling housing development includes a studio dwelling with rear lane vehicle access, the controls for a studio dwelling shall apply.

Table 22: Key Controls for Multi-dwelling Housing

Element	Controls
Site coverage (maximum)	50%
Landscaped area (minimum)	30% of site area
Principal Private open space (PPOS)	Minimum 16m ² with a minimum dimension of 3m. 10m ² per dwelling if provided as balcony or rooftop with a minimum dimension of 2.5m.
Front setback (minimum)	4.5m to building façade line; 3.0m to articulation zone
Corner lots secondary street setback (minimum)	2m
Side setback (minimum)	Ground floor 0.9m. Upper floor 0.9m
Rear setback (minimum)	4m (excluding rear lane garages or studio dwellings) 0.5m to rear lane (garages or studio dwellings)
Zero lot line (minimum)	Not permitted on adjacent lot boundaries (except rear lane garages and studio dwellings)
Internal building separation distance (minimum)	5m (unless dwellings are attached by a common wall)
Car parking spaces	1 car parking space per dwelling, plus 0.5 spaces per 3 or more bedroom dwelling, plus 1 visitor space per 5 dwellings. Car parking spaces to be behind building line or garages fronting the street to be setback a minimum of 1m from the building setback. Where garages front the street, the maximum width of a garage door is 6m and each garage is to be separated by a dwelling façade or landscaped area.
Garages and car parking dimensions (minimum)	Covered: 3m x 5.5m Uncovered: 2.5m x 5.2m Aisle widths must comply with AS 2890.1 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.

7.7.4 Controls for Residential Flat Buildings, Manor Homes and Shop Top Housing

The controls in **Section 7.7.3** do not apply to residential flat buildings, manor homes and shop top housing, unless specifically referenced in the provisions that follow. The following clauses set out the controls for these types of housing. Additional controls for residential flat buildings and shop top housing may be contained in *SEPP 65 – Design Quality of Residential Flat Development*.

Objectives

- a. To establish a high quality residential environment where all dwellings have a good level of amenity.
- b. To encourage a variety of housing forms within residential areas.

- c. To ensure the provision of housing that will, in its adaptable features, meet the access and mobility needs of any occupant.

Controls

1. In density areas of 20 dw / Ha and 25 dw / Ha, manor homes may only be located on corner lots.
2. Residential flat buildings are to:
 - be located on sites with a minimum street frontage of 30m,
 - have direct frontage to an area of the public domain (including streets and public parks), and
 - not adversely impact upon the existing or future amenity of any adjoining land upon which residential development is permitted with respect to overshadowing impact, privacy impact or visual impact.
3. All residential flat buildings are to be consistent with:
 - the guidelines and principles outlined in *SEPP No. 65 - Residential Flat Development*, and
 - the primary controls set out in **Table 23** which take precedence over the above where there is any inconsistency.
4. In all residential flat building developments containing 10 dwellings or more, a minimum of 10% of all apartments are to be designed to be capable of adaptation for access by people with all levels of mobility. Dwellings must be designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995), which includes 'pre-adaptation' design details to ensure visitability is achieved.
5. Where possible, adaptable dwellings are to be located on the ground floor. Dwellings located above the ground level of a building may only be provided as adaptable dwellings where lift access is available within the building. The lift access must provide access from the basement to allow access for people with disabilities.
6. The development application must be accompanied by certification from an accredited Access Consultant confirming that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with the Australian Adaptable Housing Standard (AS 4299-1995).
7. Car parking and garages allocated to adaptable dwellings must comply with the requirements of Australian Standards for disabled parking spaces.
8. A landscape plan is to be submitted with every application for residential flat buildings.

Table 23: Key Controls for Residential Flat Buildings, Manor Homes and Shop Top Housing

Element	R2, R3 zones (shop top housing only)	R3, R4 zones (residential flat buildings)	R2, R3, R4 zones Manor home	B1, B2, B3 and B4 zones
Site coverage (maximum)	50% of site area	50%	50% of site area	N/A
Landscaped area (minimum)	30% of site area	30% of site area	30% of site area	N/A
Communal open space	15% of site area where the development includes 4 or more dwellings	15% of site area	Not required.	15% of site area. This control is able to be varied where the applicant demonstrates the development has good access to public open space or where the area of private open space is more than the minimum specified below.
Principal Private open space (PPOS)	Minimum 8m ² per dwelling with a minimum dimension of 2.0m	Minimum 10m ² per dwelling with a minimum dimension of 2.5m	Minimum 16m ² per dwelling with a minimum dimension of 3.0m; or Minimum 8m ² per dwelling with a minimum dimension of 2.0m if provided as balcony or rooftop.	Minimum 8m ² per dwelling with a minimum dimension of 2.0m if provided as balcony or rooftop.
Front setback (minimum)	Determined by ground floor setback	6m Balconies and other articulation may encroach into the setback to a maximum of 4.5m from the boundary for the first 3 storeys, and for a maximum of 50% of the façade length.	4.5m to building façade line, 3m to articulation zone, 5.5m to garage line and 1m behind the building line.	<i>Residential flat buildings:</i> 4.5m to building façade line <i>Shop top housing:</i> 0m for first floor 4m for floors above first floor
Corner lots secondary street setback (minimum)	3m	6m	2m	<i>Residential flat buildings:</i> 4.5m to building façade line <i>Shop top housing:</i> 0m for first floor 4m for floors above first floor
Side setback (minimum)	2m	Buildings up to 3 storeys: 3m Buildings above 3 storeys: 6m	Buildings up to 2 storeys 1.5m	Refer to Other Part of DCP regarding B zonings.
Rear setback (minimum)	4m (excluding garages)	6m	4m (excluding rear garages)	8m
Zero lot line (minimum)	Not permitted	Not permitted	Not permitted to adjacent lots	Permitted on side boundaries only

Habitable room/balcony separation distance (minimum) for buildings 3 storeys and above	12m	12m	N/A	Refer to Other Part of DCP regarding B zonings.
Car parking spaces	1-2 bedrooms: 1 space (minimum) 3 bedrooms or more: 2 spaces (minimum) – may be provided in a 'stack parking' configuration. Garages to be setback 1m behind the building line.	1 space per dwelling, plus 0.5 spaces per 3 or more bedroom dwelling. May be in a 'stack parking' configuration. Car parking spaces to be located below ground or behind building line 1 visitor car parking space per 5 apartments Bicycle parking spaces: 1 per 3 dwellings.	1-2 bedrooms: 1 space (minimum) 3 bedrooms or more: 2 spaces (minimum) – may be provided in a 'stack parking' configuration.	1 space per dwelling, plus 0.5 spaces per 3 or more bedroom dwelling. May be in a 'stack parking' configuration. Car parking spaces to be located below ground or behind the building 1 visitor car parking space per 5 apartments (may be above ground) Bicycle parking spaces: 1 per 3 dwellings
Garage dominance	N/A	A maximum of two garage doors per 20m of lot frontage facing any one street frontage.	A maximum of two garage doors facing any one street frontage.	N/A
Garages and car parking dimensions (minimum)	Covered: 3m x 5.5m Uncovered: 2.5m x 5.2m Aisle widths must comply with AS 2890.1			

7.8 Other Development in Residential Areas

7.8.1 Exhibition Homes and Exhibition Villages

Objectives

- a. To ensure that exhibition homes and exhibition villages operate with minimal impact on surrounding residential areas.
- b. To ensure that exhibition homes and exhibition villages operate for a limited time after which they revert to a conventional residential environment.

Controls

1. Any subdivision of land shall be in accordance with the requirements for dwellings in this DCP and the relevant Precinct Plan under the Growth Centres SEPP.
2. Any proposed street within an exhibition village may be held as one lot within the development until the cessation of the operation of the exhibition village. Subdivision and dedication of roads to Council must be completed prior to the use of dwellings for residential accommodation.

3. Exhibition villages should be located on Collector Roads or as close to Collector Roads as possible, with vehicle access from a Collector Road.
4. Exhibition homes / exhibition villages are not permitted:
 - where access is from a street with a carriageway width of less than 9.0 metres.
 - on streets which are cul-de-sacs.
5. Car parking for exhibition homes shall be provided off-street. However, on-street car parking may be considered where there are no privately occupied dwellings opposite or adjoining the individual exhibition homes.
6. Internal streets may be closed out of hours of operation only where the streets are not yet dedicated as public roads.
7. During the operation of an exhibition home / exhibition village additional measures to maintain the privacy of adjoining residential development may be required.
8. The hours of operation shall be limited to 7am to 7pm each day.
9. Buildings used for such uses as providing home finance, materials display or take-away food and the like shall cease to operate when the exhibition home / exhibition village ceases unless separate approval is obtained to enable the continued operation of these uses.
10. Temporary buildings used for providing home finance, materials display or take-away food shall be removed and the site made good.
11. When the use of the dwelling ceases to be an exhibition home, any garage that has been used as a sales office is to be reinstated as a functioning garage with an appropriate garage door and associated driveway, prior to the occupation of the dwelling for residential purposes.
12. When the exhibition village / home ceases to operate, all signs and structures etc. associated with the exhibition home / village shall be removed to ensure the site has a residential appearance.
13. Security lighting shall be provided in such a way to minimise any adverse impact on adjoining residential areas.
14. The operation of the exhibition village (including the use of designated off-street car parks) shall not cause offensive noise or affect the acoustic amenity of adjoining residents.
15. Waste disposal facilities shall be provided. These shall be located adjacent to the driveway entrance to the site.

16. Any structure involving waste disposal facilities shall be located as follows:
- setback one metre from the front boundary to the street.
 - landscaped between the structure and the front boundary and adjoining areas to minimise the impact on the streetscape.
 - not be located adjacent to an adjoining residential property.
17. All works affecting public roads, including new driveways, access roads and intersection works are to be in accordance with the requirements of this DCP and the relevant Council's Engineering Specifications.
18. Landscaping of streets is to be in accordance with the requirements of this DCP, and street landscaping is to be maintained for the duration of operation of the exhibition home / village. Dedication of public roads to Council will be subject to satisfactory provision and maintenance of street landscaping.
19. Dwellings located near future sources of noise are to incorporate appropriate noise attenuation measures when designed and constructed, to ensure that future residents are afforded an appropriate level of amenity.
20. Details of proposed signage are to be submitted with the Development Application. Signage is to be located on public roads at or near the entry to the exhibition home / village. Internal signage within the exhibition village is to be visible only from within the village (not from surrounding residential properties). When considering applications including signage, Council will refer to controls in other Council policies and planning controls that may be applicable.

7.8.2 Child Care Centres

Objectives

- a. To ensure all communities have access to a local child care centre and to minimise travel distances to and from child care facilities.
- b. To provide communities with child care centres that are appropriate in size and scale to the surrounding neighbourhood and to reduce excessive built form within residential streetscapes.
- c. To ensure the appropriate location and operation of child care centres in order to minimise any adverse impact on the amenity of residential areas.

- d. To ensure that child care centres provide a safe, healthy and active environment for children of all ages.

Controls

1. The controls in **Table 24** apply to child care centres in residential zones.

Site Selection and Location

2. Child care centres are not appropriate on the following land:
- land that has direct frontage to an arterial road, sub-arterial road or transit boulevard (refer to **Section 3.1**),
 - opposite "T" intersections or on bends where sight distances are limited and may create dangerous conditions for vehicle entry to and exit from the site,
 - on cul-de-sacs,
 - flood liable land or land affected by local overland flooding (refer to **Section 6.2**);
 - bushfire prone land (refer to **Section 6.5**), or
 - land that requires significant cut or fill, where retaining walls would create a safety hazard for children.
3. In order to limit impact on neighbouring properties child care centres should:
- be located in close proximity to other non-residential uses such as community facilities, schools, neighbourhood halls, churches and public recreation areas,
 - be located in close proximity to transport routes and public transport nodes and corridors (collector roads are the preferred location for child care centres),
 - if practical, be located on sites that have minimal common boundaries with residential neighbours,
 - locate play areas as far as possible away from neighbours' living rooms and bedrooms, and
 - be sited on allotments that can provide sufficient buffering to minimise noise and loss of privacy.

Note: Controls (2) and (3) are only required to be considered for proposed sites which have not been identified in Figure 21 – Education, Civic and Community Facilities as indicative locations for child care centres.

Table 24: Controls for Childcare Centres

Control	Requirements
Distance separation	1km from any existing, approved or proposed child care centre, 100m from high voltage transmission lines, mobile phone towers, radio telecommunication facilities, restricted premises, sex services premises. 85m (measured at site boundary) of service stations and gas storage tanks
Allotment size (minimum)	900m ²
Frontage width (minimum)	26m
Lot depth (minimum)	30m
Site coverage (maximum)	50%
Landscape area (minimum)	30%
Number of storeys (maximum)	1 storey building or ground floor for children's rooms only
Floor to ceiling height (minimum)	2.4m
Capacity	Minimum 5 places for under 2 year olds
Open Space • Minimum unencumbered indoor play space / licensed child (irrespective of age) • Minimum unencumbered outdoor play space / licensed child (irrespective of age)	Reference should be made to the <i>Children's Services Regulation 2004</i> and other supporting information for these standards.
Setbacks (minimum) • Primary front (Building) • Primary front (Landscape setback) • Fronting open space • Side (Building) • Rear (Building) • Corner lots (Street frontage) • Setback for storage facilities	6m 2m 1m 2m 4m ground floor 8m upper floors 3m 4m
Car parking spaces	1 car parking space per employee (reduced rates of provision may apply where the child care centre is within walking distance of a bus stop or train station). 1 of the car parking spaces shall be designed for people with a disability. For the purposes of this calculation the number of employees is based on the following ratios of staff to children: • 1:4 in respect of all children who are under the age of 2 years, and, • 1:8 in respect of all children who are 2 or more years of age but under 3 years of age, and • 1:10 in respect of all children who are 3 or more years of age but under 6 years of age.
Visitor car parking	1 space per 6 children

Matters for consideration

4. Council will consider the following matters when assessing development applications for child care centres:
- whether the development maintains the privacy and amenity of adjoining developments,
 - the extent to which the design of the proposed development, including any signage, is consistent with the desired character of the residential area in which it is located,
 - the appropriateness of the location of the development, including its location in relation to other existing or proposed child care centres,
 - the size of the land where the development is proposed, and
 - the provision of and location within the development site of car parking.

Documents to be Submitted with Development Application

5. Development Applications are to be accompanied by the following, which are to be prepared by an appropriately qualified person or organisation:
- Acoustic Report – to address the impact of noise generation from the child care centre on the surrounding area,
 - Landscape Plan and associated documentation – to identify existing vegetation and community plant species and the proposed landscaping treatment of the development,
 - Traffic Report / Statement - to address the impact of a child care centre on the local road system and address traffic safety issues and address traffic safety issues, and
 - Location Analysis – to indicate all existing and proposed child care centres within a 2km radius of the proposed child care facility and to address the locational matters in the controls above.

7.8.3 Educational Establishments and Places of Worship**Objectives**

- a. To ensure appropriate provision and equitable distribution of educational establishments and places of public worship within the Precinct.

- b. To ensure that buildings are not out of character with the type, height, bulk and scale of surrounding buildings.
- c. To encourage the appropriate location of facilities to create community focal points, centres of neighbourhood activity and enhance community identity.
- d. To mitigate the impacts of noise, privacy, increased traffic and nuisance on surrounding residential development.
- e. To foster iconic and landmark building design within each Precinct.

Controls

1. Places of worship are to be located within centres or co-located with other community facilities in residential areas so as to create a community focal point, to share facilities such as parking, and to minimise impacts on residential areas.
2. Places of public worship and educational establishments are preferably to be located on land with frontage to a collector road. Corner sites are preferred.
3. In assessing applications, Council will consider the following:
 - the privacy and amenity of adjoining developments,
 - the need and adequacy for provision of buffer zones to surrounding residential development,
 - urban design,
 - location,
 - the size of the land where the development is proposed,
 - traffic generation and the impacts of traffic on the road network and the amenity of nearby residents,
 - the availability of parking,
 - the scale of buildings and their capacity, and
 - hours of operation and noise impacts.
4. A traffic and transport report / statement is to accompany the Development Application addressing the impact of the proposed development on the local road system and defining car parking requirements.

Note: Due to the high level of traffic generation and peak nature of traffic volumes accessing these types of land uses, assessment of traffic impacts and pedestrian requirements is required and mitigation measures may need to be incorporated in the design. Such measures may include pedestrian crossings, speed control devices, pedestrian refuges on streets to which the development fronts and the provision of bus and drop off bays. School zones will require additional safety measures such as school crossings, 40 km/h school speed zones and flashing lights in accordance with Roads and Maritime Service requirements.

5. A landscape plan and associated documentation is to be submitted with the Development Application identifying existing vegetation and community plant species and / or existing design elements of the site layout, and the proposed landscaping treatment of the development.
6. Car parking spaces shall be provided on site in accordance with **Table 25**, unless the applicant can demonstrate to the satisfaction of Council that lower rates of parking are reasonable for the particular development.

Table 25: Car Parking Requirements for Places of Public Worship and Educational Establishments

Land Use	Parking Requirement
Places of Public Worship	1 space per 6 seats, plus 1 bicycle and 1 motorcycle space per 25 car parking spaces in excess of the first 25 car parking spaces
Schools	1 space per staff member Plus 1 space per 100 students Plus 1 space per 5 students in Yr 12 (based on estimated capacity for year 12 students to be specified in the Development Application) A pick up / drop off facility of sufficient size to accommodate the forecast demand identified through a traffic and parking report. The resultant layout of the facility to be to the satisfaction of Council.
Visitor Car Parking	1 space per 5 seats Or 1 space per 10m ² of floor area (whichever is greater)

7. For certain uses, the provision of overflow parking may be necessary particularly where such developments incorporate halls used for social gatherings. Overflow parking areas could be provided on open grassed areas and need not be formally sealed or line-marked. Proposed overflow parking areas are to be clearly shown on plans submitted with the Development Application.
8. Development must be designed to minimise the possibility of noise impacts to the occupants of adjoining or neighbouring dwellings.
9. Where it is likely that a development may cause an adverse noise impact on nearby residential areas, an acoustic report will be required to be submitted to council with the Development application.

10. Development must comply with Office of Environment and Heritage noise guidelines in **Section 6.9**.
11. Where appropriate, buffers should be put in place to limit noise impacts on the surrounding area. Extensive noise walls along most or all of a property boundary are not appropriate and other measures should be used to mitigate noise.
12. Sources of noise such as garbage collection, machinery, parking areas and air conditioning plants are sited away from adjoining properties and screened / insulated by walls or other acoustic treatment. Noise levels are not to exceed specified limits at the most affected point of the property boundary.
13. The general hours of operation for places of public worship and educational establishments are between 7am and 9pm.
14. Variation to the approved hours of operation may be approved by Council subject to other requirements or a merit assessment.

Note: Legislation covering noise impacts and hours of operation is the Protection of the Environment Operations Act 1997 and the Protection of the Environment (Noise Control) Regulation 2000 (Noise Control Regulation). Applicants should also refer to the Office of Environment and Heritage website (<http://www.environment.nsw.gov.au>) for more information regarding noise control.

7.8.4 Neighbourhood Shops

Objectives

- a. To ensure the appropriate provision of retail uses to serve the needs of the local community.
- b. To minimise the impacts of retail activities on surrounding residential areas.
- c. To ensure that retail activities in residential areas do not detract from the function or viability of nearby centres.
- d. To ensure the appropriate location of neighbourhood shops.

Controls

1. Neighbourhood shops in the R2 zone may only be developed on an allotment of land with a frontage width of 15 metres or more.
2. Neighbourhood shops in the R2 zone are to be located:
 - adjoining land zoned RE1 or SP2 or that is separated from land zoned RE1 or SP2 only by a public road,

- with frontage to a collector road,
 - within 90 metres of public transport stop, or
 - adjoining an educational establishment or a community facility or separated from an educational establishment or a community facility only by a public road.
3. The minimum lot size for neighbourhood shops is 500 square metres.
 4. For neighbourhood shops, the controls relating to lots with frontages greater than 15 metres in the following clauses of this DCP apply:
 - **Section 7.6.2** Streetscape and architectural design,
 - **Section 7.6.3** Front setbacks,
 - **Section 7.6.4** Side and rear setbacks,
 - **Section 7.6.5** Dwelling height, massing and siting, and
 - **Section 7.6.8** Garages, site access and parking.
 5. Shops fronts are to encourage active and interactive street frontages that are sympathetic to the streetscape with similar materials to adjoining buildings to be used.
 6. Any area of land between the front property boundary and the building alignment, exclusive of approved driveways and parking areas, is to be landscaped to the satisfaction of Council.
 7. Address and entry points for any residential use on the same allotment of land are to be separate from the retail use access points and be readily identifiable.
 8. Design of the building frontage, front and side setbacks are to include safe and convenient pedestrian facilities such as weather protection, shade, seating and landscaping.
 9. On corner sites, shop fronts are to wrap around the corner and zero setbacks are permitted.
 10. Entrances are to be visible from the street and well lit.
 11. The site should not gain direct access to:
 - a road with clearway or other parking restrictions, or
 - a restricted access road (sub-arterial, arterial or transit boulevard).
 12. Any proposed development should not to create a traffic hazard. However, corner sites are preferred in terms of reducing potential for impacts on neighbouring properties, and for allowing side access for customer parking and deliveries.
 13. One car parking space is to be provided for every 30m² of Gross Floor Area.

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14. Parking spaces are to be provided on site or in dedicated on street parking constructed to Council's standards.
15. The design of the building and parking areas is to provide suitable access for people with disabilities and service deliveries.
16. Bicycle parking must be provided in a location that is secure and accessible with weather protection for employees.
17. Car parking must be clearly signposted to indicate its availability from the street.
18. Plant and equipment (particularly cooling or heating plant), is to be located so as to not cause noise annoyance to neighbours. A Noise Impact Assessment may be required to be prepared and submitted to Council.
19. Waste storage areas must be designed to minimise visual impact and should be screened and properly positioned so as to not to attract pests and cause odour problems for neighbours.
20. All goods storage is to be internal.

7.8.5 Seniors Housing

Objectives

- a. To ensure that the design of seniors housing is consistent with the character of surrounding residential areas.

Controls

1. Applications for seniors housing are to comply with the controls in **Section 7.7.3** of this DCP for multi-dwelling housing, or controls for residential flat buildings in **Section 7.7.4**, as appropriate to the proposed development.

Note: SEPP (Housing for Seniors or People with a Disability) 2004 is the primary environmental planning instrument controlling seniors housing. Applicants considering development of this kind should refer to that SEPP for specific controls and to determine the permissibility of seniors housing.

8.Amenity and Environmental Management

This section of the DCP outlines objectives and development controls relating to visual and acoustic privacy, floor to ceiling heights, sustainable building design, stormwater and construction management, waste management and site facilities and servicing. Elements of this section apply to residential, commercial and industrial forms of development.

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8.1 Sustainable Building Design

Objectives

- a. To ensure that developments are environmentally sustainable in terms of energy and water use.
- b. To reduce consumption of potable water and waste water discharge.
- c. To maximise opportunities for natural ventilation in development.
- d. To prevent further air pollution or disturbance to amenity of nearby residents from the use of open fire places and slow combustion stoves.

Controls

- 1. New residential dwellings, including a residential component within a mixed use building and serviced apartments intended or capable of being strata titled are to be accompanied by a BASIX Certificate and are to incorporate all commitments stipulated in the BASIX Certificate.
- 2. Buildings and developments not affected by BASIX are to achieve a 40% reduction of baseline potable water consumption. Where the building or development is water intensive (i.e. high water user), specific water conservation objectives must be resolved with Council.
- 3. Building design is to respond to local climate and site conditions with passive solar and ventilation measures to be incorporated into building design. High use work areas (such as offices) are to be positioned to maximise solar gain and natural ventilation.
- 4. Building envelopes, depths and internal layouts of all residential development is to facilitate natural ventilation.
- 5. Open fireplaces and slow combustion stoves are prohibited.

8.2 Stormwater and Construction Management

Objectives

- a. To manage stormwater discharge in a manner that minimises impacts on downstream receiving waters.
- b. To minimise soil erosion and siltation during construction and following completion of development.

Controls

- 1. A Stormwater Concept Plan is to be submitted with each building DA indicating how stormwater will be managed and disposed of. Drainage for individual developments shall be designed in

accordance with the stormwater quality and quantity targets set by the DECC, Australian Rainfall and Runoff (1997), and Council's Engineering Design Specification. All subsurface drains are to be connected into the stormwater system within the site downstream of any water tanks.

2. All development shall be carried out in accordance with an approved Soil and Water Management Plan prepared in accordance with *Managing Urban Stormwater - Soils and Construction*, Landcom 4th Edition March 2004 ('The Blue Book').
3. Where properties fall away from the street and / or are unable to drain to a trunk drainage system, an easement for draining through downstream properties must be created in the subdivision plan.

8.3 Waste Management

Objectives

- a. To avoid the generation of waste through design, material selection and building practices.
- b. To encourage waste minimisation, including source separation, reuse and recycling.
- c. To ensure efficient storage and collection of waste and quality design of facilities.

Controls

1. A Waste Management Plan is to be submitted with all DAs with the exception of single dwelling housing or superlot subdivision applications. The Plan is to address:
 - how recycled material, rubbish and other waste generated by clearing, excavation and construction is to be stored and controlled,
 - the type and volume of water expected to be generated during construction, and
 - the method and location for the collection and disposal of waste.
2. All residential dwellings shall be provided with a garbage, recyclables and greenwaste service unless specifically exempted by Council.
3. All business and industrial operations are to provide adequate on-site waste storage facilities that are readily accessible and appropriately screened from public view.
4. Development must demonstrate that the design takes into account refuse storage and collection without reducing the amenity of a dwelling or neighbouring lots.
5. Storage areas for rubbish bins are to be located away from the front of development where they have a significant negative impact on the streetscape, the visual presentation of the building entry and on the amenity of residents, building users and pedestrians.
6. For each dwelling house, an area adjacent to the kerb, suitable for the placement of waste bins for the weekly collection, should be available and shown on the landscape plan. The area shall be on evenly graded land, running parallel to the rear of the kerb and measure 3m x 0.9m. The area is

to be clear of any obstructions up to a height of 3.9m above ground. Some medium density housing may allow for on verge waste collection dependent on the available space.

7. In instances where the location of a bin collection area is not able to be achieved in front of the dwelling, Council may request the provision of waste bin pads. If required, waste bin pads are to be located on either side of the road and installed adjacent to the back of the kerb. They are to be installed by the developer during construction of the subdivision with a maximum of 3 lots permitted per bin pad. The pads are to be clear of any obstructions up to a height of 3.9m above ground.
8. Subdivisions shall be designed to ensure garbage collection is not required to be undertaken from the Transit Boulevard or 4 lane sub-arterial roads. Subdivision design should only anticipate garbage collection from 2 lane sub-arterial roads where direct access to individual lots is proposed.

8.4 Site Facilities and Servicing

Objectives

- a. To ensure that adequate provision is made for site facilities.
- b. To ensure that site facilities are functional and accessible and are easy to maintain.
- c. To ensure that site facilities are thoughtfully integrated into development and are unobtrusive.

Controls

1. Underground services are required for all domestic serving utilities, including electrical services.
2. Garbage, mail box structures, service meters and the like are to be integrated with the overall design of buildings and / or landscaping.

8.5 Sex Services Premises and Restricted Premises

Objectives

- a. To ensure that sex services premises or restricted premises do not adversely affect neighbourhood amenity.

Controls

1. In determining an application for consent to carry out development for the purpose of a sex services premises or restricted premises, the Council must consider the following (in addition to any other matter that it is required by or under the EP & A Act to consider):
 - whether the operation of the sex services premises or restricted premises is likely to cause disturbance in the neighbourhood when taking into account other like premises operating in the neighbourhood or other land uses within the neighbourhood involving similar hours of operation,

- whether suitable access is available or is proposed to be provided to the sex services premises or restricted premises,
- whether a suitable waiting area is provided in the sex services premises or restricted premises so as to prevent clients loitering outside the premises,
- whether sufficient off-street parking is available or proposed to be provided, if appropriate in the circumstances,
- the design and external appearance of the building and any associated structure and their impact on the character of the surrounding built environment,
- the content, illumination, size and shape of any advertisement and distinctive external lighting,
- whether the operation of the sex services premises or restricted premises is likely to cause a disturbance in the neighbourhood because of its size and the number of people working in it,
- whether the operation of the sex services premises or restricted premises is likely to interfere with the amenity of the neighbourhood, and
- any other environmental planning matter that the Council considers relevant.

8.6 Safety and Surveillance

Objectives

- a. To ensure that the siting and design of buildings and spaces, through casual surveillance, decreases the opportunity for crime.
- b. To ensure that development encourages people to use streets, parks and other public places without fear of personal risk.

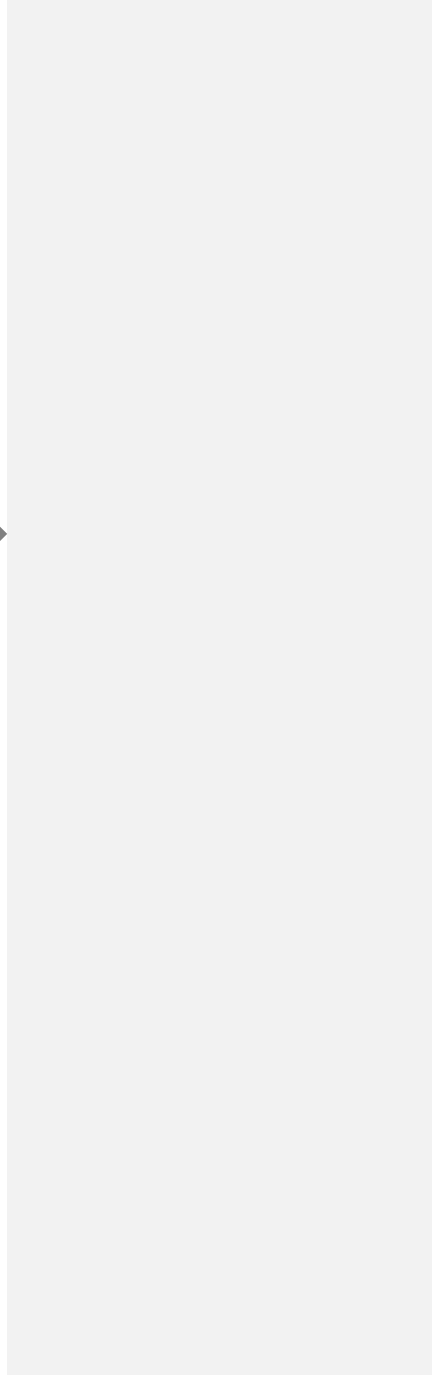
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1. Buildings should be designed to overlook streets, lanes and other public or communal areas to provide casual surveillance. In the case of corner lots habitable windows are also be oriented to overlook the side street.
2. The design of all development, in particular, the public domain and community facilities is to enhance public surveillance of public streets and open space / conservation areas.
3. Appropriate design of publicly accessible areas (e.g. parks, footpaths, etc.) encourages a sense of community ownership of open and public spaces.
4. For residential development, the use of roller shutters other than garages is not permitted on doors and windows facing the street. Any security railings must be designed to complement the

architecture of the building.

- 5. Developments are to avoid creating areas for concealment and blank walls facing the street.
- 6. Pedestrian and communal areas are to have sufficient lighting to ensure a high level of safety. These areas must be designed to minimise opportunities for concealment.
- 7. All development should aim to provide casual surveillance of the street as a means of passive security. This should be achieved by maximising outlooks and views, but minimising the overlooking of neighbouring properties. Opportunities for casual surveillance from dwellings / studios are to be incorporated into the design of shared driveways and where rear access is proposed from laneways.
- 8. All developments are to incorporate the principles of *Crime Prevention Through Environmental Design* (CPTED). Development Applications for subdivision, public open space and community facilities may require a formal crime risk (CPTED) assessment as part of the EP & A Act 1979, development assessment and *Camden Council's Designing Safer Communities – Safer by Design Guidelines* (October 2002).

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***Part B: Site
Specific DCPs***

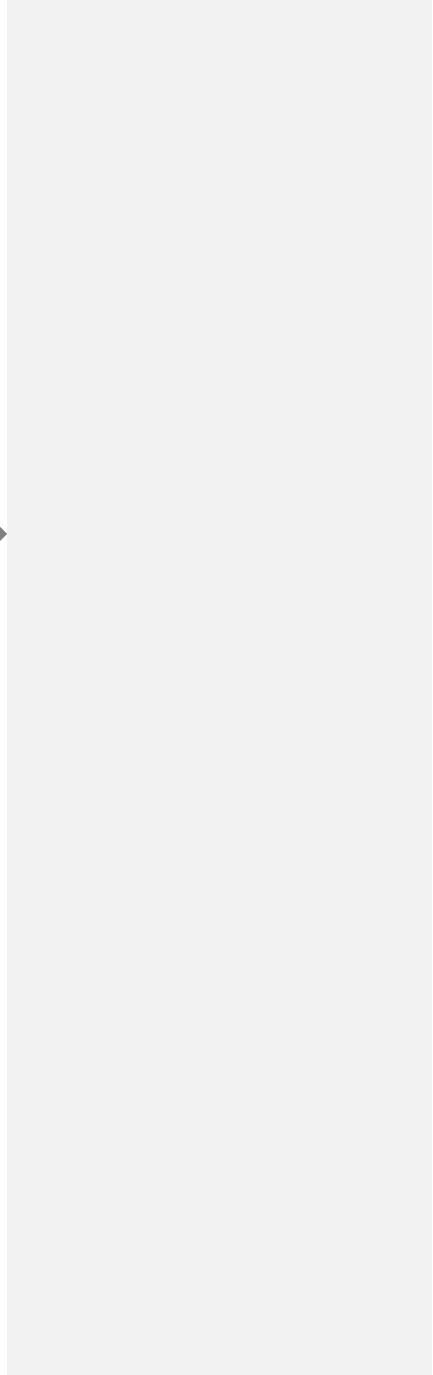
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Part B of the DCP is proposed to incorporate the site specific DCP amendments. As each DCP amendment is adopted **Table 1** below is to be updated. **Appendix B** sets out the matters to be addressed within the Part B DCP for each special area.

Table 1: Adoption Dates of Part B DCP Amendments

Special area	Date adopted
B1 Sales and Marketing Centre	12 November 2008 (superseded by B1 Oran Park Town Centre on 15 October 2011)
B1 Oran Park Town Centre	15 October 2011 Amended 2 November 2023
B2 Riparian Protection Area	20 May 2009
B3 Denbigh Transition Area	13 September 2016
B4 Northern Neighbourhood Centre	3 September 2019
B5 Oran Park Employment Area	5 May 2022
Southern Neighbourhood Centre	

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B1 - Oran Park Town Centre

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1.0 Purpose of this Part

The purpose of this part is to outline the vision for, and facilitate development of the Oran Park Town Centre.

In addition to the detailed controls outlined in this Part, the general controls outlined in Part A of the Development Control Plan also apply.

This Part supersedes the previous Part B1 DCP.

Compliance will be required with the principles of SEPP 65 for multi-unit residential development and State Environmental Planning Policy (Industry and Employment) 2021 for signage. signage.

2.0 Vision and Development Objectives

2.1 Vision for the Oran Park Town Centre

The Oran Park Town Centre is an evolving town centre, located in the geographic heart of Camden local government area.

The Town Centre is designed to be modern and convenient, while at the same time capturing the benefits of traditional main streets with their mix of civic, cultural, recreational and residential uses. It is emerging as a strategic centre in the Camden local government area with extensive retail, commercial and service industries planned for the area, including significant health care services.

People are at the heart of Oran Park Town Centre's design and planning. Streets are pedestrian friendly and the built form at street level has a human scale. The Town Centre feels comfortable and safe and is easy to navigate. Local traffic is calmed to travel at low speeds and through-traffic is diverted around the Town Centre. Most car parking is located below ground, providing a clear signal that the Town Centre is a place for people.

Important places are celebrated and enlivened by the careful location of adjoining uses to ensure activation and supervision of public and semi-public spaces at all times of the day.

Retail and commercial uses predominate in the Town Centre, responding to Oran Park's position in the Camden centres hierarchy. The supporting residential, civic and recreational uses ensure Oran Park Town Centre functions as a multipurpose destination. These uses are carefully located, leveraging the Town Centre's amenity and contributing to the vitality and resilience of the centre.

The Town Centre is designed to make walking easy. Internal arcades, wide footpaths on major desire lines, traffic calming on Podium Way, controlled pedestrian crossings at major intersections and a pedestrianised street between Podium Way and Central Avenue all contribute to a pedestrian-friendly environment. Views to significant landmarks and buildings in the Town Centre assist wayfinding which is supplemented with regular and consistent signage in the Town Centre and at its main entry points. The public and private domains are seamlessly integrated, adding to a sense of openness and activity. The Events and Activity Management Plan (EAAMP) has specific requirements pertaining to the use and management of semi-public spaces in the Town Centre. These requirements should be considered as part of the development assessment process.

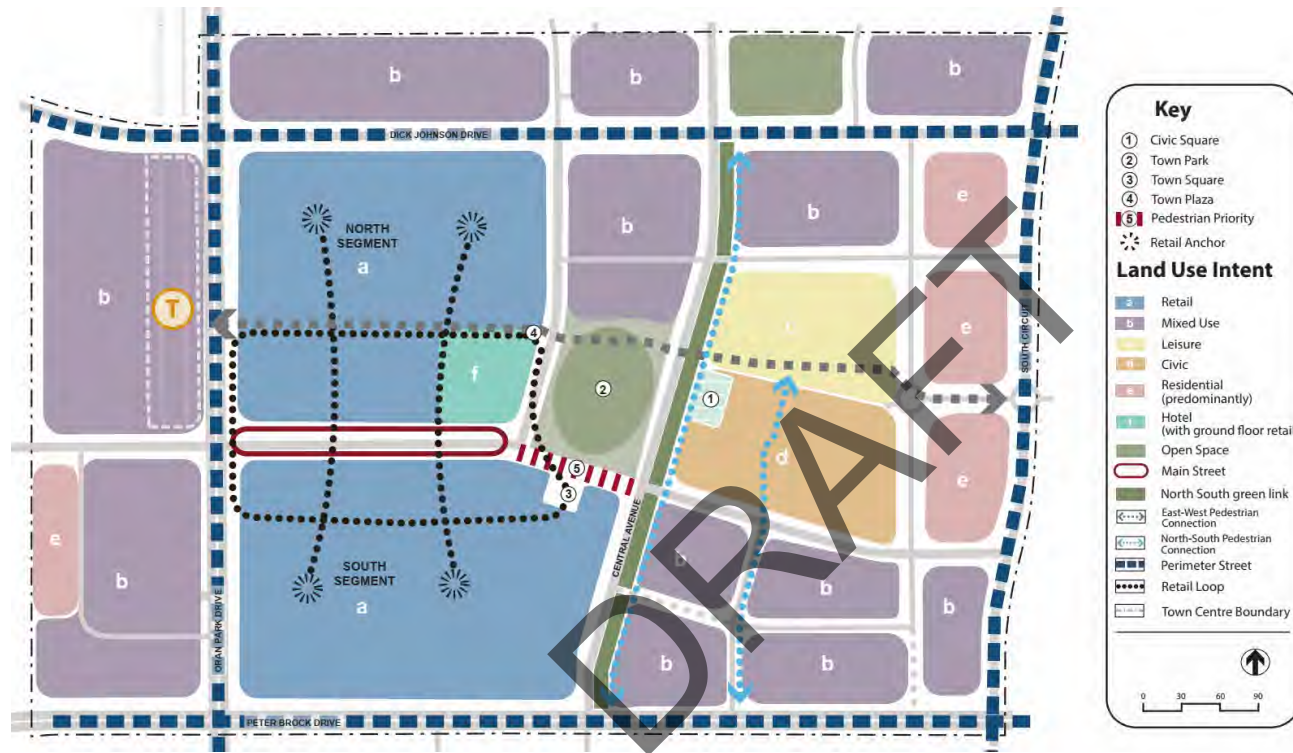


Figure 57: Town Centre Structure Plan

3.0 Town Centre Structure

3.1 Town Centre Structure Plan Layout

The Town Centre incorporates a traditional main street along Podium Way. Podium Way bisects the Retail Precinct, featuring active street frontages that promote passive surveillance and interest. Restaurants, cafes and other 'window to the street' uses are encouraged along Podium Way. Arcade shopping is provided for specialist retail, larger format retail and leisure activities.

Both Podium Way and the arcades will provide convenient pedestrian connections across the Town Centre to key focal points, including Perich Park and its fringing spaces, the future metro Station, proposed Hotel and the Civic Precinct. These features will be emphasised by sight lines along streets and at major entries to the Town Centre.

Perich Park marks the geographic and functional heart of the Town Centre and is a combination of landscaped and plaza-like spaces. The uses around Perich Park ensure the space is activated and welcoming at all times of day, including evenings and into the night. The south-western corner of Perich Park is where the energy of the Town Centre converges and this special place is distinguished by a landmark feature.

The mix of public and private space on the edges of Perich Park, including the Town Square and Podium Plaza, add to scale of the park and contributes to on-street vitality and interest. The combination of public and semi-public spaces around Perich Park provide multiple places for people to gather, linger and relax. There are spaces for large community gatherings and smaller, intimate spaces to relax and 'people-watch', catering for both large and small groups.

Green corridors extend from Perich Park north and south, connecting to schools, sports fields and major parks and reserves in the surrounding residential areas. These green corridors form the backbone of the cycling and pedestrian networks to and from the Town Centre. In the Town Centre, Central Avenue functions as a tree-lined boulevard directing pedestrians and cyclists through the Town Centre and beyond.

Long-stay carparking will be provided in easily accessed basements across the Town Centre with short term convenience parking provided at grade. Sub-regional traffic will by-pass the Town Centre on its periphery. This will improve the experience of the Town Centre for pedestrians and cyclists alike.

Bus stops will be located within an easy walking distance of major Town Centre destinations such as the Civic Precinct and the proposed Metro station for the convenience of residents and visitors. The network of bus stops will expand as the Town Centre progressively develops.

The Town Centre will have a coordinated, high quality urban landscape design with integrated street furniture, lighting and signage used to create a distinct sense of place.

While a mixed use Town Centre provides activation and interest outside normal business hours, it also brings potential land use conflicts. These should be managed by carefully considering the location of various uses in the Town Centre and using roads and open spaces to provide visual and acoustic separation between sensitive uses.



Figure 58: Land Use

Note: Figure 58 above graphically represents the indicative land uses for the Oran Park Town Centre. The land uses and general road structure may be amended over time to allow for flexible delivery of the Town Centre built form.

3.2 Land Uses

The Oran Park Town Centre is to incorporate a variety of integrated land uses to meet the needs of future residents. A large Town Park is proposed as the heart of the future Town Centre, providing a key focal point for surrounding land uses and future visitors to the Town Centre.

Land uses within the Town Centre will incorporate a range of retail, civic, community, recreational, commercial, residential and mixed use types which are generally defined by three interconnected and integrated precincts. These three precincts comprise a retail precinct to the western side of the Town Centre, a Civic Precinct which forms the heart of the Town Centre and a mixed use precinct located along the eastern portion of the Town Centre. Mixed uses are also located to the west of Oran Park Drive.

Podium Way and the Retail Precinct

Podium Way is the Town Centre's main street, acting as a central spine for access and activity through the retail precinct. Podium Way will provide a low-speed environment for vehicles, with on-street parallel parking provided for short-stay visitors. Pedestrian crossings of Podium Way will be clearly identified and located on the strongest pedestrian desire lines.

Podium Way will have active street frontages along its length, providing an interactive, bustling concourse and a pedestrian focussed environment. Outdoor eating is provided along Podium Way and encouraged on the southern side of the street to benefit from the northerly aspect during winter. Outdoor eating is also provided overlooking Perich Park, associated with ground floor uses of the hotel. Street tree planting provides shade and shelter in the warmer months and helps moderate ambient and radiant temperatures. The eastern end of Podium Way provides views of Perich Park and the Civic Precinct beyond.

Podium Way turns to the north when it reaches Perich Park. The southern edge of Perich Park, from the bend in Podium Way through to Central Avenue, is proposed to be a pedestrianised street. This area joins the Town Square with the southern area of Perich Park including the water feature in the south western corner of the Park. This allows for small scale events to be programmed independently in any of the spaces, or for the spaces to be combined to accommodate large scale community events.

The Retail Precinct spreads north and south of Podium Way. Direct access to The Podium retail and commercial core is provided from Podium Way at different points along its length. These entries are open to the street, blending the public and private domain. The community titling arrangements for the Town Centre will govern how these areas are managed and operated to ensure opportunities for daytime, evening and night time activity are optimised.

Residential and hotel building foyers are differentiated from the public arcades and thoroughfares of the Retail Precinct but still add to the quality of the street, connectivity and the pedestrian experience in the Retail Precinct.

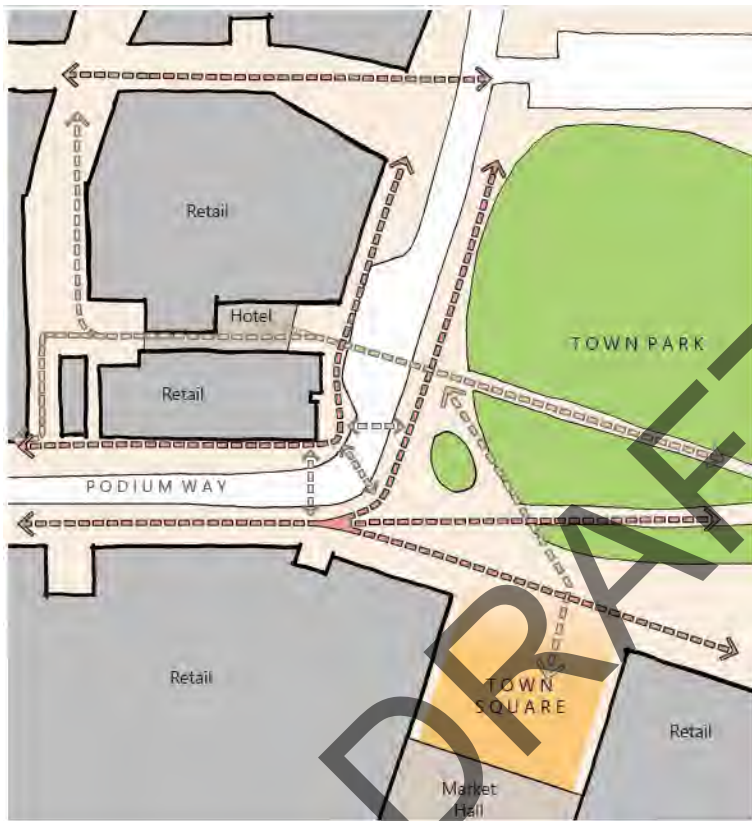


Figure 59: Pedestrian Circulation – Podium Way, Town Square and Perich Park



Figure 59a: Podium Way and Retail Precinct Principles & Precedents

Perich Park

Perich Park is the heart of Oran Park Town Centre comprising a combination of landscaped and plaza-like areas. Its generous size reflects its important civic function. A landmark feature is provided in the south-western corner of the Park, where the Town Centre's energy converges. Casual seating, landscaping, lighting and shelter structures combine to provide interest and a variety of experiences for Town Centre users in this central location.

A collection of smaller public and semi-public spaces fringe Perich Park. Originally conceived as separate spaces, they have been designed in an integrated manner so that together, they complement and increase the effective size of Perich Park, providing a mix of experiences: places to sit and watch Town Centre life; places to meet and mix; quiet places to relax and unwind.

There is no clear demarcation between public and private property in this area and use of the public and semi-public spaces will be encouraged into the evenings and night. Land uses at ground level will take advantage of this high amenity, encourage interaction and passive surveillance and make users feel welcome at all times of the day. How these spaces are used is governed in part by the Community Statement's EAAMP. Regionally significant buildings frame Perich Park on its east, being the Camden Council Administration Building, Oran Park Library and Leisure Centre underlining the importance of this space.

Active frontages to Perich Park are encouraged to provide a supervised public domain, with outdoor dining emphasised to the north facing areas. While passive surveillance at the ground level is important, consideration should also be given to how balconies, terraces and other above ground building features can contribute to Town Centre life and vitality, while also providing passive surveillance for important spaces.

A pedestrianised street on the south side of Perich Park provides a transition from The Podium (Stage 2) to Perich Park. Favoured with a northerly aspect, alfresco dining in this area spills out to the footpath, across the pedestrianised street and into Perich Park. An attraction in its own right, this area is where pedestrian footfall is expected to be greatest as people navigate to and through the area to other attractions in the Town Centre.

To the west of Perich Park, ground plane retail is provided to encourage activation and additional engagement with the public domain. The hotel and its entry provides activation and passive surveillance. Terraces, balconies and podium level uses, located above the street, further activate the Town Centre and enhance passive surveillance.

The Civic Precinct

The Civic Precinct is a low-speed traffic environment and pedestrians are given numerous choices for walking to other destinations in the Town Centre using either public footpaths, pedestrianised streets or the covered arcades of The Podium retail and commercial complex.

The Civic Square is formed by the combined forecourts of the Camden Council Administration Building, Oran Park Library and Leisure Centre. This public space overlooks the Park and, together with the civic buildings, forms the eastern anchor to the Town Centre. Entries to carparking in this part of the Town Centre are located in the east of the precinct.

The Civic Square's relationship to Perich Park forms a focus for community activities, catering to large scale community celebrations and also providing more intimate places to sit and observe Town Centre life. Pedestrian and cycling networks from the surrounding residential areas converge on the Civic Precinct, allowing safe and convenient access to other parts of the Town Centre. Buildings should be oriented to take advantage of natural sunlight and to minimise overshadowing of public spaces.

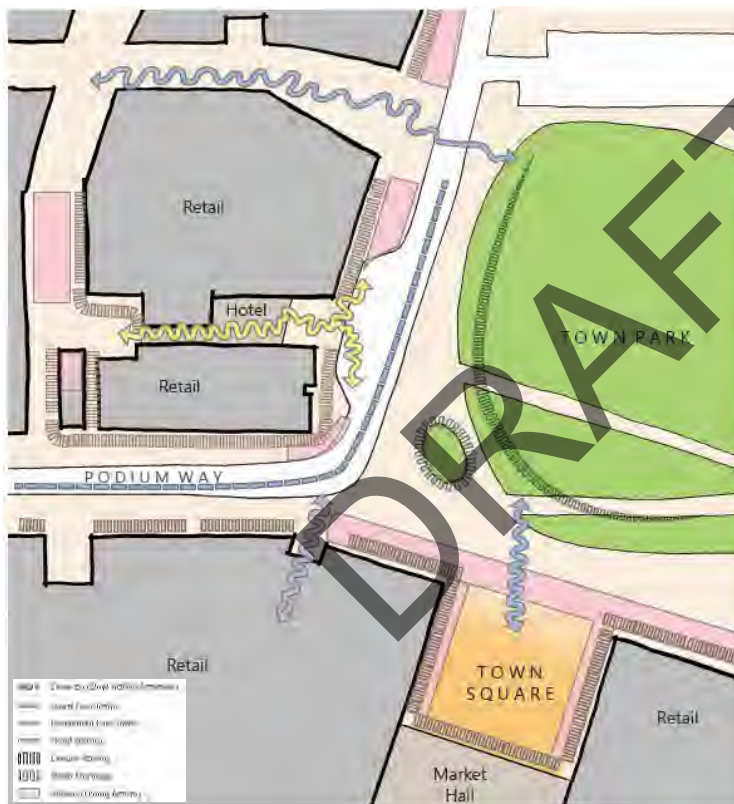


Figure 60: Urban Design Principles – Podium Way, Town Square and Perich Park



Figure 60a: Precedents

Town Square

The Town Square frames the southern edge of Perich Park, the central focal point of the Oran Park Town Centre. The Square directly integrates with the Retail Precinct and Perich Park through pedestrian focused and calmed roads.

The Town Square is to be integrated with the Town Park, the 'Pedestrian Preferred' connection between Podium Way and Central Avenue. The Town Square will have a northerly aspect, with year-round solar access. The space will be bordered by retail and commercial development which will enhance the user experience and provide opportunities for coffee shops, restaurants and shopfronts. It will have a high-quality urban landscape design including a co-ordinated package of street furniture, lighting and signage. Public art may be incorporated in the public domain to create a unique sense of place.



Figure 61: Town Square

To assist with the design and delivery of the Town Square, a set of objectives and controls have been developed.

Objectives

- a. Ensure that the Town Square is a vibrant, publicly accessible, urban place that is integrated with the surrounding buildings and forms a natural extension of Perich Park. The Town Square and Perich Park will work together to ensure a variety of high quality public spaces are provided for people using the Oran Park Town Centre.
- b. Create a space that is inclusive of needs and desires of key community groups such as children, young people, older people, people on low incomes and people with a disability.
- c. Create an adaptable space capable of accommodating a broad range of uses, experiences and small activations (such as non-staged performances), as well as small markets.
- d. The shape, scale and configuration of the Town Square should cater for a range of events and uses, from the intimate to large scale community gatherings. The relationship of the Town Square to other adjoining publicly accessible spaces should be considered to optimise the range of uses able to be accommodated in these spaces when considered either individually or as a collective.
- e. Ensure that materials, finishes and furniture are consistent with other public places throughout the Oran Park Town Centre.
- f. Integrate public art and planting to create a sense of place that builds upon the existing strong public identity of Perich Park and Civic Plaza.
- g. Ensure there is a variety of public furniture and high levels of amenity addressing issues such as

safety, climate, activity, circulation, seating and enclosure to create a space that is a human scale with places for people to rest, socialize, meet, casually dine and people watch.

- h. The uses fronting the Town Square are to include a variety of cafes, restaurants and shopfronts, spilling into the Square to contribute to the activation of the space.
- i. The Town Square is to contain a variety of planted spaces and trees.

Controls

1. The Town Square is to be approximately 1,000m² and its relationship to adjoining areas will be generally in accordance with the indicative plan at Figure 62.
2. The space is to be clear of colonnades.
3. Implement design responses which ensure the Town Square is not dominated by surrounding buildings. These may include use of arbours, planters, seating and vegetation at the ground plane to break up mid-distance views, in addition to roof gardens, planters, patios, balconies and general building articulation at the first-floor level and above to soften the appearance of adjoining buildings when viewed from the Town Square.
4. Shade/shelter elements are to be provided allowing perimeter circulation. Weather protection devices east-west across the front of the Town Square should also be considered including awnings, lightweight structures and/or tree canopies.
5. Outdoor seating associated with businesses are not to take up more than 25% of the total Town Square area. Seating allocated to exclusive use by a business over and above 25% of the Town Square area will not be counted in the area calculation of the town plaza.
6. A Public Art Plan is to be prepared and submitted in DA documentation for the Town Square. Local artists are to be prioritised in the commissioning of art.
7. Public Art should be considered integral to the space and should be considered from the beginning stages of design. The space should be artfully designed with artwork integrated in the experience of the space. It should encourage public interaction and could include creatively designed seating, footpaths, pedestrian crossings, planted structures and other street furniture within the limits of Australian Standards and DDA accessibility requirements.
8. Pathways and desire lines within the Town Plaza should be wide enough and be free of obstructions to cater for pedestrian movement in both directions through the Town Square.
9. Shade/shelter elements are to be provided allowing perimeter circulation (refer to Figures 62 and 62a). Options for pedestrian connection east-west across the Town Square should also be considered. Shade/shelter elements may incorporate awnings, lightweight structures and/or tree canopies.
10. Where shade-providing structures are located within the Town Square, ensure the structure and support elements allow free movement of people and activities from the Square to adjoining areas, avoiding unnecessary clutter of public thoroughfares and spaces.

11. There should be no major physical separation between private outdoor dining areas and public seating areas. Where separation is provided between outdoor dining and public seating areas, the outdoor dining areas are to be weather protected in order to define lease lines that limit further expansion of outdoor dining areas into the public domain
12. All street materials, finishes furniture, lighting and signage are to be consistent with other public places throughout the Oran Park Town Centre.
13. Seating options should be informed by a consistent design language and accommodate small groups socialising as well as individuals engaged in solitary activities.
14. Seating options are to consider the following:
 - The design of seating should consider the variety, dimensions, location, and configuration of seating with the intent to maximise opportunities for comfortable and convenient seating that emphasises social interaction.
 - Provide a variety of options including moveable seating, fixed individual seats, fixed benches, seat walls, planter ledges, and seating steps where integrated into planters and other features.
 - shaded and unshaded seating options
 - Seating should complement the planted spaces within the Town Square.
 - Seating that provides suitable solutions for the elderly and those with accessibility challenges.
15. Prioritise vegetation within the Town Square is considering the balance between maintenance requirements and shade, noting the opportunity to introduce exotic deciduous planting where winter solar penetration is desired. Native and exotic species are to be selected from Camden Council's Tree and Landscape Species List.
16. Areas to be planted need to consider solar access, shading, species selection, available soil depth and planned maintenance to ensure and plants are provided optimal conditions for healthy growth.
17. The hard surface area within the Town Square is to be designed to reduce stormwater run-off and ensure stormwater collection is integrated seamlessly into the design of the hardscape finishes.
18. Solar access to the Town Square is to provide a range of conditions through the day and throughout the year, providing the public with choice of areas to sit and dwell.
19. Between the spring and autumn equinox periods, areas of shade should be provided in order to improve amenity for the public.

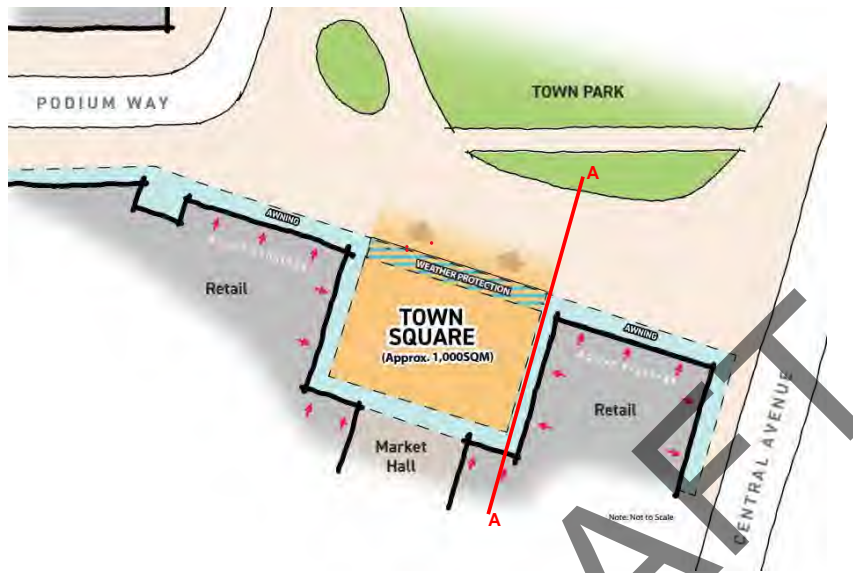


Figure 62: Indicative Town Square Plan

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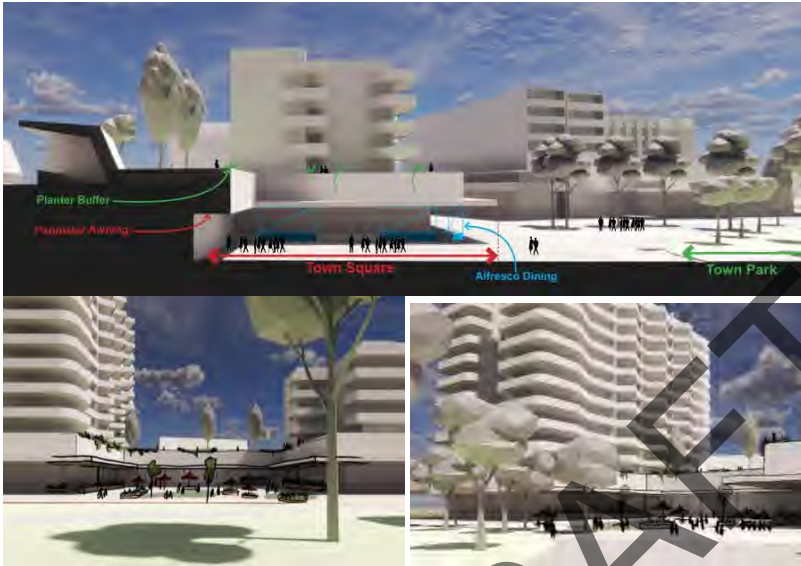


Figure 62a: Town Square Design Principles

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Podium Plaza

Located to the north west of Perich Park, Podium Plaza provides a transition from the indoor environment of The Podium to the outdoor public and civic spaces.

Partially covered to provide weather protection, Podium Plaza enjoys a view over Perich Park and forms one of the main pedestrian desire lines from the Metro station to the Civic Precinct. While ease of pedestrian movement is a prime consideration for this space, Podium Plaza also provides opportunities to linger, meet and dine. This space will evolve over time to achieve its ultimate character as development around the Plaza occurs in stages.

To assist with the design and delivery of the Town Square, a set of objectives and controls have been developed.

Objectives

- a. Ensure that Podium Plaza is a vibrant, publicly accessible, urban place that is integrated with the surrounding buildings.
- b. Facilitate east-west connection between Civic Plaza and Oran Park Metro Station.
- c. Ensure the uses fronting Podium Plaza include opportunities for a variety of land uses including cafes, restaurants and shopfronts.

Controls

1. The Podium Plaza is to be orientated towards the pedestrian crossing of Podium Way and frame a view of Perich Park.
2. East-west through access through Podium Plaza between the Civic Precinct and Oran Park Metro Station is to be facilitated 18 hours a day, seven days a week.
3. A pedestrian crossing is to provide a direct link between the Podium Plaza and Perich Park. The pedestrian crossing is to be integrated as part of the public domain paving and finishes, providing a clear visual and functional connection between them, noting the design solution is to consider Safety in Design and the requirements of Transport for NSW.
4. Areas to be planted need to consider solar access, shading, species selection, available soil depth and planned maintenance to ensure and plants are provided optimal conditions for healthy growth.

Central Avenue

Green corridors extend from the Town Centre north and south, connecting via riparian corridors to schools, sports fields and major parks and reserves in the surrounding residential areas. These green corridors form the backbone of the cycling and pedestrian networks to and from the Town Centre.

In the Town Centre, Central Avenue is the continuation of the green corridors, in a more formal and urban context. It acts as the north-south spine of the Town Centre, connecting the surrounding residential areas to major civic, recreational and retail/commercial uses.

Central Avenue will have a tree-lined, boulevard character. As it passes through the heart of the Civic Precinct it will have a more formal and urban character which may incorporate feature tree planting, generous seating and feature garden beds. A less formal character will be displayed as Central Avenue passes through the mixed use areas to the north and south of the Civic Precinct..



Figure 63 North South Promenade Precedent Images



Figure 64: North South Promenade Indicative Plan

Mixed Use Precinct

The Mixed Use Precinct forms the eastern end of the Town Centre and will provide a range of housing, commercial and small scale retail opportunities. It will enable a cosmopolitan lifestyle with the mix of employment, residential and other uses providing places where residents can live, work, play and shop. The areas furthest from the Town Centre core to the east will be predominantly residential in character and will take advantage of views over the landscape.

Land Use Principles

The Oran Park Town Centre is to be consistent with the following principles as demonstrated in **Figure 58** although it is acknowledged that land uses within the Town Centre will change over time. **Figure 51** illustrates land uses which demonstrate consistency with the following principles:

1. Achieve a maximum of 50,000m² Gross Lettable Area - Retail (GLAR) within the B2 Local Centre zone. Gross Lettable Area Retail means the total area of a tenancy by the Property Council of Australia's 'Method of Measurement' definition of GLAR.

Smaller scale retail uses (under 1,500m²) incorporated as part of a mixed use development outside the main retail area are not included in the calculation of the 50,000m² GLAR cap. The 'main retail area' is the area shown as 'Retail (a)' in Figure 50. The cumulative total of smaller scale retail uses outside of the GLAR cap in this area is not to exceed 5,000m².
2. Incorporate a variety of retail, residential, commercial, entertainment, recreation and community uses to serve the needs of the wider community and promote an active and vibrant town centre.
3. Incorporate higher density housing and mixed use development across the Town Centre.
4. Optimise employment opportunities within the Town Centre.
5. Focus retail uses along, and fronting the Main Street. Large scale retail development should be located within the retail precinct.
6. Co-locate uses and facilities where possible to maximise pedestrian access and connectivity, as well as the efficient use of space.
7. Locate active uses at ground floor, throughout the Town Centre, in particular fronting the Main Street, and areas of open space.
8. Incorporate the needs of health and aged care providers, facilities for young people, civic and emergency services within the Town Centre.
9. Leverage investment in the Metro Station to Bring higher order facilities to the Town Centre.
10. Leisure Centre to be closely integrated with retail, civic and town park activities.

3.3 Views and Vistas

The Oran Park Town Centre Structure Plan has been designed to emphasise sight lines to local landscape features, places of key cultural significance, future civic buildings, landmark buildings and public open space.

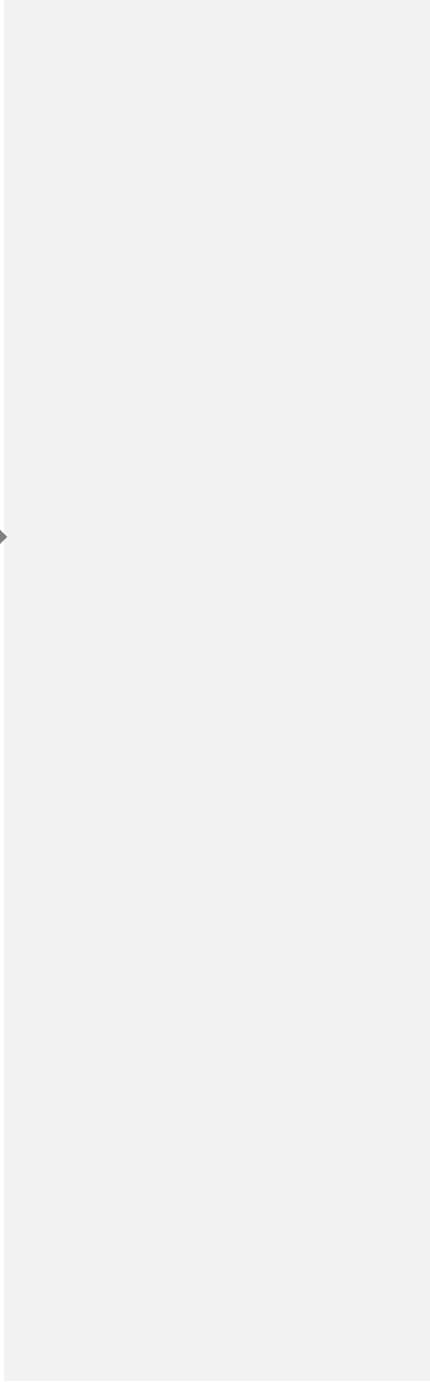
Detailed development of the Town Centre is to acknowledge views and vistas contained in **Figure 65**.

3.4 Interaction with Surrounding Land Uses

The Oran Park Town Centre Structure plan has been designed to respond to planned surrounding land uses including residential, educational, open space and commercial development.

Detailed design of the Town Centre should take into consideration proposed adjoining land uses and ensure a high level of pedestrian connectivity between the Town Centre and the surrounding development.

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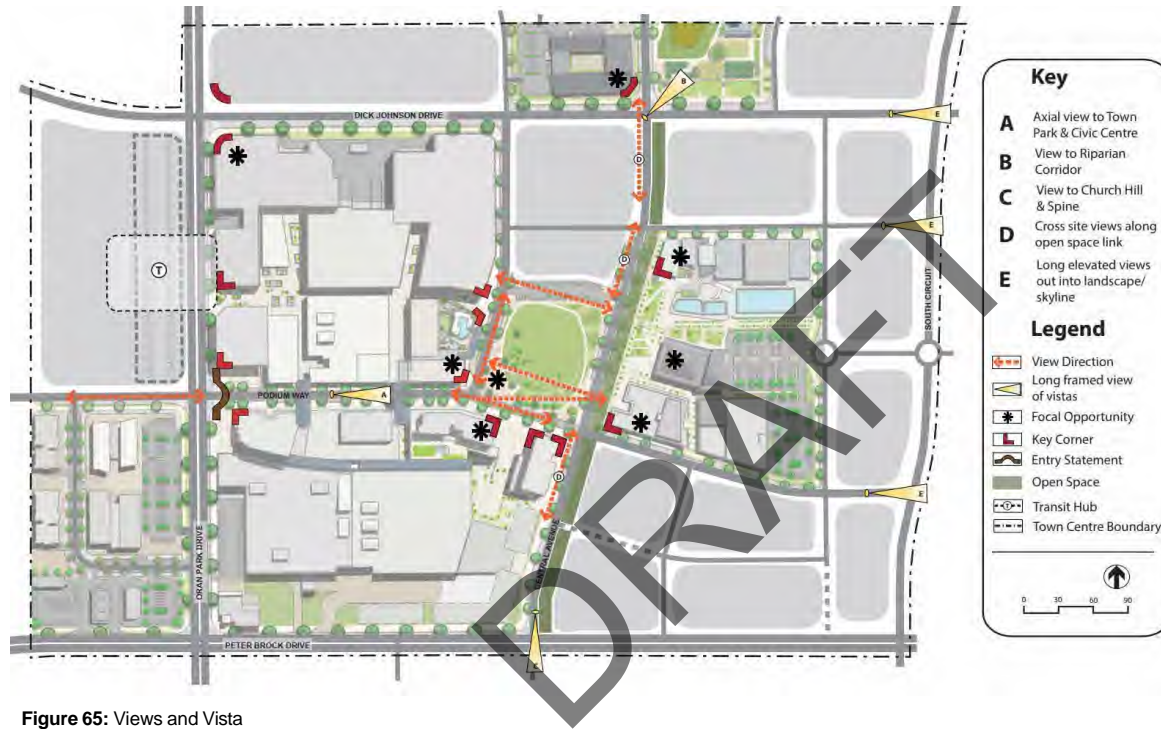


Figure 65: Views and Vista

4.0 Access and Movement

4.1 Vehicle Movement Network

Objectives

- a. To provide an integrated hierarchy of roads, cycleways and pedestrian pathways that provides safe, convenient and legible access within and around the Town Centre.
- b. To ensure that the hierarchy of the streets is clearly discernible through variations in carriageway, pavement surfaces, on-street parking and street tree planting.
- c. To ensure a high quality, functional, safe, legible and visually attractive public domain.
- d. To allow ease of vehicular access to the Town Centre and bypass routes for subregional traffic.

Controls

1. The street network is to be provided generally in accordance with **Figure 66**.
2. Traffic management measures are to be utilised within and surrounding the Town Centre to produce a low speed pedestrian friendly traffic environment, particularly within the Retail, Perich Park and Civic Precincts. Such traffic management devices are to be identified at the time of DA submission.
3. Principles of CPTED (Crime Prevention through Environmental Design) to be incorporated in the design of the access and movement system.



Figure 66: Road Hierarchy
 Note: Figure 66 above graphically represents the indicative road layout and hierarchy for the Oran Park Town Centre. The road structure and hierarchy may be amended over time to allow flexible delivery of the Town Centre built form.

4.2 Pedestrian and Cycle Movement

Objectives

- a. To ensure that the Town Centre is designed to promote high levels of accessibility for pedestrian and cyclists.
- b. To encourage pedestrian and cycle movements as a means of accessing services and facilities within and surrounding the Town Centre.

Controls

- 1. The Town Centre is to be designed to provide clear and legible pedestrian and cycle connections as identified in Figure 67.
- 2. Streets and pathway networks should be designed to ensure that walking and cycling within the Town Centre takes priority over traffic circulation.
- 3. Continuous weather protection for pedestrians is to be provided in key locations by colonnades or awnings.
- 4. Bike parking facilities should be provided at key locations on streets within the Town Centre. No dedicated bike path is required along Main Street.

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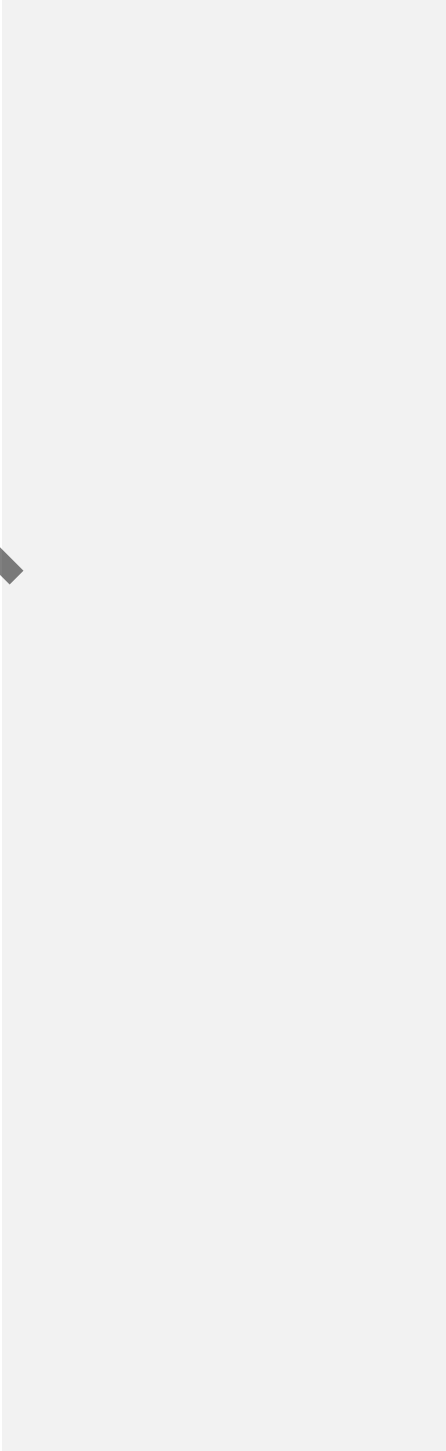




Figure 67: Pedestrian and Cycle Movement

4.3 Road Types

Objectives

- a. To provide a clear hierarchy of road types which recognise the need to integrate pedestrian and vehicle movements within the Town Centre.
- b. To promote safe, attractive and interactive streetscapes which respond to the variety of land uses within the Town Centre.

Controls

- 1. Streets are to be provided generally in accordance with the cross-sections in **Figure 68 to Figure 72**. The dimensions shown on these typical diagrams are guidelines.
- 2. Main Street in **Figure 66** should be no wider than 23 metres, have parallel parking between trees and no median to facilitate ease of pedestrian cross movements. Pedestrian crossings should align with retail loop.

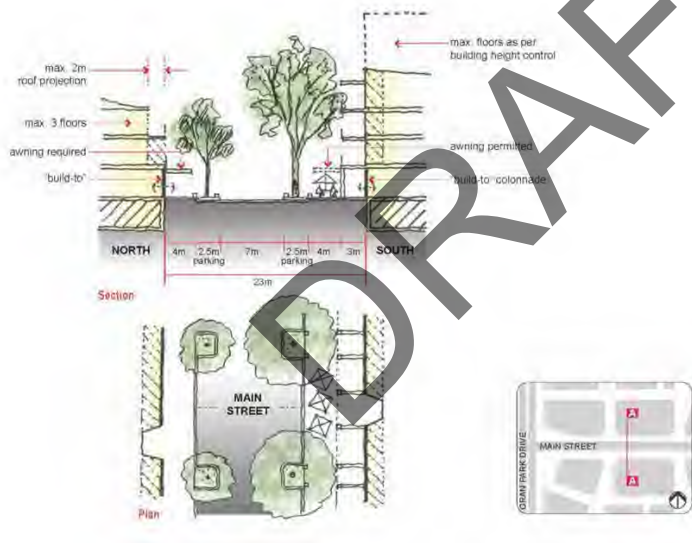


Figure 68: Section A – Main Street

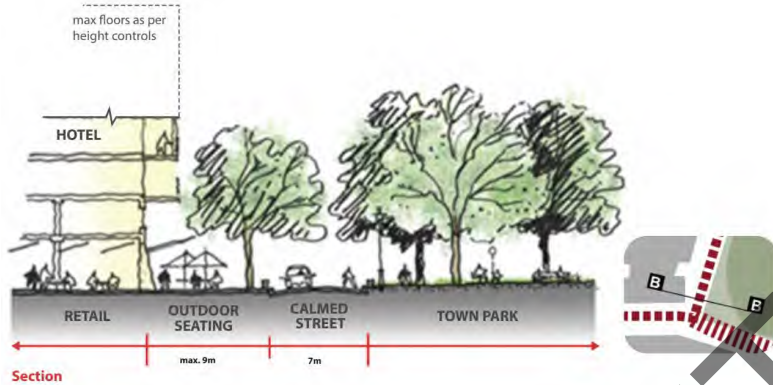


Figure 69: Section B – Calmed Street

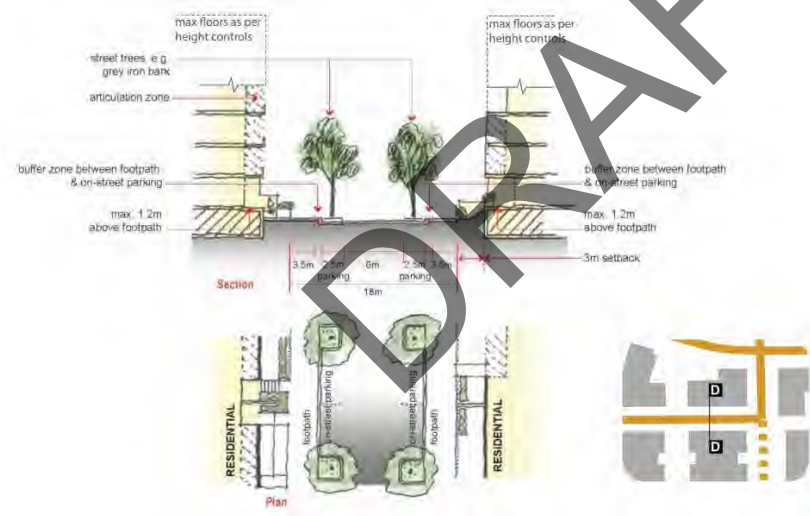


Figure 70: Section D - Typical Secondary Street



Figure 71: Section E North South Street and Promenade Activation Zones

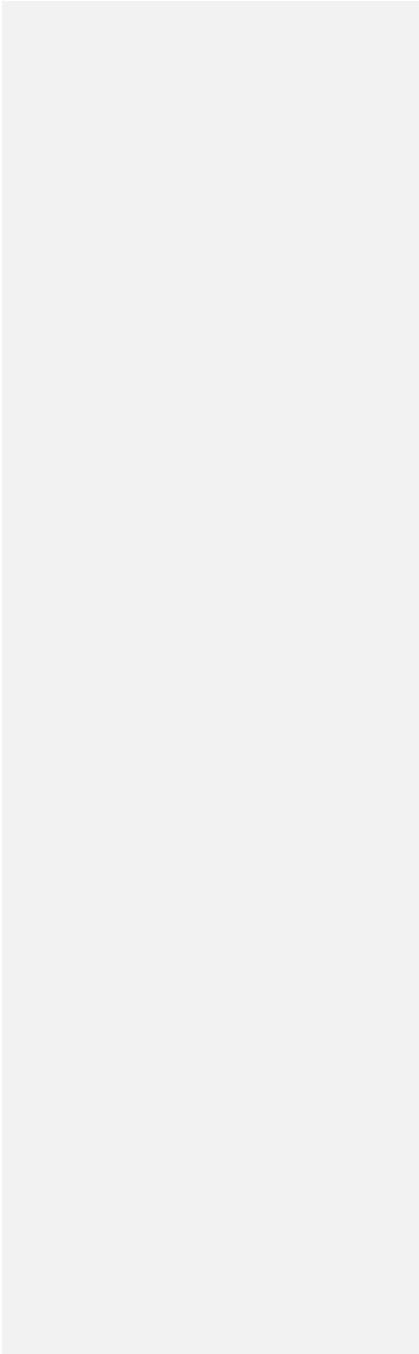




Figure 72: Section E2 – North South Street and Promenade Multiuse Zones

4.4 Public Transport

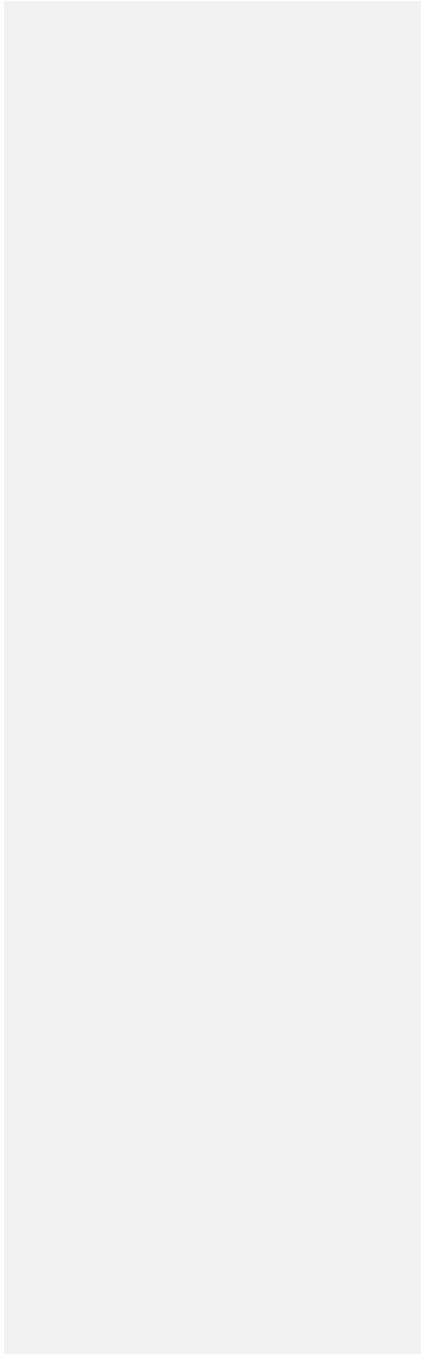
Objectives

- a. To encourage the provision and use of public transport as a preferred method of access to and from the Town Centre.
- b. To provide a high level of access to public transport services within and surrounding the Town Centre.
- c. To ensure that the Town Centre layout responds to the provision of a future public transport network.
- d. Transit hub to be located on both sides of the road and will be subject to detailed design.

Controls

- 1. The location of bus stops and a 'Transit Place' for express buses to Leppington Centre is to achieve a high level of access to key places of interest such as civic buildings, Town Park and Main Street and surrounding residential and commercial development.
- 2. Bus stops are to allow for integration of local and regional transport services.
- 3. Bus stops are to be located in areas which ensure a high level of passive surveillance.
- 4. Bus stops are to be provided generally in accordance with **Figure 73**.
- 5. Future development in proximity to the location of the proposed Oran Park Metro Station is to consider the impacts rail movements may have on the specific development. This may include, but not be limited to, noise and vibration impacts.

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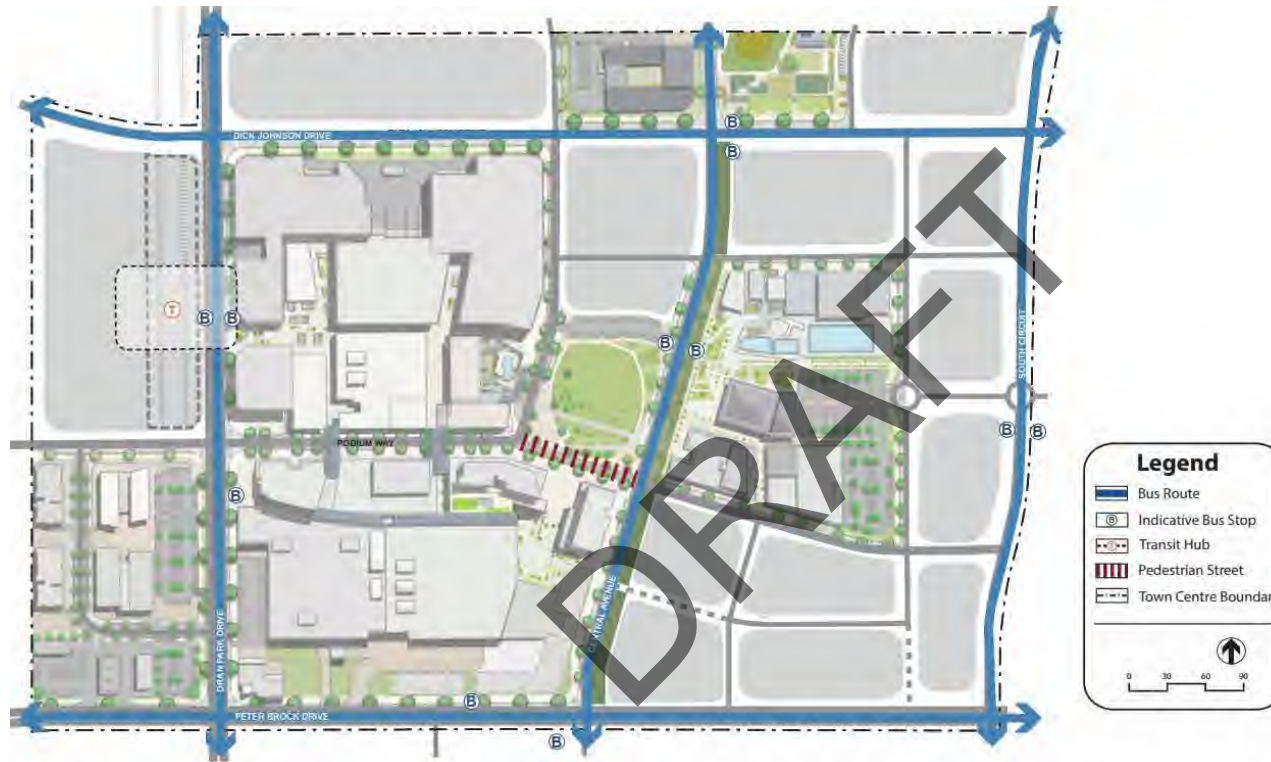


Figure 73: Public Transport Routes within the Town Centre (Figure 73 updated January 2016)

5.0 Public Domain, Water Sensitive Urban Design and Landscaping

5.1 Public Domain

Objectives

- a. To provide a variety of high quality public domain areas which cater for a wide range of activities.
- b. To ensure that public domain areas are designed in a manner which recognise their Town Centre location and allow for a seamless transition between public and private spaces.
- c. The public realm shall be unambiguously public in its design and detailing.
- d. To ensure that the Retail, Perich Park and Civic Precincts, as well as Central Avenue and the Mixed Use precinct respond to the character statements outlined under **Section 3.2**.

Controls

1. Public domain areas are to be designed and located generally in accordance with **Figure 74**. The design of public domain areas shall take into consideration the Public Domain Manual adopted by Camden Council (Attachment A).
2. The Perich Park and Civic Precinct is to be designed to provide an urbanised, vibrant interactive public space which incorporates outdoor seating areas associated with retail tenancies which will open onto the public domain and opportunities for informal seating and gathering places.
3. The Town Park is to be designed to accommodate a range of active and passive recreational opportunities within a Town Centre context. The design of the Town Park should provide flexibility in the layout and use of the park over time.
4. The Town Park is to be designed to achieve a high level of connectivity with and between adjoining land uses.
5. Any Development Application which seeks approval for the design of the Town Park is to include a statement outlining how the design addresses the character statements outlined under **Section 3.2**.
6. All paving materials must conform to relevant standards for durability, non-slip textures, strength and surface treatment to withstand use by light automobiles, service vehicles, pedestrians and bicycles.
7. Central Avenue is to provide a number of Character Zones along its length. These are shown and described in:
 - **Figure 63** (indicative plan).
 - **Figure 71** and **Figure 72**.
 - Public Domain Manual Design Principles 3.4A North South Street with Promenade (Activation Zones) and 3.4B (Multiuse Zones).

These Character Zones provide a combination of Activation zones at street corners and within a Civic Area, along with Multiuse zones of predominantly soft landscape treatment which provide a regular rhythm along the length of the Promenade. The Multiuse zones may be interchangeable between paved, turfed or mass planting depending on the adjoining building design and land use. The final design of each Multiuse zone is to be determined in conjunction with the adjoining buildings and land use to allow for an appropriate design response to, for example, the inclusion of future outdoor dining areas.

The proposed final design must be included as part of the DA submission for adjoining buildings.

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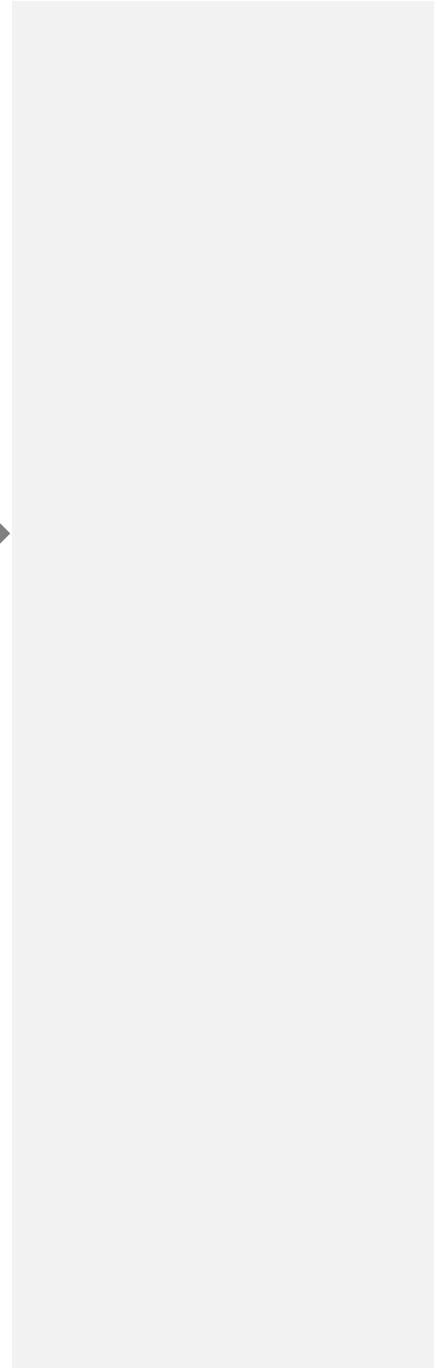




Figure 74: Public Domain Plan

5.2 Water Sensitive Urban Design Requirements (WSUD)

Objectives

- a. To protect and enhance natural water systems which may be affected by urban development.
- b. To reduce stormwater run-off and peak flows effected by urban development.
- c. To meet stormwater quality targets through treatment systems such as bio-retention, swale, wetlands and raingardens.
- d. Treatment systems should be related to the urban design of public open space and streetscapes to enhance visual amenity.

Controls

1. All development shall generally be in accordance with the Oran Park Precinct Water Cycle Management Strategy and Master Plan prepared by Brown Consulting and adopted by Camden Council. Development Applications, other than minor applications (e.g. shop fit-out, signage or change of use applications) shall include information from a suitably qualified consultant demonstrating how the proposed development is in accordance with the above. Key considerations include the management of stormwater run-off (quality and quantity), the minimising of potable water use and wastewater generation and water recycling strategies.
2. The Town Park is to be designed to incorporate WSUD objectives.

Note: A Water Cycle Management Strategy would not be required for all Development Applications (e.g. shop fit-out or change of use applications).

5.3 Street trees

An indicative layout of street trees and landscaping is shown in **Figure 73**.

Objectives

- a. To create a landscaped urban environment which helps to provide shade, comfort and amenity, particularly for pedestrians.
- b. To create visual order for the streetscape.
- c. To use appropriately scaled species which can grow within the constraints imposed by an urban environment.
- d. To create a landscaped environment which responds to ESD Principles consistent with the level of maintenance which will be available.
- e. To ensure the use of native species are favoured for landscape planting in the Town Centre.

Controls

1. Development Applications, other than minor applications (e.g. shop fit-out, signage or change of use applications) shall include a landscaping plan prepared by a suitably qualified consultant. The landscaping plan shall generally be in accordance with the landscaping components in the Public Domain Manual for the Town Centre (Attachment A).
2. Plant selection should take into account the following:
 - species that complement remnant native vegetation,
 - level of on-going maintenance,
 - potential impacts on road and footpath pavements,
 - focus on hardy, drought tolerant, easily maintained species,
 - scale in relation to the function of the area, and
 - contribution to the character of the local centre.
3. Street trees and open space planting is to provide generous shade for pedestrians in summer and allow for sunlight penetration to street level in winter.
4. Main Street: (refer to cross section in **Figure 66**) species selection to respond to the east / west orientation of the street and its corresponding usage by: limiting shade and maximising sun penetration for trees on the northern side of the street; providing medium to large trees on the southern side, capable of delivering appropriate scale to Main Street and at the same time allowing a dappled shade effect throughout the year.

5. North / South Street: (refer to cross sections in **Figure 71** and **Figure 72**) as a green link and major pedestrian and cycle path, tree species should: reflect local character in species selection; provide a scale appropriate to a wide avenue; provide a density of canopy which is capable of significantly modifying hot conditions typical of Western Sydney in summer.
6. Town Park: a dense tree stand of medium to large deciduous trees whose purpose is to provide seasonal amenity for pedestrians; large scale trees on the northern and southern perimeters of Town Park capable of providing primary enclosure to a large open space.
7. North / South oriented streets: (refer to cross section in **Figure 71** and **Figure 72**) use wide close canopy evergreen species in order to modify the effects of the western sun.
8. East / West oriented streets: (refer to cross section in **Figure 70**) medium open canopied species which will allow partial sun penetration throughout the year.

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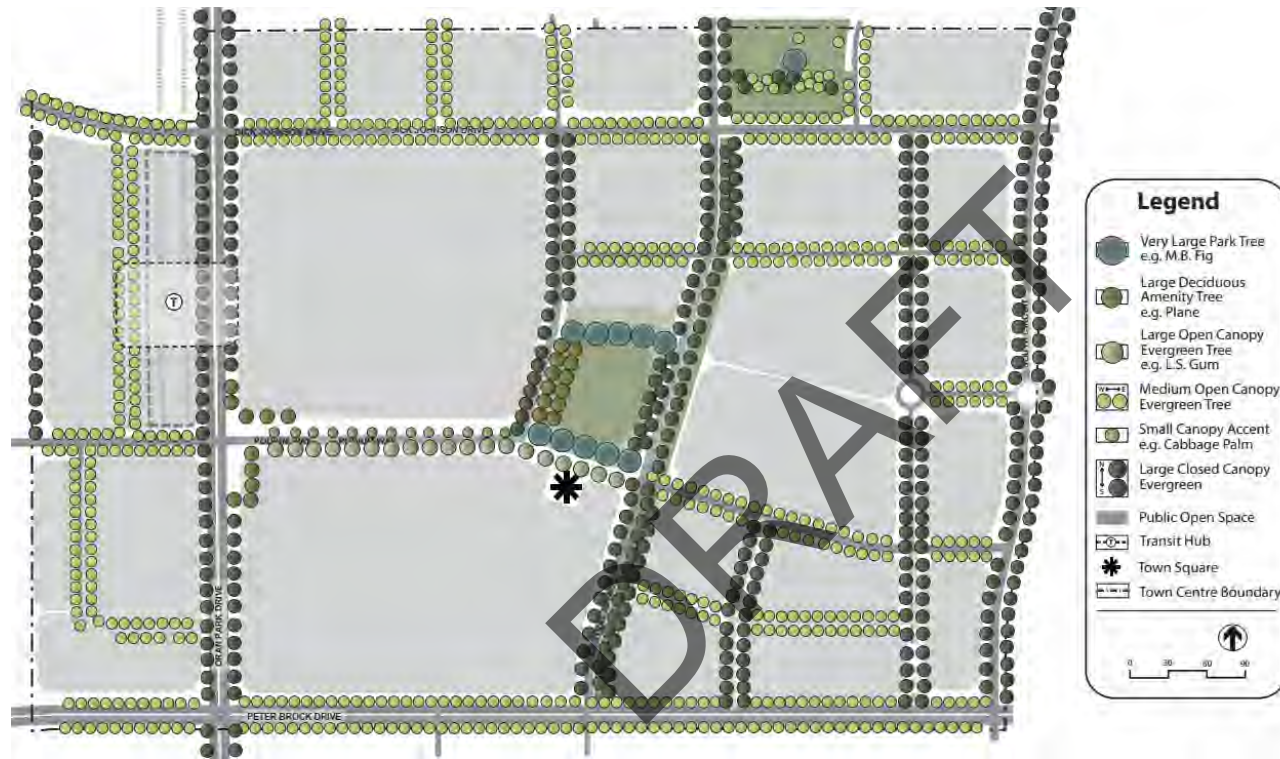


Figure 75: Landscape and Street Trees (Updated January 2016)

6.0 Environmentally Sustainable Development Principles

Objectives

- a. To ensure all **new Retail, Commercial and Mixed Use buildings** achieve a minimum level of environmental sustainable design and meet statutory benchmarks in sustainable development.

Controls

1. All new retail, commercial and mixed use buildings must achieve a minimum 4 star Green Star rating from the Green Council of Australia. An Energy Efficiency report is to be provided to Council as part of the Development Application for the development proposal. Matters to be considered as part of an Energy Efficiency report are provided at **Attachment B** of this Plan.

7.0 Land Use and Built Form

7.1 Built Form Articulation

Objectives

- a. To promote articulated building forms which contribute to creating an interesting streetscape character.
- b. To promote articulation in building mass which responds to key design elements.

Controls

1. Articulation zones should be provided to compliment the building mass and emphasise key design elements such as entrance points and respond to environmental conditions including solar access, noise, privacy and views.

7.2 Architectural Character

Objectives

- a. Architectural expression should be diverse across building groups / blocks and facades should be articulated to create visual interest.
- b. There should be consideration of a contemporary architectural style based on simple primary building forms and a fine grained assemblage of elements (which may incorporate the diversity of character of streetscapes in historic towns such as Camden) where appropriate.
- c. Architectural design should be sympathetic with regional character.
- d. Façade design should create a series of vertical elements along a building length reflecting a

traditional main street façade.

- e. Sleeve buildings or appropriate screening to be provided to minimise the visual impact of large boxes, service areas and to define streets.
- f. Roof forms and structures such as clock towers / spires are encouraged for key sites and roofs should be designed to break up the overall mass of a roof on a large building. Roof elements should be used to screen mechanical plant.

Controls

1. Articulation and Corners: Buildings at Oran Park Town Centre are to generally align with street edges, be articulated in their façade treatments and express corners in design.
2. Corners are to be visually prominent and may be reinforced by one and two story verandas / balconies which turn the corner in a traditional manner.
3. Building Interface: The interface between the building and the public domain is to be designed to create active safer streets, to encourage flexibility in design for changing uses at ground level and provide weather protection for pedestrian amenity. Residential apartments above Town Centre streets will provide opportunities for casual surveillance.
4. To protect privacy, elevate ground floor level apartments above adjacent footpath levels – 500mm is suggested as a minimum with 1,200mm preferred.
5. Building facades are to be designed to accentuate key architectural features and clearly delineate points of interest such as building entries, vertical and horizontal elements.
6. Building facades are to incorporate a variety of finishes and materials which provide visual relief to the built form.
7. A diverse palette of durable and cost efficient external materials exploring a contemporary urban character whilst representing themes of Australian local character should be used. A range of materials is to introduce a fine grain façade treatment along street edges.

7.3 Building Envelopes / Bulk and Scale

Objectives

- a. To ensure that the bulk and scale of future development responds to the desired vision, scale and character of the Oran Park Town Centre and surrounding development.
- b. To encourage a variety of building heights within the Town Centre which respond to the site specific design considerations.
- c. To embody buildings with flexibility in their use over time.

Controls

1. Building heights are to be in accordance with the Building Envelope Plan shown in **Figure 76**.
2. Prominent street corners should be reinforced in a visual context through concentrating building height and built form.
3. Buildings are to be designed to ensure a human scale is maintained at street level.
4. Minimum ceiling heights are detailed in the table below. For the purposes of this control 'ceiling height' is measured internally from finished floor level to ceiling level. See **Figure 77**.

Floor Level	Minimum Ceiling Height
Ground Floor	3m
All other floors for retail / commercial use	2.7m
All other residential floors	2.7m for habitable rooms 2.4m for non-habitable rooms

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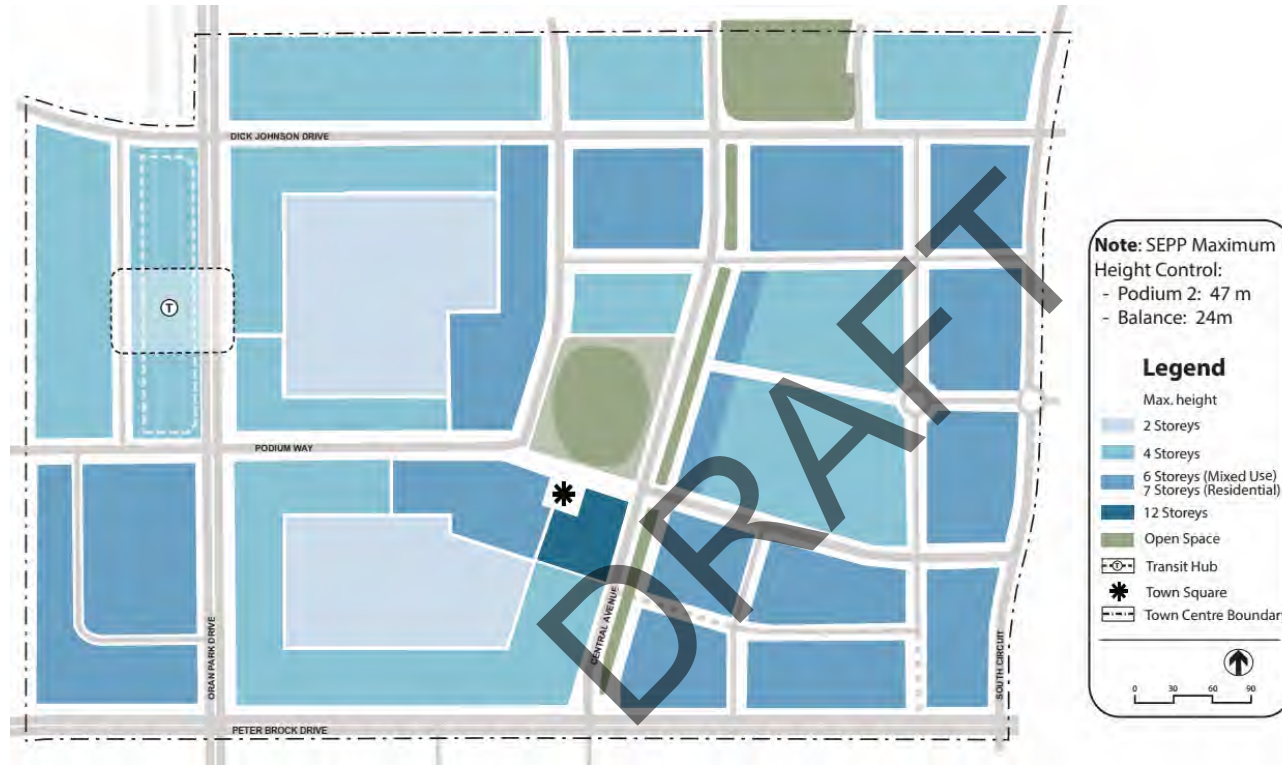


Figure 76: Indicative Building Envelope

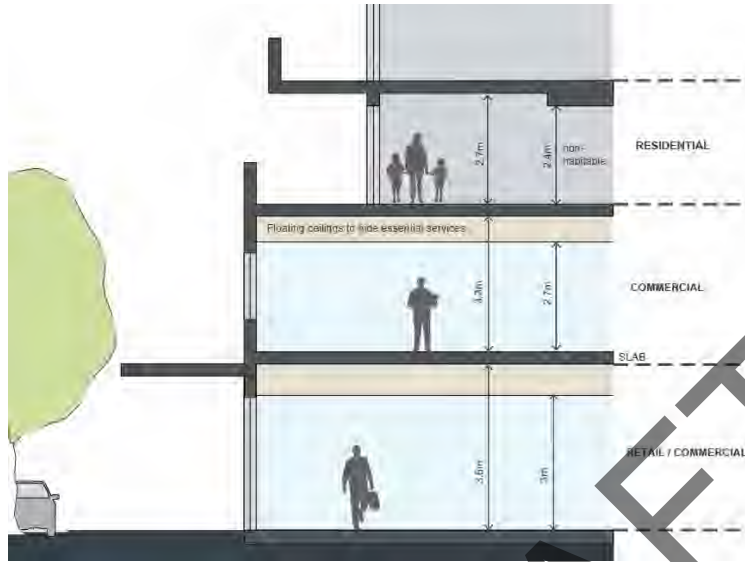


Figure 77: Minimum Floor to Finished Ceiling Height Explained (Figure inserted January 2016)

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7.4 Quality of Indoor Environment

Objectives

- a. To ensure a high level is achieved within commercial and retail development:
 - access to natural light,
 - access to natural ventilation,
 - indoor air quality, and
 - access and amenity.

Controls

1. Refer to indoor environment controls provided in **Attachment B**. These controls are required to be assessed as part of the Sustainability Assessment.

7.5 Weather Protection

Objectives

- a. Pedestrians should be provided with amenity and comfort throughout the public realm, and the commercial, residential and retailer occupants provided with a commercially viable and sustainable environment.
- b. The public realm should offer a diversity of experience, including providing a choice of exposure to environmental conditions.
- c. A variety of types, materials and methods for weather protection shall be adopted to promote a diverse experience across the Town Centre

Controls

1. Weather protection must maintain a feeling of openness and enhance both the public function of the specific space and / or street.
2. Weather protection devices shall take into account wind, sun, rain, night / day, seasons and shadowing effects of other built components.
3. Weather protection devices shall consider the scale of adjacent buildings and the width of the street / public space in order to ensure appropriate proportions and "feel".
4. Weather protection solutions shall be predominantly naturally ventilated.
5. Weather protection should be included as part of the design of the architecture / built form or landscape design.
6. The design of the weather protection shall take into consideration ESD objectives.

7. Pedestrian rights of way, plazas and other public spaces will typically have a variety of weather protection devices, where provided, ranging from minimal protection, fixed or temporary devices (including an array of devices such as awnings, canopies, "floating" roofs or be incorporated into the architecture of the building), and landscaped solutions, thus providing a variety of experiences and conditions.
8. Generally streets with retail, commercial, or community uses at ground level shall provide weather protection along the majority of the façade, especially those areas facing north and west. This protection shall typically take the form of a variety of awning types.
9. Awnings increase the usability and amenity of public footpaths by protecting pedestrians from sun and rain. Awnings encourage pedestrian activity along streets and, in conjunction with active edges such as retail frontages, support and enhance the vitality of the Town Centre. Awnings can be used in conjunction with colonnades. There are to be no wing walls so colonnade is continuous and unimpeded.
10. Street level awnings should be provided to all retail frontages and commercial entries and to main lobbies of residential buildings except where a colonnade is required.
11. In particular, continuous awnings and colonnades are required to be provided along the ground floor street frontage on active street frontages in accordance with **Figure 78**.
12. Awnings should be a minimum height of 2.7m (3.2m desirable) above footpath level, generally consistent in form and to project horizontally from the building façade.
13. The front fascia of the awning is to be setback a minimum of 500mm from the kerb of the street carriageway, including at street corners.



Figure 78: Weather Protection Precedents

7.6 Setbacks

Objectives

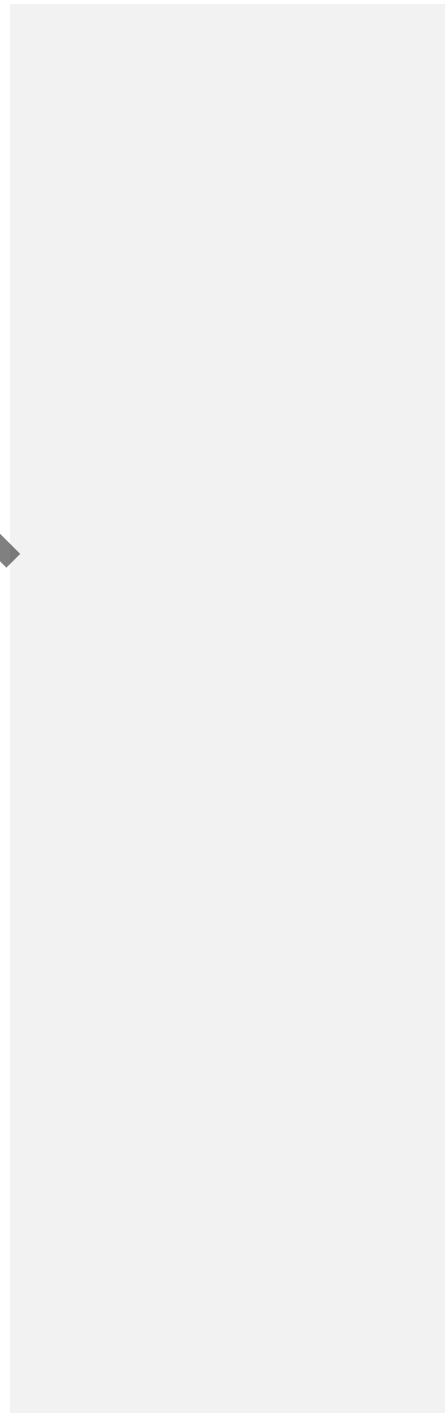
- a. To ensure that building setbacks reflect the desired future character of the Oran Park Town Centre.
- b. To establish the desired vertical and horizontal spatial proportions of the streetscape.
- c. To provide a defined street edge within a Town Centre context.
- d. To encourage passive surveillance of streetscape areas.

Controls

1. Building setbacks are to be provided in accordance with the Setbacks Plan shown in **Figure 79**.
2. The urban character is achieved by adopting "build-to" lines or zero setback conditions to create street walls and by variety in "build-to" conditions for different types of streets. The main building facades are to be built to the block edge with allowances for insets and projections and to create stronger corner edges.
3. Projections beyond the "build-to" lines could include awnings, verandas, balconies, roof overhangs and blade walls.

- 4. Setbacks for residential buildings to be a minimum of three metres to allow for ground level front courtyards or private open space, changes in levels etc. Selected corners to residential sites may be required to "build-to" the street boundary.

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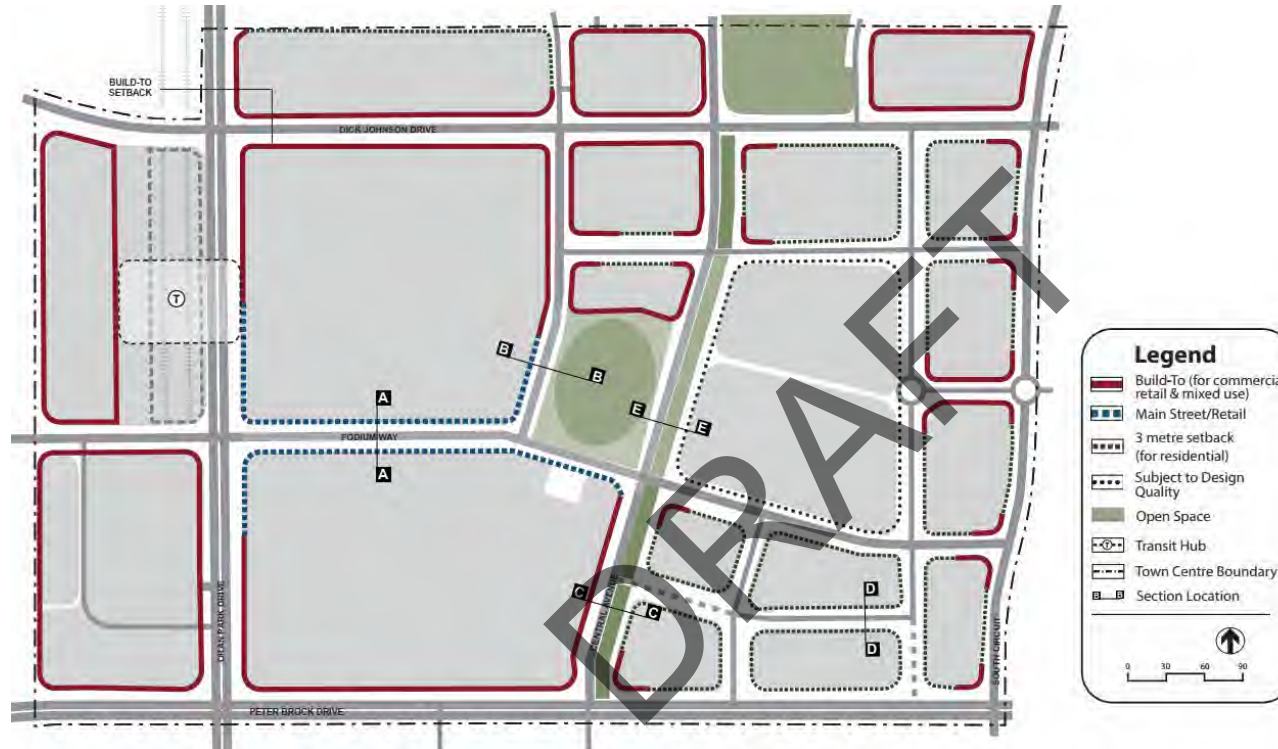


Figure 79: Indicative "Build-To" Lines and Setbacks

7.7 Streetscape Activation

Objectives

- a. To encourage active streets throughout the Town Centre.
- b. To promote safety and security within the Town Centre by maximising activation of street frontages.
- c. To ensure outlook to and surveillance of the street.

Controls

1. Active frontage uses are defined as one of a combination of the following at street level:
 - entrance to retail.
 - shop front.
 - glazed entries to commercial and residential lobbies occupying less than 50% of the street frontage, to a maximum of 12m frontage.
 - café or restaurant if accompanied by an entry from the street.
 - active office uses, such as reception, if visible from the street.
 - public building if accompanied by an entry.
2. Buildings are to maximise areas of street activation through a mixture of ground floor retail / commercial suites and the incorporation of ground floor terrace areas along the street frontage in residential development.
3. Active street fronts, built to the street alignment, are required on the ground level of all retail and commercial development.
4. Large format retail such as supermarkets and parking areas are to be sleeved or hidden by retail and commercial uses.
5. Ground floor residential uses (other than entries to lobbies to residential uses above ground level) are not permitted on the Town Centre Main Street.
6. Restaurants, cafes and the like are to consider providing openable shop fronts.
7. No external security shutters to be permitted.
8. On corner sites, shop fronts are to wrap around the corner.

7.8 Solar Access

Objectives

- a. To maintain appropriate levels of solar access to public and private spaces within the Town Centre.
- b. To ensure that building mass does not impede solar access to public and private spaces within the Town Centre.

Controls

1. Any Development Application for the construction of buildings is required to submit detailed solar access diagrams for between 9am and 3pm mid-winter to demonstrate sufficient solar access is maintained to public and private spaces and streets.
2. Parks and plazas are to receive sunlight on a minimal of 50% of their site area between 11am and 2pm on June 21.
3. Building envelopes are to allow for north-south streets to receive 2 hours of sunlight between 9am-3pm on 21 June on a minimum of 50% of the eastern or western footpaths.
4. Building envelopes are to allow for east-west streets to receive 1 hour of sunlight between 9am-3pm on 21 June on a minimum of 50% of the southern footpaths.

7.9 Signs

Objectives

- a. To ensure that signs and advertising structures are unobtrusive and coordinated in their appearance and design, and complement buildings and the streetscape.
- b. To limit the purposes for which signs may be erected to those that identify businesses and buildings.

Controls

1. Signs are to be designed and located to:
 - be visually interesting and have a high level of design quality,
 - be integrated with the architecture and structure of the building on which they are located,
 - be consistent with the scale of the building or the property on which they are located,
 - consider existing signs on the building, adjoining buildings or elsewhere in the streetscape, and not obscure views of existing signs or the potential for signs to be viewed on adjoining premises,
 - not cover glazed surfaces, and project minimally from the building.
2. Signs are not to be supported from, hung from or placed on other signs.

3. The preferred locations for business or building identification signs are shown on **Figure 80** and include:
 - fascia signs, located on the front or side fascia of an awning,
 - under-awning signs,
 - flush wall mounted signs (e.g. above windows or doors), and
 - projecting wall signs, where there is no awning or the fixture of the sign to the awning is not appropriate due to the style of the awning.
4. Awning fascia signs are not to project within 500mm of the kerb.
5. The minimum clearance from the footpath to the bottom of any sign (apart from flush mounted wall signs) is 2.4 metres.
6. Projecting wall signs and under-awning signs are to be perpendicular to the building façade and horizontal.
7. Above awning signs (signs that are attached to the top of an awning) are not permitted.
8. Flush mounted building identification signs are permitted above the first floor on the building parapet only where they are integrated with the design of the building and where they do not project more than 100mm from the building. The maximum area of the sign face is 3m².
9. The maximum number of signs on each façade of any retail or commercial tenancy is three, and only one sign of each type (fascia, under-awning, projecting wall or flush mounted) is permitted on each façade.
10. Under-awning or projecting wall signs are to be a minimum of 3.5 metres apart.
11. Signs are not to project beyond the dimensions of the structure to which they are affixed or obscure windows or other openings.
12. Free standing signs (signs that are not affixed to a building) are not permitted on active street frontages.
13. Flashing, animated or bright neon signage is not permitted.
14. Any illuminated signage must comply with AS 4282 – Control of the obtrusive effects of outdoor lighting.
15. All buildings are to have clearly displayed and legible street numbering.
16. The location of signs is not to obscure views of traffic signs or traffic signals, or have the potential to cause confusion with traffic signs or signals (e.g. signs that look like traffic signals or stop signs located near a public road).

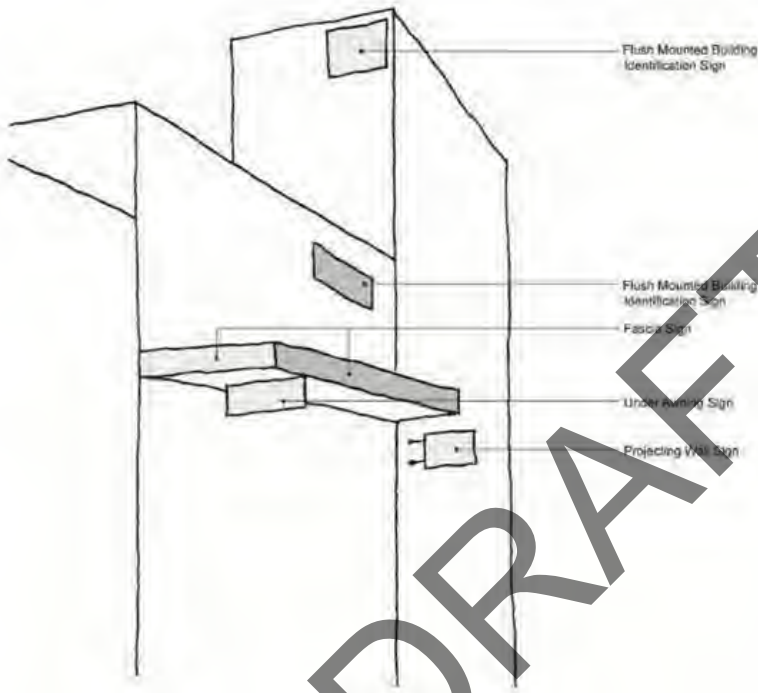
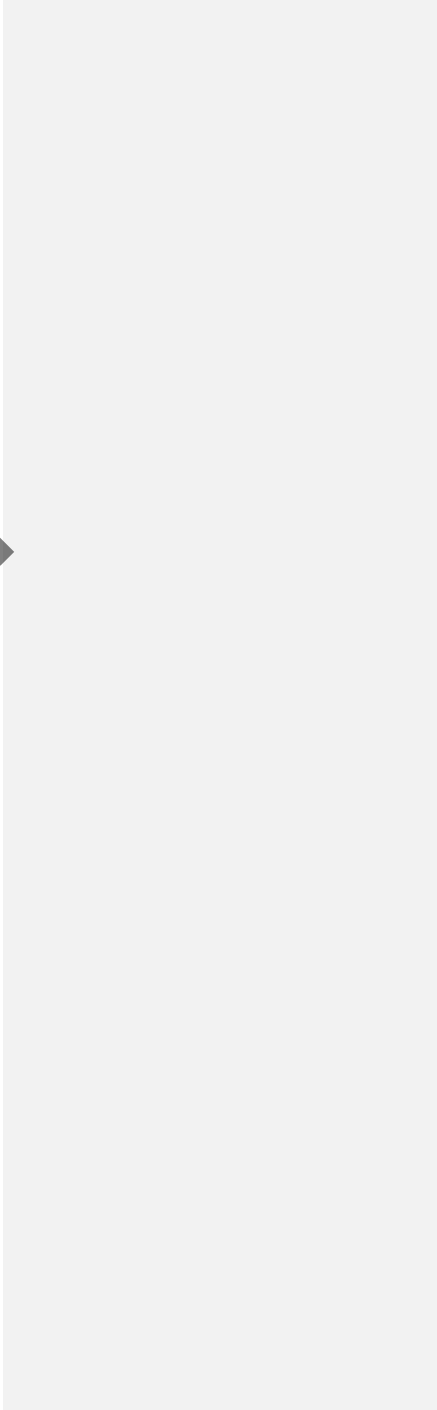


Figure 80: Preferred Locations for Signs (inserted January 2016)

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8.0 Site Access, Parking and Loading

8.1 Vehicle Parking and Storage

Objectives

- a. To ensure an appropriate number of parking spaces are provided within the Town Centre to service the needs of both residents and visitors.
- b. To encourage an appropriate mix of on and off-street parking options within the Town Centre.
- c. To provide integrated vehicle, bicycle and service access points without compromising the streetscape character or pedestrian amenity.

Controls

1. Retail facilities are to provide parking at the rate of one (1) space per 30m². Larger retail uses would be subject to the RTA Guide for Traffic Generating Developments.
2. Car parking dimensions are to be provided in accordance with relevant Australian Standards.
3. On street parking to be provided throughout the Town Centre to contribute to street life and surveillance.
4. Above ground parking is not encouraged without appropriate design measures to mitigate adverse visual impacts.
5. Below ground car parking is encouraged for higher density residential and mixed use blocks as well as Town Centre retail blocks.
6. Where below ground parking is along a street edge and cross ventilation is desirable, any exposed section of car park wall is to be appropriately modelled and scaled.
7. The majority of car parking is to be provided under Town Centre buildings and on street to limit visual impact and maintain pedestrian amenity.
8. Natural ventilation of basement and sub-basement parking areas is encouraged to be provided wherever possible.
9. Service vehicle access points should be consolidated where possible to limit the potential for conflict points.
10. Bicycle racks / storage areas are to be provided in all developments in accordance with the following requirements. Bicycle racks / storage areas should be provided for both residents / employees and site visitors:
 - non-residential development = 1 space per 750m² of gross leasable floor area.
 - residential development = 1 space per 4 apartments.

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8.2 Loading Docks

Objectives

- a. Loading docks are to be developed in accordance with the standards provided in Council's comprehensive DCP.

8.3 Roof Top Car Parking

Objectives

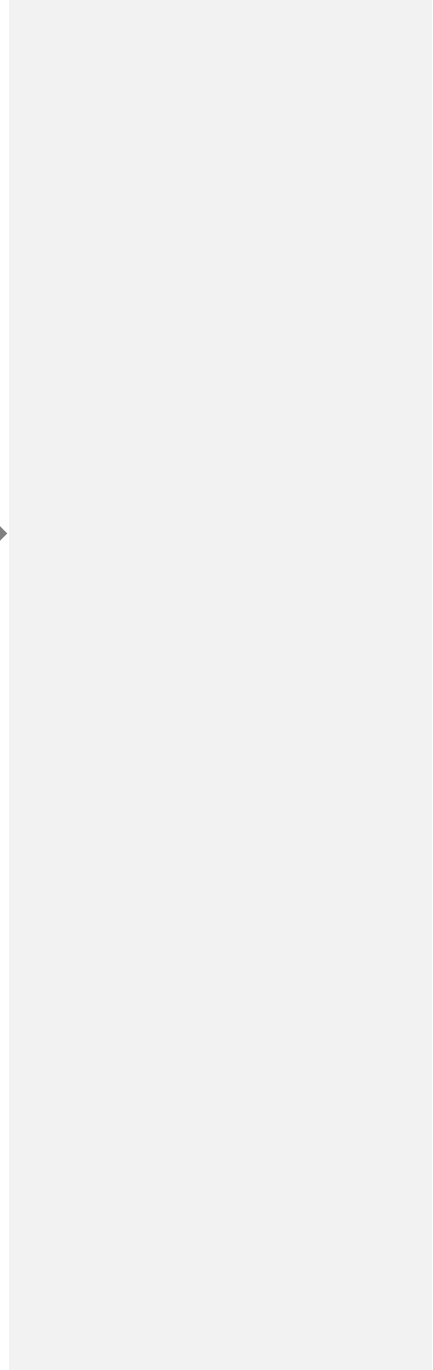
- a. To allow roof top car parking which acknowledges the Town Centre environment.
- b. To allow roof top car parking which services upper level commercial and retail premises within the Town Centre and reduces the need for at-grade parking provision.
- c. To ameliorate the impact of roof top car parking on any adjoining residential development.

Controls

1. Roof top car parking can provide additional parking opportunities within the Town Centre if provided should give direct access to upper level commercial and retail premises.
2. Roof top car parking is to be designated to provide clear delineation between public roof top parking area and adjoining residential apartments or common areas associated with residential apartment buildings. This may be achieved through the provision of landscaping buffers, fencing, built form and structural screening / shade elements.
3. Security access control shall be provided between public roof top parking areas and any adjoining residential apartments or common areas associated with residential apartment buildings.
4. Any Development Application which incorporates roof top car parking shall include the submission of a lighting report and light spill diagrams for the roof top car parking areas.
5. A Plan of Management is required to be prepared for any proposed roof top car parking and submitted with the Development Application. The Plan of Management is to outline the operational management of the parking area, including matters such as:
 - access control,
 - hours of operation,
 - security procedures, and
 - management of noise from the car park.
6. Any Development Application for residential development adjoining areas of roof top car parking shall be accompanied by an acoustic report which addresses the noise impact of parking areas on residential apartments and provides methods for ameliorating noise impacts where required.

- 7. Where possible, residential development that adjoins roof top parking shall be designed to minimise living areas directly facing toward roof top car parking areas.
- 8. Residential apartments which directly adjoin / overlook roof top car parking areas are to incorporate screening to outdoor and balcony areas which allow for views to and from parking areas to be ameliorated.

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B2 - Controls for Land containing a Riparian Protection Area

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1

1.0 Introduction

1.1 Land to which this Part Applies

This Part applies to the land zoned C4 Environmental Living or RE2 Private Recreation that contains a riparian protection area, as shown in **Figure 1**.

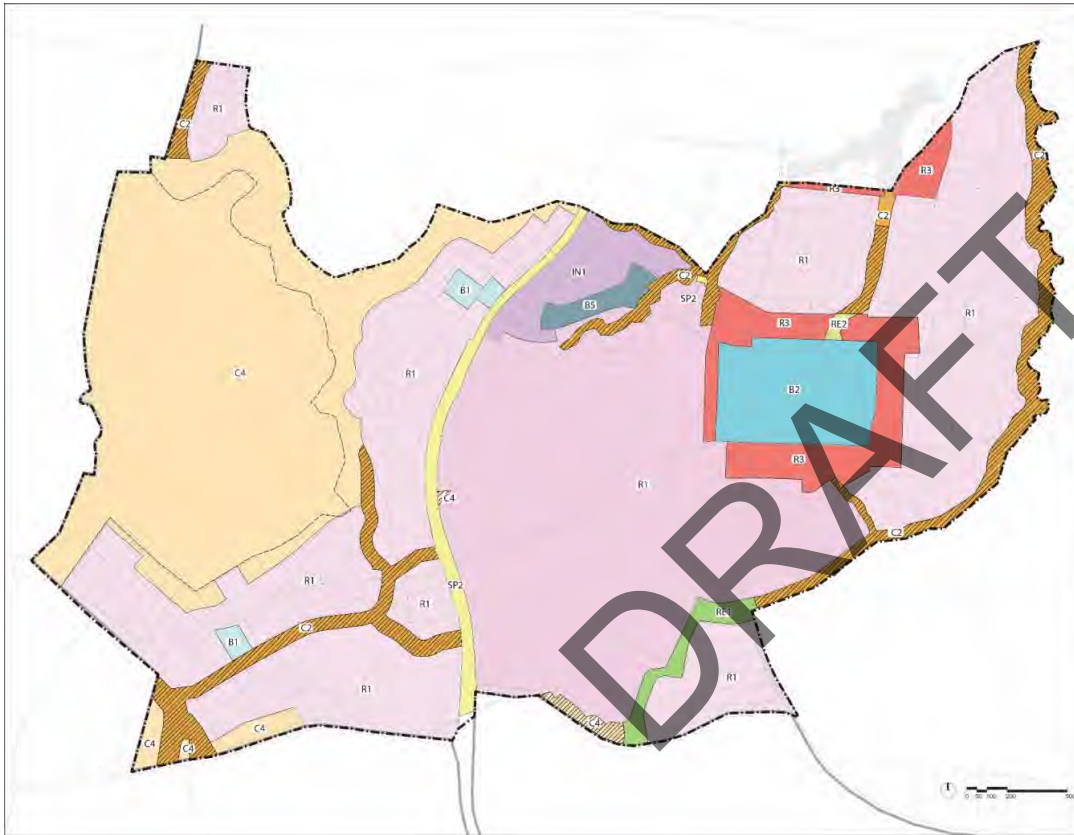
1.2 Purpose of this Part

The purpose of this Part is to set the outcomes and requirements for permissible development on land containing a riparian protection area in the Oran Park Precinct.

1.3 Structure of this Part

This Part is structured as follows:

- Section 1:** provides an introduction to the Part.
- Section 2:** outlines the controls for preferred development
- Section 3:** outlines the controls for alternative development.
- Section 4:** establishes the desired outcomes for riparian protection area.
- Section 5:** outlines the controls for the riparian protection area.
- Section 6:** provides maintenance, monitoring and completion procedures.



- Riparian Protection Areas**
- Riparian Protection Area
 - B1 Neighbourhood Centre
 - B2 Local Centre
 - B3 Business Development
 - C2 Environmental Conservation
 - C4 Environmental Living
 - IN1 General Industrial
 - R1 General Residential
 - R3 Medium Density Residential
 - RE1 Public Recreation
 - RE2 Private Recreation
 - SP2 Infrastructure
 - South West Growth Centre Boundary
 - Precinct boundary

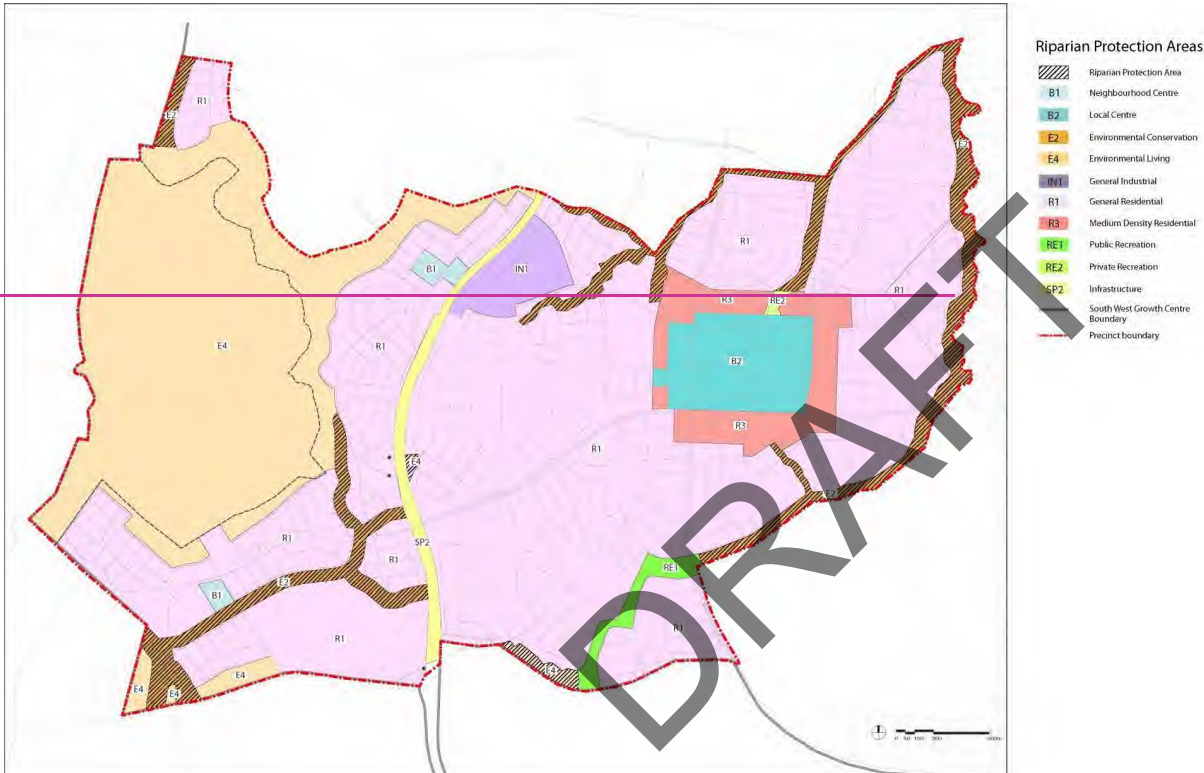


Figure 1: Land Containing a Riparian Protection Area

2.0 Outcomes

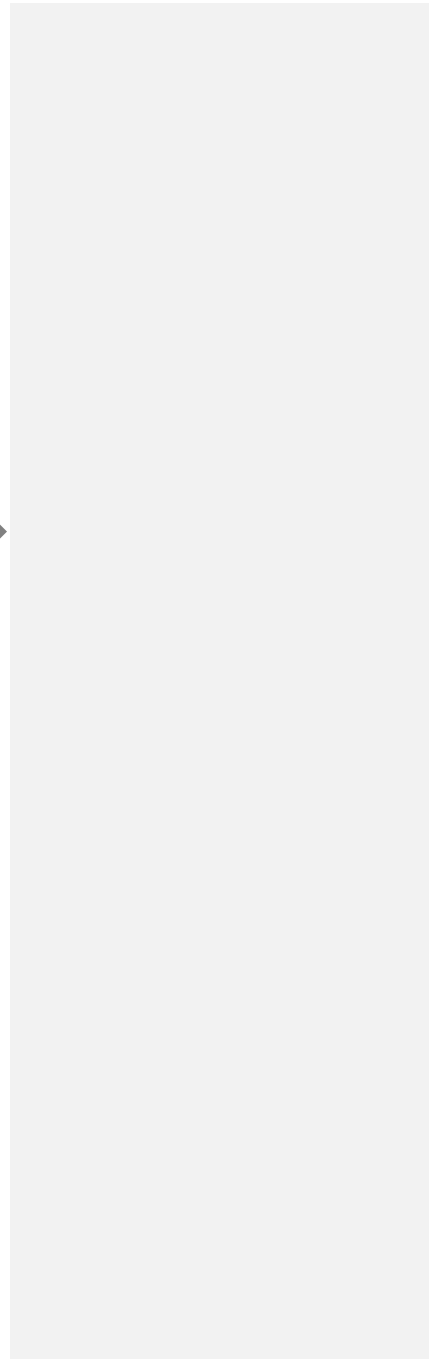
2.1 Outcomes for Category 1 Watercourses

The following outcomes must be achieved for all waterfront land relating to Category 1 watercourses as identified in the Oran Park and Turner Road Waterfront Land Strategy as demonstrated in **Figure 2** below:

- Outcome 1:** To maintain and improve the natural functions of the watercourse and its aquatic and terrestrial qualities and provide a continuous, vegetated riparian corridor for the movement of flora and fauna species.
- Outcome 2:** To maintain and improve the viability of native riparian vegetation.
- Outcome 3:** To provide a continuous, viable Core Riparian Zone (CRZ) which emulates the native vegetation communities in the area to facilitate a stable watercourse, while allowing limited opportunities for vegetated dry basins in a manner that does not reduce the function of the CRZ.
- Outcome 4:** To provide a protecting Vegetated Buffer (VB) either side of the CRZ, to protect the environmental integrity of the CRZ from weed invasion, micro-climate changes, litter, trampling and pollution by emulating the native vegetation communities in the area, while allowing limited passive recreation, open space and water quality treatment that does not reduce the function of the CRZ.
- Outcome 5:** To recognise that the riparian protection areas are located within urban contexts and provide, in addition to their environmental benefits, valuable amenity, character, landscape and open space benefits to the people who live, work and play in the local area.
- Outcome 6:** Any realigned watercourse must meet all of the above outcomes.



Figure 2: Illustration of a Category 1 watercourse that achieves the outcomes of this Strategy
Source: GHID



2.2 Outcomes for Category 2 Watercourses

The following outcomes must be achieved for all waterfront land relating to Category 2 watercourses as identified in the Oran Park and Turner Road Waterfront Land Strategy as demonstrated in Figure 3 below:

- Outcome 1:** To maintain and improve the natural functions of the watercourse and its aquatic and terrestrial qualities and provide a continuous, vegetated riparian corridor for the movement of flora and fauna species.
- Outcome 2:** To maintain and improve the viability of native riparian vegetation.
- Outcome 3:** To provide a continuous, viable CRZ which emulates the native vegetation communities in the area to facilitate a stable watercourse, while allowing limited opportunities for vegetated dry basins in a manner that does not reduce the function of the CRZ.
- Outcome 4:** To provide a protecting VB either side of the CRZ, to protect the environmental integrity of the CRZ from weed invasion, micro-climate changes, litter, trampling and pollution by emulating the native vegetation communities in the area, while allowing limited passive recreation, open space and water quality treatment in a manner that does not reduce the function of the CRZ.
- Outcome 5:** To recognise that the riparian protection areas are located within urban contexts and provide, in addition to their environmental benefits, valuable amenity, character, landscape and open space benefits to the people who live, work and play in the local area.
- Outcome 6:** Any realigned watercourse must meet all of the above outcomes.

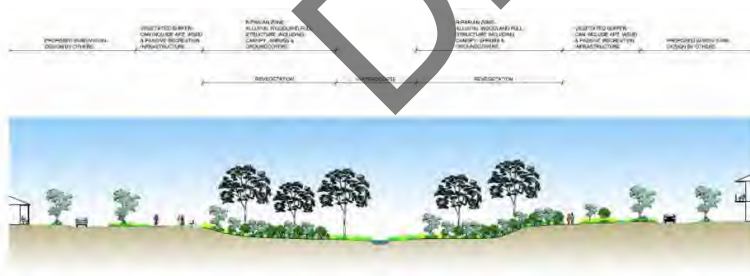


Figure 3: Illustration of a Category 2 watercourse that achieves the outcomes of this Strategy
Source: GHID

2.3 Outcomes for Category 3 Watercourses

The following outcomes must be achieved for all waterfront land relating to Category 3 watercourses as identified in the Oran Park and Turner Road Waterfront Land Strategy as demonstrated in **Figure 4** below:

- Outcome 1:** To retain, maintain and restore where possible the natural functions of the watercourse including bed and bank stability to protect local water quality.
- Outcome 2:** Where the natural functions of a stream are proposed to be retained and restored, a continuous, viable CRZ which emulates the native vegetation communities in the area is to be provided to facilitate a stable watercourse.
- Outcome 3:** Where it is not possible to retain the natural functions of a stream, an engineered solution to the watercourse will be considered subject to the proposed development satisfactorily demonstrating minimal impacts on downstream riparian protection areas.

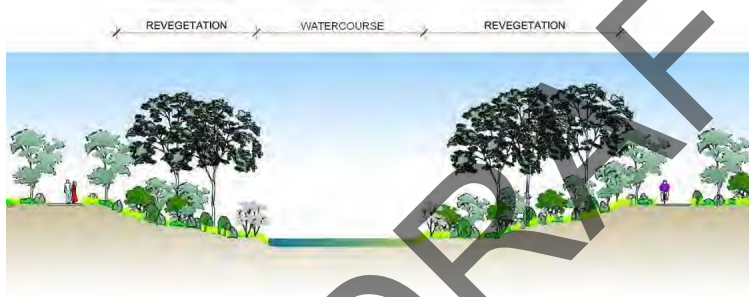
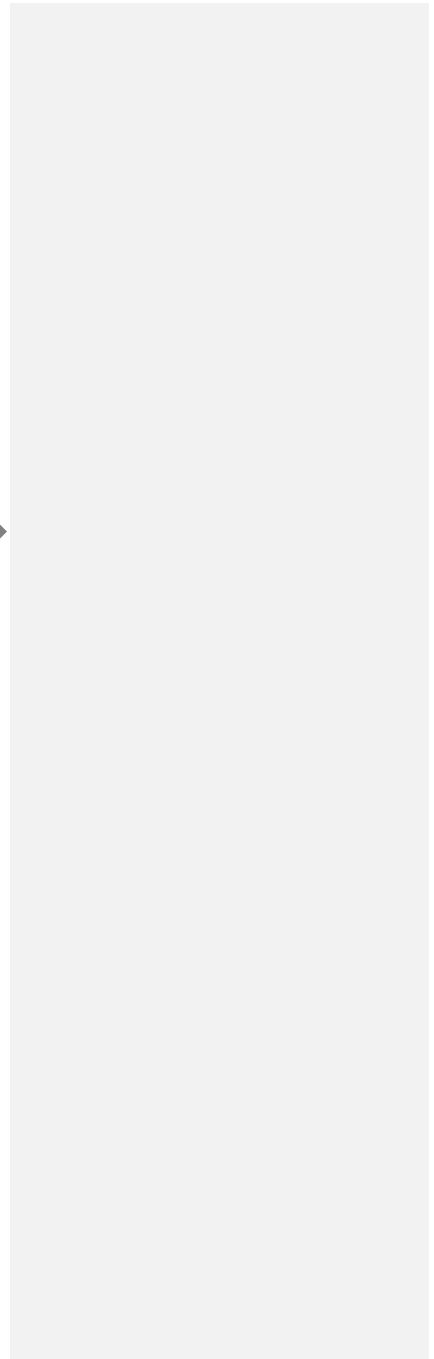


Figure 4: Illustration of a Category 3 watercourse that achieves the outcomes of this Strategy
 Source: GHD



3.0 Controls for Preferred Development

1. This section applies to development on land containing a riparian protection area that is generally consistent with the Indicative Layout Plan in Part A of this DCP. This section applies to the land adjacent to the riparian protection area only. Section 5.0 contains controls for development within the riparian protection area.
2. Development to which this section applies will, in most circumstances, consist of roads or drainage or open space. In some cases, small areas of residential, commercial or industrial land immediately abuts riparian protection areas. Compliance with the relevant sections of Part A of this DCP is required.
3. For those areas where residential, commercial or industrial land immediately abuts a riparian protection area (as shown on the Indicative Layout Plan), development shall be located and designed to achieve a satisfactory interface with the riparian protection area. Consideration must be given to issues such as surveillance of the riparian protection area, built form and design, landscaping, activation of interfaces, where appropriate, and protection from bushfire threat.
4. Council may consider additional areas of residential, commercial or industrial land immediately abutting a riparian protection area as being generally consistent with the Indicative Layout Plan (and therefore being preferred development) where the development is designed to achieve a satisfactory interface with the riparian protection area. The considerations in sub-clause (3) above will apply.
5. Where a proposed development is not generally consistent with the Indicative Layout Plan, Section 4.0 shall apply. Minor variations from the Indicative Layout Plan may be considered to be generally consistent with the Indicative Layout Plan (refer to sections 1.4 and 2.1 of Part A of this DCP).

Note: Where the preferred development takes place and the riparian protection area is secured by way of public ownership or other on-going management regime, such as a S88B restriction on title, the riparian protection area may be rezoned to the E2 Environmental Protection Zone and the remaining land currently zoned C4 or RE2 may be rezoned to be consistent with the adjoining zone.

Note: Where a Plan of Management (pursuant to Division 2 of Part 2 of Chapter 6 of the Local Government Act) is prepared for open space adjacent to a riparian protection area, the Council shall ensure that the Plan of Management has regard to and complements the riparian objectives of the adjoining land. For all other land adjoining riparian protection areas (including road verges), consideration should be given to a landscape strategy that will not detrimentally affect the riparian protection area.

4.0 Controls for Alternative Development

1. This section applies to development on land containing a riparian protection area that is not consistent with the Indicative Layout Plan in Part A of this DCP. This section applies to the land adjacent to the riparian protection area only. Section 5.0 contains controls for development within the riparian protection area.
2. Development to which this section applies must be designed in a manner that ensures the orderly and coordinated development of the land and to achieve a sustainable outcome for the riparian protection area.
3. To reduce fragmentation, new lots in the Riparian Protection Area must include the full width of the riparian protection area within the Precinct. Where the full width of the riparian protection area extends outside of the precinct, the centerline of the watercourse shall form the boundary of the new lots. Fencing will not be permitted on this boundary. See clause (13) in Section 5.0 for more controls relating to fencing in riparian protection areas.
4. Residential development is restricted to single detached dwellings on lots with a minimum area of 1000 m² and minimum frontage (width) of 20 metres.
5. Dwellings are to be located wholly outside the riparian protection area as shown in **Figure 5** below.
6. Non-residential development, including all structures and open space areas proposed on land zoned RE2 are to be principally located outside of the riparian protection area. See clause (3) in Section 5.0 for more controls relating to land uses within the vegetated buffer of the riparian protection area.
7. Where the full width of the riparian corridor is contained within the precinct, a perimeter road including pedestrian and cycle paths shall be provided on the opposite side of the riparian protection area to the developable area of the lot. Where the full width of the riparian protection area extends outside of the precinct, local open space shall be located at intervals of no less than 600m along the riparian corridor to provide opportunities for public access to land adjacent to the riparian protection area. Pedestrian and cycle paths shall be located within these local open space areas and shall connect the local open spaces to each other.
8. Buildings in the developable area of the land containing a riparian protection area must either be setback the required distance from the riparian protection area or be designed and constructed in accordance with the Planning for Bushfire Protection guidelines. See clause (4) in Section 5.0 for more controls relating to asset protection zones within the vegetated buffer of the riparian protection area.
9. Fencing between developable area and riparian protection area is permitted, subject to the fencing being designed to prevent pet or weed invasion into the riparian protection area. Signage shall be placed on the fencing to discourage access into the riparian protection area by people for recreational purposes or other purposes not associated with the maintenance of the riparian protection area.

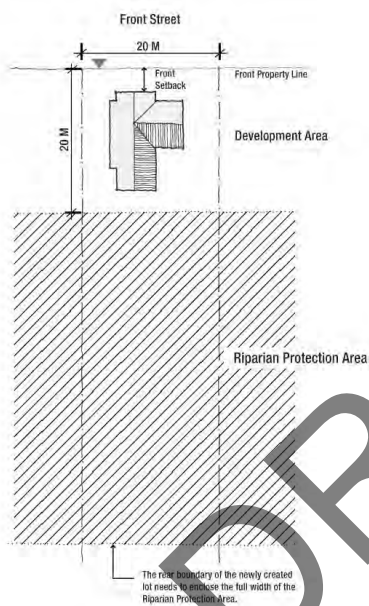


Figure 5: Location of Dwellings in Riparian Protection Areas

5.0 Controls for the Riparian Protection Area

1. Development on land to which this section applies must achieve the outcomes identified in Section 2.0 and comply with the requirements of this Section.
2. The CRZ and the VB are to remain, or become vegetated, with local native vegetation (trees, shrubs and groundcover species). Non-local native vegetation may be considered by Council if it is demonstrated that the proposed planting scheme will not compromise the achievement of the outcomes identified in Section 4.0.
3. Passive recreation use, or open space uses (e.g. walking and cycle paths, seating, interpretive signage) cannot exceed 40% of the area of the VB and must be designed to ensure no reduction in the function of the CRZ.

The maximum 40% area should generally be located along the outer edge of the VB, however where landform or design dictates, the 40% area may meander through the VB. Where the 40% area meanders towards the CRZ it should generally come no closer than 4m to the outer edge of the CRZ, unless the applicant can demonstrate that the outcomes for the riparian protection area will be achieved. Consideration should be given to the location of the watercourse within the CRZ when determining the proximity of the 40% area to the CRZ. The 40% area shall be applied on an individual DA basis and shall not be accumulated across DAs. Consideration should be given to aligning the location of the 40% area with the design of the VB on adjoining land where already developed or where there are approved plans.

4. An Asset Protection Zone (APZ), or any part of an APZ, must not be located within the CRZ. An APZ will only be permitted within the VB where it can be demonstrated that it achieves the functions of the VB, does not result in an increased maintenance burden and where the planting scheme is compatible for both riparian functions and minimising bushfire risk. Consideration may be given to a planting scheme in a VB that has a reduced fire load in certain locations where sensitive land uses, such as schools, retirement villages, etc, are adjacent to the riparian protection area, subject to the planting scheme and ongoing vegetation management measures continuing to achieve the functions of the VB and maintaining a reduced fuel load.
5. Constructed wetlands are not permitted within the CRZ. Constructed detention basins will only be permitted within the CRZ where it can be demonstrated that it achieves the functions of the CRZ, are vegetated dry basins only and designed in compliance with the relevant guidelines.
6. A Vegetation Management Plan (VMP) outlines the criteria for the establishment and management of a riparian protection area and will be required to be prepared and submitted to the Council for assessment and approval prior to the issuing of a construction certificate. The VMP shall be undertaken in accordance with the relevant guidelines.
7. A Works Plan (WP) is to be approved for any development that requires works in a riparian protection area prior to the commencement of works. The WP shall be undertaken in accordance with the relevant guidelines.

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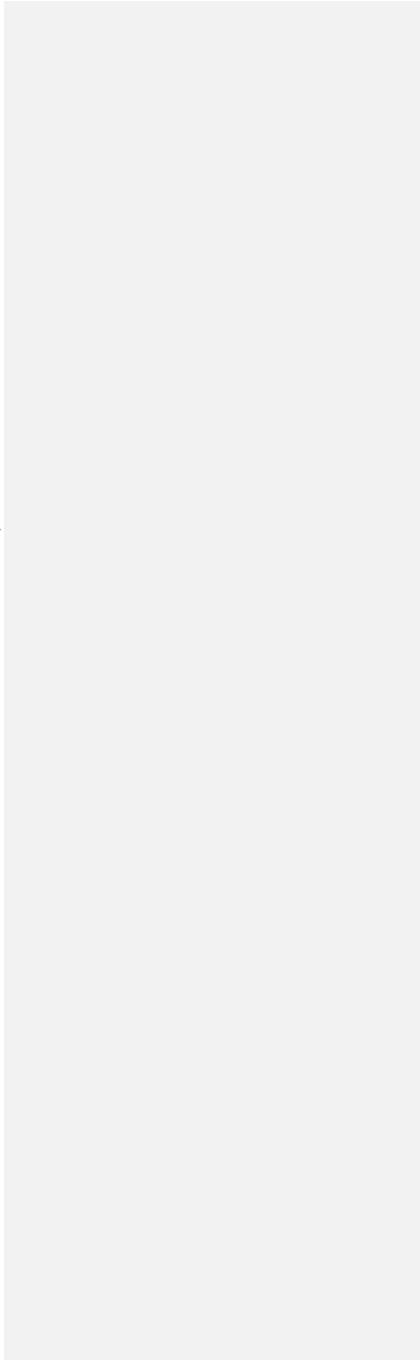
8. The design and construction of watercourse crossings and ancillary works, such as roads, should consider the potential impacts of the crossing structure on the riparian protection area. In order to minimise the effects of structures on the hydrologic, hydraulic and geomorphic functions of a watercourse, crossings should be designed and constructed in order to maintain the integrity of the existing channel as well as being sympathetic with the ecological values of the watercourse and its riparian protection area. Bed level crossings or bridges which fully span the watercourse channel provide the best opportunities for maintaining natural channel functions. However, alternative structures such as box culverts which can achieve the riparian functions will also be considered.
9. The design and construction of stormwater outlets should aim to be 'natural', yet provide a stable transition from a constructed drainage system to a natural flow regime. The design and construction footprint and extent of disturbances within the riparian protection area should be minimised while still achieving the intended discharge function.
10. The design and construction of works and activities within a watercourse should aim to be as 'natural' as possible. A watercourse 'rehabilitation' design philosophy rather than a 'construction' philosophy should be applied. The design and construction footprint, and the extent of disturbances within the riparian protection area should be minimised while achieving the desired function and outcome. In order to minimise the impacts of in-stream works on the hydrologic, hydraulic and geomorphic functions on a watercourse, all works and activities should be designed and constructed to maintain the integrity of the existing channel, as well as being sympathetic with the ecological values of the watercourse and its riparian protection area.
11. When considering the placement of utilities in or across watercourses the design and construction footprint and the extent of disturbances proposed in the watercourse and riparian protection area should be minimised.
12. Any path (including cycleways and accessways) design and construction must be in accordance with the relevant guidelines. In particular:
 - paths should be located beyond the CRZ (except for direct crossings),
 - paths should be located so as to avoid, or minimise, disturbance of any *Endangered Ecological Community* or any threatened species,
 - paths that intrude into an existing vegetated area of a CRZ for a crossing should, where possible, be elevated with a minimum underside clearance of 300mm and with a natural ground surface beneath, and designed to pass light and moisture sufficiently to allow the growth of groundcover vegetation beneath the structure. In areas inundated the elevation needs to also meet any flooding requirements,
 - paths and related structures, that traverse watercourses or riparian protection areas should not adversely affect watercourse and floodplain flows, exacerbate flooding or prevent adequate rainfall and daylight reaching the watercourse and riparian vegetation (e.g. bridges or view platforms that result in extensive periods of shadow), and

- access to watercourse / foreshore edges may be provided occasionally by branch paths. Access and viewing points must be designed so they do not adversely affect any of the bio-physical functions of the CRZ.
13. Fencing within the riparian protection area is to be minimised. Where fencing is required it is to be designed to allow terrestrial and aquatic fauna to pass. Open post and rail style fencing is preferred.

Note: A Controlled Activity Approval is required for all works within the riparian protection area, unless a precinct-wide exemption is granted through the approval of a Waterfront Land Strategy for the precinct.

Note: Nothing in this Part should be taken to indicate that Council will accept transfer of the waterfront land into public ownership at the end of the maintenance period or at any other time. Landowners should investigate a range of alternative regimes for the on-going ownership and management of the waterfront land. Landowners should seek independent legal advice if there is an intention to dedicate the waterfront land to Council. If there is an intention on the part of the landowner to dedicate the waterfront land to Council, the landowner must ensure that the Council is consulted throughout the establishment, maintenance and completion phases.

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6.0 Maintenance, Monitoring and Completion

1. A maintenance period will commence from the date of practical completion of the works.
2. Applicants must undertake a program of monitoring and reporting during the maintenance period that demonstrates how the development on land to which this strategy applies is achieving the requirements of any development consent and the outcomes and requirements of this strategy. Copies of monitoring reports shall be provided to the Principal Certifying Authority (PCA) at least once a year. If the PCA is not the Council, the PCA will make available any such reports to Council and DWE.
3. The PCA will undertake inspections of the waterfront land under maintenance at least once a year and will advise the applicant in writing within 28 days of the date of the inspection whether the outcomes and requirements are or are not being achieved.
4. The maintenance period will end on the date at which the PCA is satisfied that the outcomes stated in Part 4 of this strategy have been achieved, or 5 years from the commencement of the maintenance period, whichever comes first. The maintenance period may extend beyond the 5 year period only where the PCA has informed the applicant that the outcomes and requirements are not being achieved in accordance with (3) above.
5. For the purposes of this section, the PCA will be satisfied that the environmental outcomes have been met where the works have been undertaken and maintained in accordance with the Vegetation Management Plan.
6. At the end of the maintenance period the applicant must provide a final written report to the PCA which demonstrates completion of the development and maintenance period in accordance with the requirements of their development consent and this strategy.
7. Applicants must provide the PCA with a Certification of Maintenance Practical Completion to current recommended practices and consistent with this strategy. The certificate must be prepared by persons suitably experienced and qualified in such certification for all stages.

B3 – Denbigh Transition Area

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1

1.0 Introduction

1.1 Land to which this Part Applies

This Part B applies to the land shown in **Figure 1**.

1.2 The Purpose of this Part

The purpose of this part is to outline the vision for the Denbigh Transition Area and facilitate development sensitive to the curtilage of the Denbigh property as shown in **Figure 1**.

1.3 Relationship to Oran Park Part A DCP 2007

Development in the Denbigh Transition Area should be consistent with the following:

- the provisions of this Part B DCP, and
- the relevant sections and clauses of the Oran Park Part A DCP 2007, including, but not limited to, Clauses 5.4 and 6.4 and Section 7.0. Where an inconsistency exists, provisions within a Part B DCP prevail over Part A.

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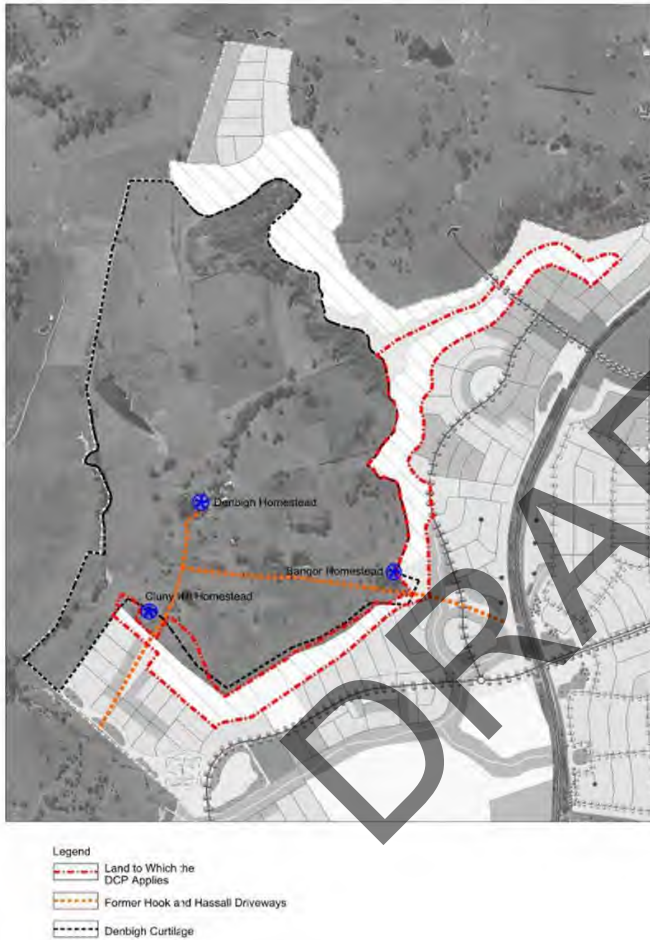
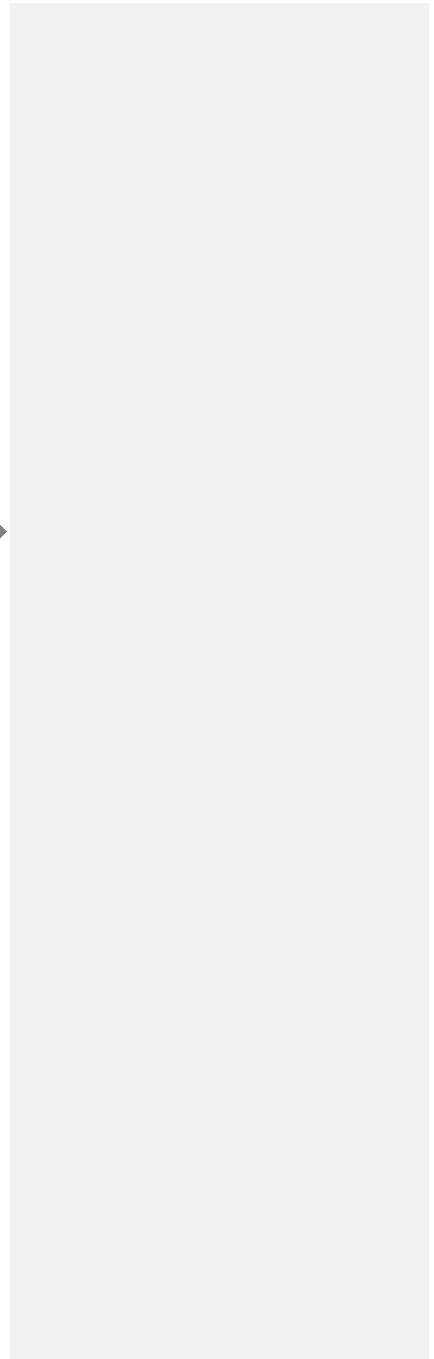


Figure 1: Land to which this Part B Applies



2.0 Vision & Development Objectives

2.1 Vision for the Transition Area

The vision for development within the Denbigh Transition Area is to achieve a site responsive transition between residential development and the existing heritage curtilage of the Denbigh homestead. The Transition Area will be developed in a manner which respects the cultural significance of the homestead curtilage and seeks to retain its rural context and setting.

Residential homes will be of a character which provides a transition between the areas of residential development to the south and the rural context of the Denbigh curtilage.

2.2 Development Objectives

The objectives of this part are to:

1. To respect the heritage curtilage of Denbigh.
2. To obscure the visual impact of development within the Denbigh Transition Area when viewed from the Denbigh homestead and associated rural outbuildings.
3. To retain and respect the rural context and setting of the Denbigh homestead.

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3.0 Denbigh Viewscape Precincts

The existing Denbigh curtilage is separated from the proposed residential development within the Transition Areas of Oran Park Precinct by a natural ridgeline which extends along the northern, eastern and southern boundaries of the heritage curtilage area, generally creating an amphitheatre setting.

The height and boundary relationship of this ridgeline changes along its length, resulting in a number of different visual interface outcomes on the Denbigh homestead and associated rural outbuildings from future development within the Transition Area.

In the preparation of this Part B DCP, detailed cross sectional diagrams were prepared along the length of the ridgeline surrounding the Denbigh homestead to understand the relationship with future development in different parts of the Transition Area.

The preparation of these cross sections identified three viewscape precincts along the length of the ridgeline being the northern, central and southern viewscapes. These are discussed in detail below and shown in **Figure 2**.

3.1 Northern Viewscape Precinct

The Northern Viewscape Precinct is that part of the Transition Area situated along the northern boundary of the Denbigh curtilage. In this area, the ridgeline encompasses steeply sloping land which typically falls within the Denbigh curtilage.

Land within the Transition Area and residential development adjoining the Northern Viewscape Precinct are likely to be developed in association with the future development of the Maryland Precinct to the north.

A more detailed Part B DCP will be prepared for this Northern Viewscape Precinct in conjunction with the precinct planning to be undertaken for the Maryland Precinct, when a more accurate understanding of development outcomes is known.

3.2 Central Viewscape Precinct

The Central Viewscape Precinct is adjacent to the eastern boundary of the Denbigh curtilage. In this area the ridgeline encompasses steeply sloping land which is well within the Denbigh curtilage boundary.

The ridgeline here is significantly higher than the Denbigh homestead and associated rural outbuildings and the immediately adjacent Transition Area land.

The existing ridgeline provides a complete visual buffer for residential development in the Transition Area, up to the maximum building height (as specified in the Height of Buildings Map as

per the State Environmental Planning Policy (Sydney Region Growth Centres) 2006) when viewed from the Denbigh homestead and associated rural outbuildings.

Specific development controls relating to minimisation of visual impact of residential development on the Denbigh homestead and associated rural outbuildings by provision of some screening are not required.

3.3 Southern Viewscape Precinct

The Southern Viewscape Precinct is situated along the southern boundary of the Denbigh curtilage. In this area, the existing ridgeline encompasses more gently sloping land than the Northern and Central Viewscape Precincts, and the ridgeline falls within the Transition Area and the Denbigh curtilage.

The ridgeline location and height within this area do not provide complete screening of residential development within the Transition Area.

To obscure the visual impact of residential development, whilst facilitating suitable development, the topography of the ridgeline may require modification. The provision of an earth mound within the Denbigh curtilage and the Transition area, in conjunction with some site re-grading in the Transition Area and adjacent Residential Area, will provide adequate visual screening along this portion of the ridge line.

Further detail relating to the height and location of an earth mound along the ridgeline are provided in the following sections of this Part B DCP. The provision of this earthmound to screen housing and better define the ridgeline is also referred to as land forming in this document and is considered to be environmental landscape works under Section 5.4 of the Part A DCP.

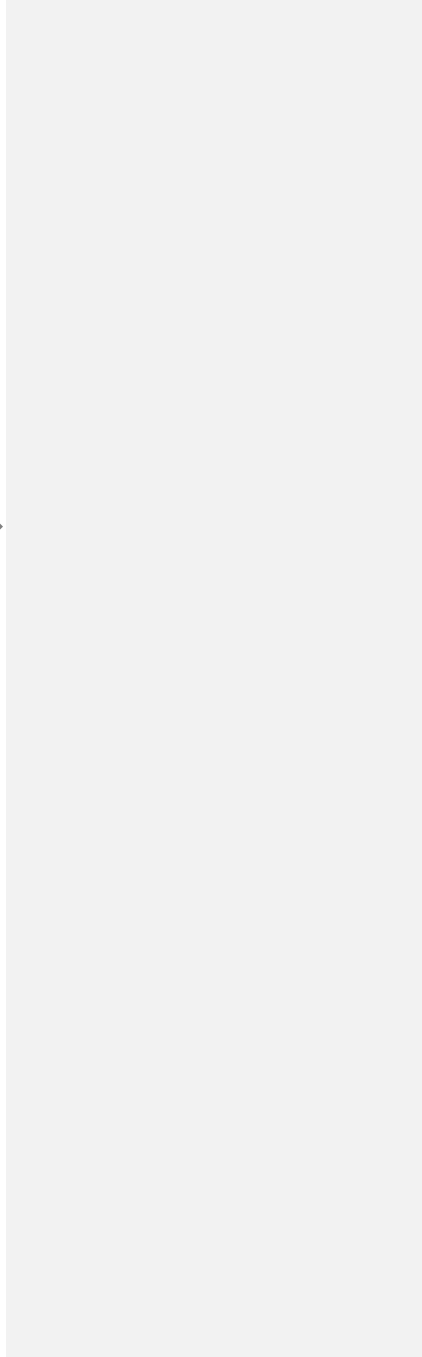
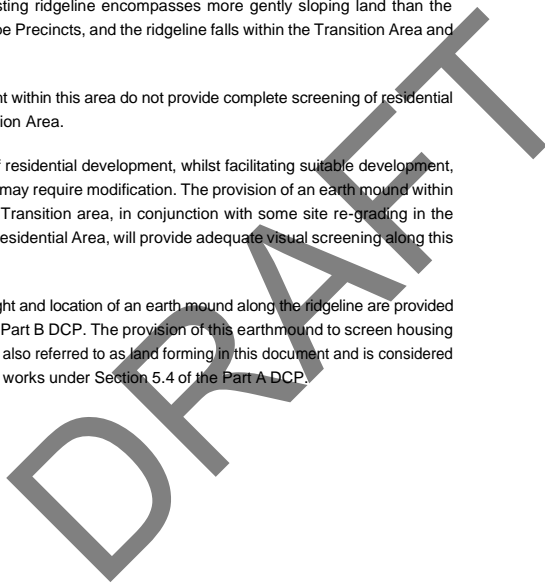
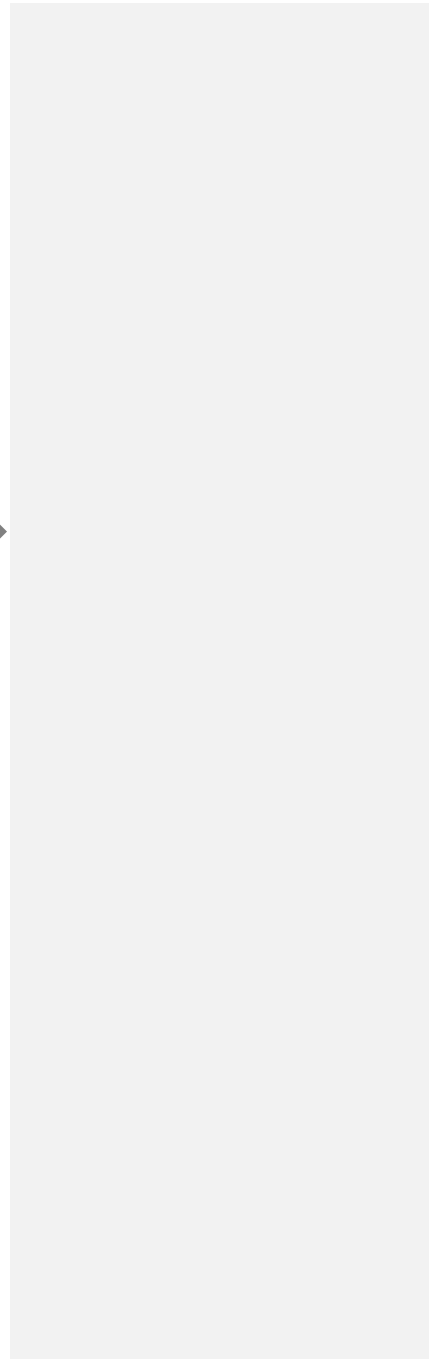




Figure 2: Viewscape Precincts (The Northern Viewscape Precinct is not subject to Part B of this DCP)



4.0 Subdivision Works

4.1 Southern Ridgeline Treatment

Objectives

- a. To allow modification of the landform, either prior to or in conjunction with the subdivision of the land, within the Denbigh curtilage and the Southern Viewscape Precinct to completely obscure the visual impact of development when viewed from the Denbigh homestead.
- b. The modifications to the landform are to respond to and strengthen the existing topography and screen views of residential dwellings from the Denbigh homestead and associated rural buildings.
- c. To provide suitable ridgeline landscaping to enhance the ridgeline.

Controls

1. Residential subdivision is to be in the form of large lots to reflect the rural character of the area.
2. A Development Application incorporating a land forming strategy which provides a landscaped earth mound along the ridgeline is to be prepared either prior to, or in conjunction with, the first Development Application for school buildings or for subdivision to create residential allotments within the Transition Area adjoining the Southern Viewscape Precinct area (Refer to **Figure 3**).

The strategy must include view lines and detailed cross sections from the Denbigh homestead and associated rural outbuildings demonstrating that houses in the Transition Area will not be visible above the top of the mound.

3. Land forming within the Southern Viewscape Precinct may provide for a landscaped earth mound, to obscure the visual impact of development when viewed from the Denbigh homestead. Screening is to be achieved through a combination of earth mounding and cut / retaining walls on the residential side of the ridge line (Refer **Figure 4a** and **Figure 4b**).

Figure 3 identifies the indicative location of earth mounding along the ridgeline.

The maximum slope of the northern batter of the earth mound is to be 1:8 at the foot of the batter and 1:5 at the ridgeline.

The earth mound is to be formed generally in accordance with the cross sections shown in **Figure 4a** and **Figure 4b**.

4. Any development consent for the landscaped earth mound along the ridgeline, referred to in Controls (2) and (3), should include:

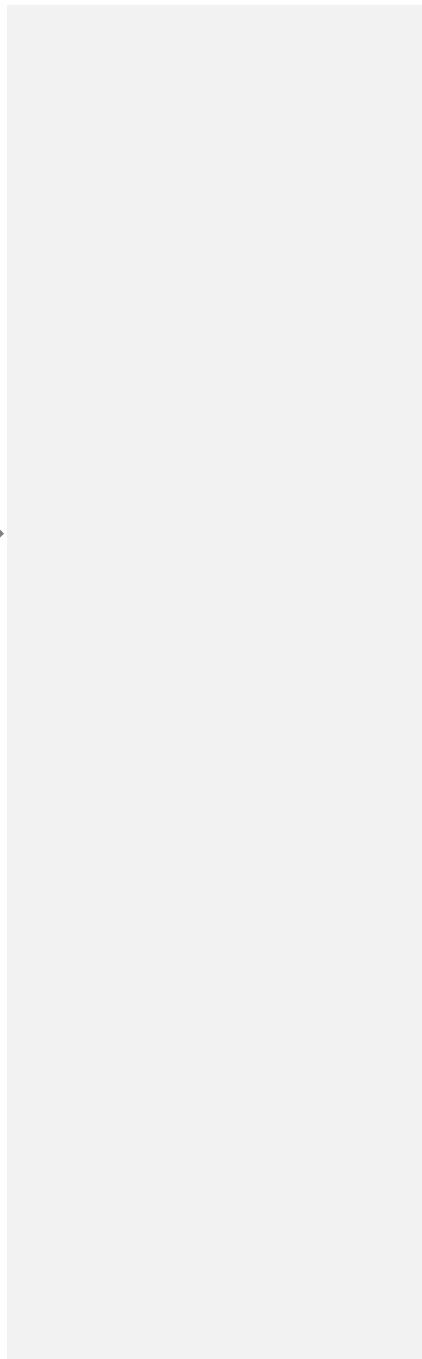
- a. a detailed as-built survey to be undertaken upon completion of the earth mound to confirm that the combination of earth mounding and cut / retaining walls on the residential side of the ridgeline achieves a total minimum screening height of 6.0m,
 - b. the determination, using cross sections of view lines projected from the Denbigh homestead over the top of the completed earth mound, of lots requiring the imposition of a height control to ensure that no part of the building on the lot will be higher than the relevant projected view line,
 - c. the calculation, using the projected view lines, of the maximum height of a building on each and every lot requiring a height control, expressed as a Relative Level (RL) based on Australian Height Datum (AHD), and
 - d. the creation of a 'restriction as to user' in a S.88B instrument on each and every lot which is subject to a height control, specifying as a RL the calculated maximum height of a building on the lot.
5. Any land forming or mounding is not to obstruct the Hook and Hassall driveway alignments.
6. Any Development Application which incorporates the ridgeline earth mound, whether or not including residential allotments in the Transition Area, is to include the following, prepared by suitably qualified and experienced consultants:
- a. a Concept Landscape Plan for the ridgeline mound which demonstrates the intended ridgeline landscaping treatment, utilising a random natural planting of the ridgeline vegetation buffer (refer to **Figure 4a**, **Figure 4b**, **Figure 5a** and **Figure 5b**), and
 - b. a Maintenance Manual which demonstrates the manner in which the Denbigh side of the mound is managed for a two (2) year establishment period, to ensure a consistent visual buffer and rural outlook is achieved when viewed from the Denbigh homestead and associated rural outbuildings.
7. The Concept Landscape Plan in (6)(a) above must propose the revegetation of the ridgeline mound with appropriate species to achieve a natural visual buffer. Details of proposed species to be used must be included in landscaping plans.
- Landscaping of the mound must utilise endemic species and be of an appropriate density and mix of grasses, groundcovers, shrubs and trees to present as a wooded ridgeline screening views from Denbigh and associated rural outbuildings to new houses beyond.
- Planting must be undertaken as part of the earth mound works and completed prior to the occupation erection of any dwellings.
8. The Maintenance Manual in (6)(b) above should include details on stock control, weed removal, replacement of sick or dead plants, and fence repair, as well as appropriate procedures for certification at completion and handover to the Denbigh owners.
9. Landscaping works are to incorporate a timber post and rail open rural style fence with stock / dog-

proof wire netting, minimum height 1.35m and maximum 1.5m, along the property boundary or top of the ridgeline earth mound compatible with existing rural fencing on the Denbigh curtilage. No other fence style is permitted, including solid timber, metal or masonry fencing.

Timber fencing is to be maintained in a natural timber colour and not painted white or similar colour.

- 10. Where possible, areas of significant vegetation along the Denbigh curtilage ridgeline as shown in Section 6.6 Figure 24 of the Oran Park DCP must be retained and enhanced.
- 11. Despite Control 1, land forming may not be required if the development application for subdivision demonstrates that appropriate land forming exists on adjoining land to adequately meet the objectives of this clause. Appropriate cross sections are to be included with the development application to support any argument that land forming is not required on the subject site.
- 12. No sheds, gazebos or other outbuildings or structures are permitted to be constructed on the Denbigh side of the mound.

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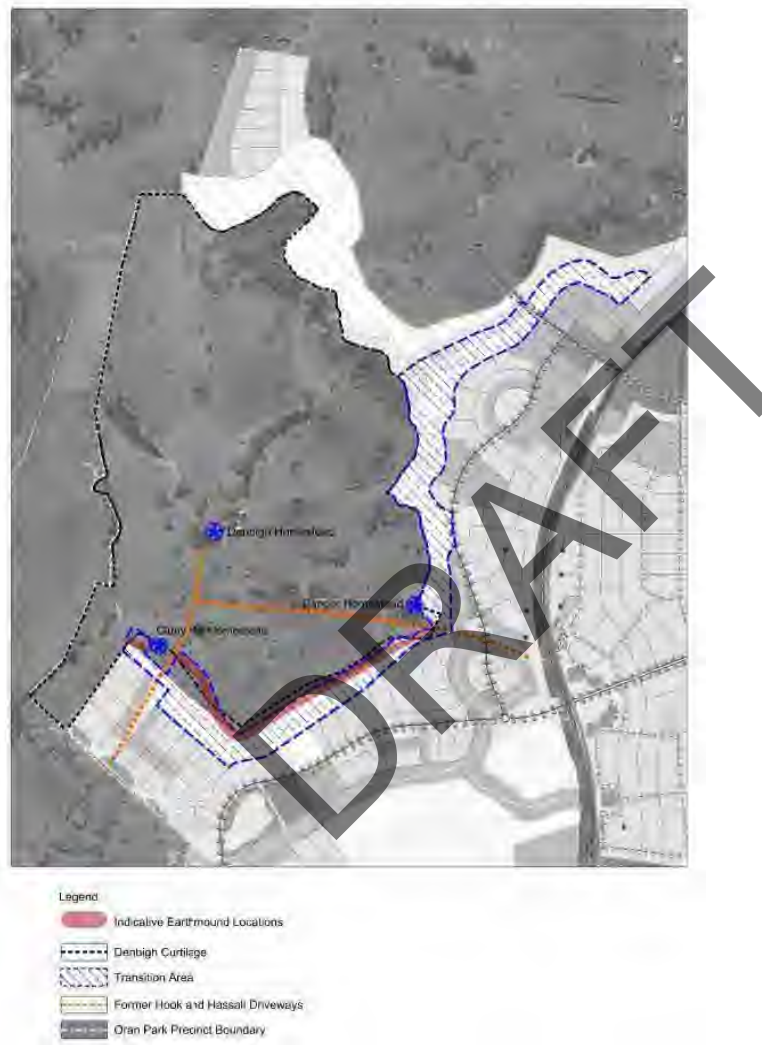
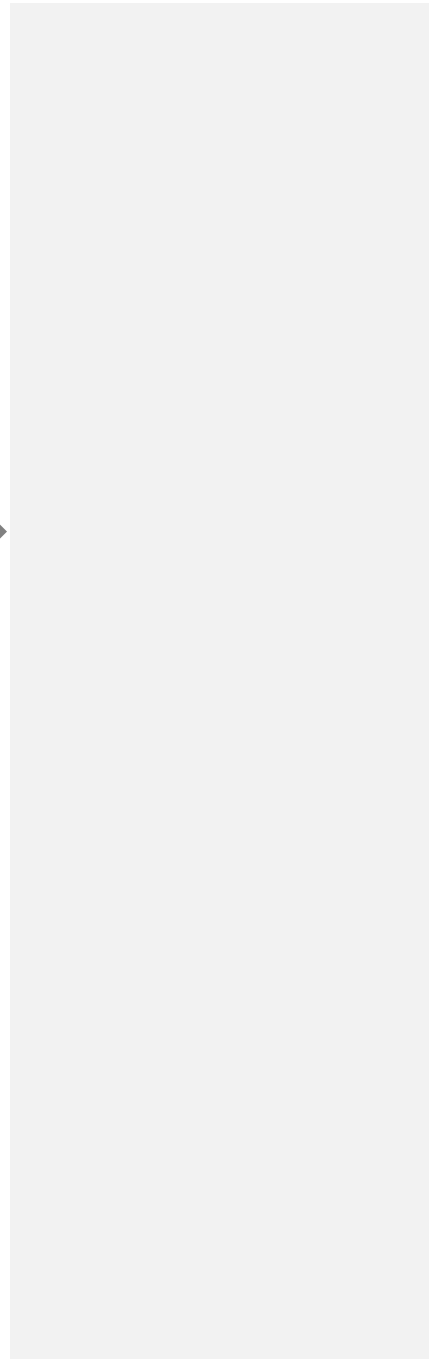


Figure 3: Transition Area and Indicative Earth Mound Location



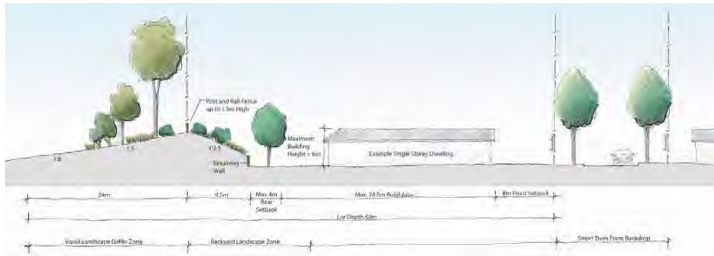


Figure 4a: Indicative Earth Mound Option – Large Lots Backing on to Landscaped Screen Mound



Figure 4b: Indicative Earth Mound Option – Roadway Adjoining Landscaped Screen Mound



Figure 5a: Indicative Earth Mound Elevation (Transparent)



Figure 5b: Indicative Earth Mound Elevation with Landscaping

4.2 Road Design

Objectives

- a. To obscure the visual impact of road design and users on views from the Denbigh homestead and associated rural outbuildings during the day and night.
- b. To allow for the construction of rural style roadways within the Transition Area.

Controls

1. Roadways are to be designed and constructed in a manner which obscures the visual impact of the road and vehicles on views from the Denbigh homestead and associated rural outbuildings.
2. Roadways adjacent to the curtilage boundary are to be constructed a minimum of 1.5m below the maximum RL of the ridgeline relevant to the location of the road (either natural or land forming level, whichever is greater), to reduce the impact of headlights from vehicles when viewed from the Denbigh homestead and associated rural outbuildings.
3. The ridgeline interface road as shown in **Figure 6** is to be designed in accordance with **Figure 7**.
4. Where appropriate, roadways are to be designed to respond to steep topography with road gradings of up to 10% being acceptable.
5. Street lighting is to incorporate hoods or other appropriate design treatment to minimise impacts of ambient light haze as much as possible on views from the Denbigh Homestead and associated rural outbuildings (subject to achieving relevant Australian Standards and confirmation from service authorities).

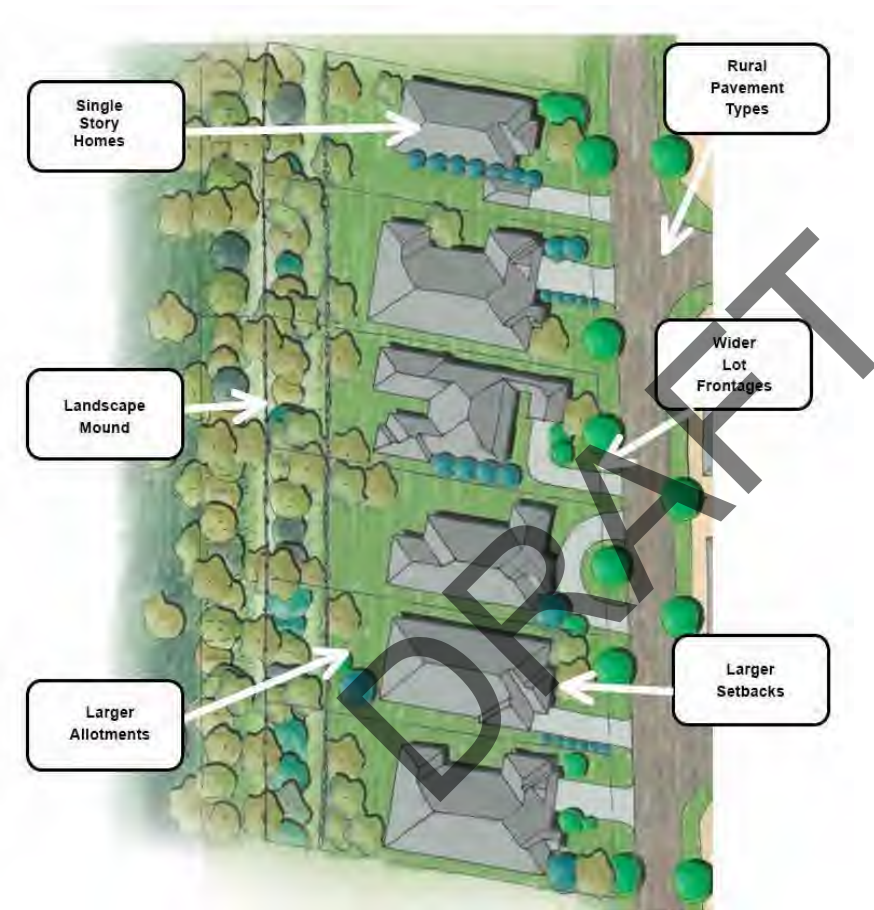


Figure 6: Ridgeline Interface Road Concept Layout

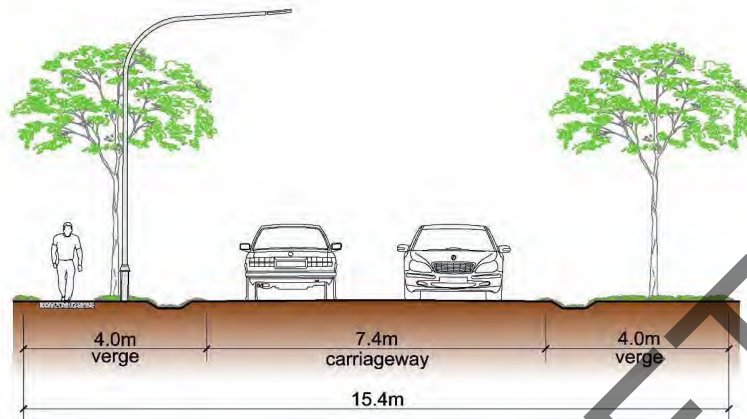


Figure 7: Ridgeline Interface Road Cross Section

4.3 Bushfire Management

Objectives

- a. To prevent loss of life and property from bushfires by ensuring development is compatible with bushfire hazard.
- b. To encourage sound management of bushfire-prone areas.

Controls

- 1. Asset Protection Zones (APZs) are to be provided in accordance with Planning for Bushfire Protection 2006 at the subdivision stage.
- 2. Asset Protection Zones may incorporate:
 - roads, open space and recreation areas subject to appropriate fuel management, and
 - private residential land, but only within building setbacks (no dwellings are to be located within the APZ).

4.4 Retaining Walls

Objectives

- a. To allow for the construction of retaining walls on sloping land at the subdivision works stage of a development.

Controls

1. Retaining walls at the subdivisional works stage of development are permitted to reduce the need for cut and fill at the dwelling construction stage.
2. The maximum height of a single retaining wall is 2 metres.
3. Where a retaining structure greater than 2 metres in height is required, a second retaining wall is permitted providing the retaining wall structure incorporates a step of 1 metre in width.
4. Where a safety hand rail or similar structure is required, this must be no higher than the top of the adjoining ridgeline, and must be constructed to complement the rural character of the Transition Lands.

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5.0 Residential Development

5.1 Building Height Controls

Objectives

- a. To obscure the visual impact of dwellings within the Transition Area when viewed from the Denbigh homestead and associated rural outbuildings.
- b. To allow housing which responds to the setting and context of the transition land through minimising building heights.

Controls

- 1. Dwellings within the Transition Area as shown in **Figure 3**, must be designed to ensure that the roof line of the dwelling does not protrude above the height of the adjoining ridgeline / earth mound as demonstrated in **Figure 5a** and **Figure 5b**.
- 2. Dwellings directly backing on to the ridge line in the Southern Viewscape Precinct must be constructed to maintain the appearance of a single storey dwelling when viewed from the rear of that property as shown in **Figure 4a**.

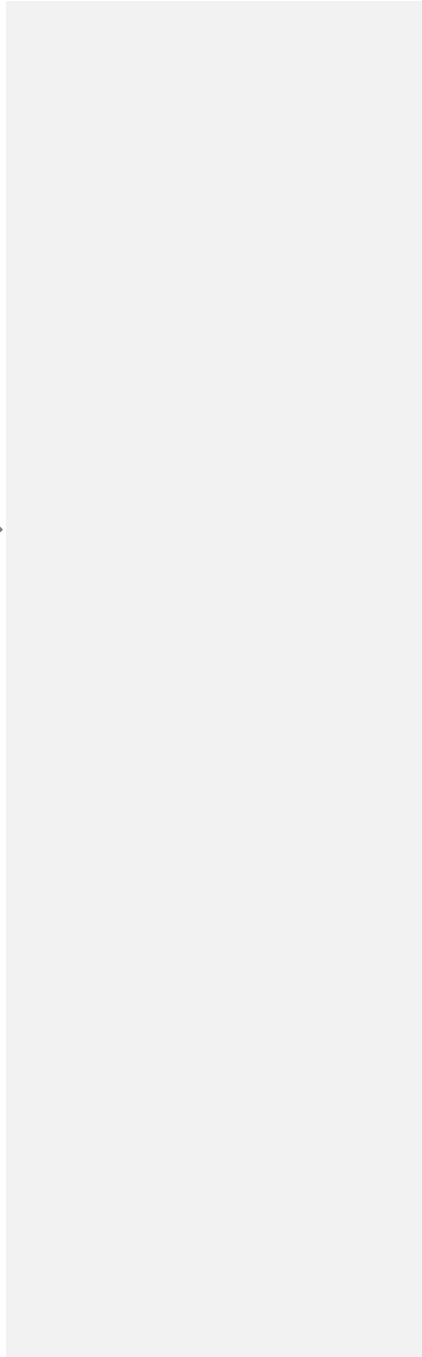
Basement garages will be permitted where it can be demonstrated that the dwelling will achieve a single storey design at the rear building setback.

5.2 Dwelling Design

Objectives

- a. To obscure the visual impact of dwellings along the ridgeline when viewed from the Denbigh homestead and associated rural outbuildings.
- b. To provide a consistent streetscape which reflects the semi-rural / residential nature of the context and setting.
- c. To encourage the use of simple and articulated building forms and reduce the dominance of garages on the streetscape.
- d. To encourage the use of eaves, verandahs, balconies and feature elements on the front facades of dwellings.
- e. To provide adequate space at the front, rear and one side of each dwelling for mature native or exotic trees.

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Controls

1. Dwellings which have a frontage to a ridgeline interface road and which directly back on to the Denbigh curtilage boundary, are to be designed consistent with the dwelling siting controls in **Table 1** below.
2. All other dwellings are to be designed in accordance with the setback controls in Section 7.0 of the Oran Park DCP.
3. Dwellings which have a frontage to the ridgeline interface road are to be constructed utilising materials and finishes which correspond with a rural character, comprising neutral / recessive colours which minimise the visual impact of dwellings within the landscape.
4. The roofs of all dwellings in the Transition Area are to be of materials and colours with neutral / recessive tones consistent with a rural, woodland setting.
5. The 'Articulation zone' consists of architectural elements which address the street frontage. Elements permitted in the articulation zone include the following:
 - entry feature or portico,
 - awnings or other features over windows,
 - eaves and sun shading,
 - balcony or window box treatment to any first floor element,
 - recessing or projecting architectural elements,
 - open verandahs,
 - bay windows or similar features, and
 - verandahs, pergolas or similar features above garage doors.
6. No outbuildings, sheds and other structures or the like that prevent large mature planting, are to be erected within side building setbacks.
7. Solar panels, skylights, rainwater tanks, air conditioning units or other like utility installations are to be avoided along the elevation directly facing Denbigh Homestead and must not protrude above the height of the roof line of the dwelling.

Table 1: Setbacks for Dwellings with Frontage to a Ridgeline Interface Road and directly backing on to the Denbigh Property boundary.

Building Component	Minimum Setback
Articulation Zone	6m to the front property boundary
Building Façade Line	8m to the front property boundary
Side Boundary	3m to one side property boundary
	1m to the other side property boundary
Garage Line	8m to the front property boundary except for side facing front garage
Rear Lot Boundary Retaining Wall Setback	13.5m for up to 50% of the rear lot boundary.
	15.5m for the remaining building area.
Side Facing Front Garage	4m to the front property boundary

5.3 Fencing

Objectives

- a. To ensure boundary fencing is of a high quality and does not detract from the streetscape.
- b. To allow secure fencing of allotments while respecting the rural nature of the Denbigh curtilage.

Controls

- 1. Fencing details must be submitted with the Development Application for the erection of a dwelling.
- 2. Fencing which is visible from the Denbigh homestead and associated rural outbuildings is to be provided as a timber post and rail open rural style fence, which is stock and dog proof, minimum height of 1.35m up to 1.5m maximum high.
- 3. For dwellings adjoining the ridgeline / earth mound, solid side boundary lapped and capped timber fencing with a maximum height of 1.8m is permitted between the front building line and the rear retaining wall, where it is not visible from the Denbigh homestead and associated rural outbuildings.
- 4. Front fencing must be no higher than 1.2m and is to be of an open rural character, preferably timber post and rail. Masonry pillars may also be used with timber or metal infill railings.

5.4 Residential Cut and Fill

Objectives

- a. To allow for appropriate and reasonable levels of cut and fill associated with the construction of residential development.
- b. Encourage dwellings to be sensitively located to ensure minimisation of site works during construction.

Controls

1. The maximum amount of cut and fill on a residential allotment adjoining the Denbigh curtilage ridgeline is generally limited to 2m (excluding basement garages). A variation to the retaining wall heights can be considered with supporting justification.
2. Any cut or fill must be designed and undertaken in a manner which does not impact on the structural integrity of the earthmound.
3. All retaining walls proposed are to be identified in the development application.
4. All retaining walls and footings are to be wholly contained within the allotment.
5. Retaining walls are to be designed and constructed to allow installation of boundary fencing without impact on the structural integrity of the retaining wall and its footings.

6.0 Former Hook and Hassall Driveways

This clause is to be read in conjunction with Clause 6.4 of the Oran Park DCP 2007.

Objectives

- a. To provide for appropriate conservation and interpretation of the Former Hook and Hassall Driveways.
- b. To minimise the visual impact of development on the alignment of the Former Hook and Hassall Driveways.

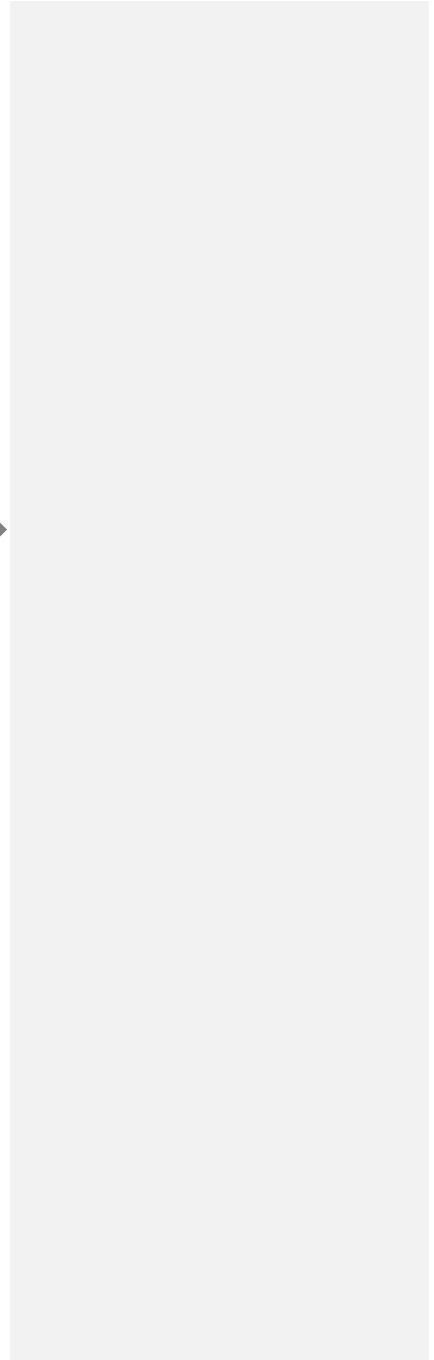
Controls

1. Any development application for subdivision which includes the Former Hook and Hassall Driveways must be accompanied by:
 - I. An assessment of heritage significance with corresponding management measures (such as a Heritage Assessment / Heritage Impact Statement prepared by a suitably qualified and experienced heritage consultant / heritage landscape consultant) in accordance with Clause 6.4 of the Oran Park DCP 2007,
 - II. A Landscape and Visual Analysis identifying the key landscape and visual qualities of the Former Hook and Hassall Driveways alignment and any measures proposed to protect and enhance the qualities of the alignment through appropriate landscape design, species selection, development setbacks or other measures, and
 - III. A detailed Landscape Plan, prepared by a suitably qualified and experienced heritage consultant / heritage landscape consultant, for the Former Hook and Hassall Driveway corridor indicating proposed species, planting densities and maturity of stock.
2. Residential development adjoining the alignment of the Former Hook and Hassall Driveway must be appropriately setback in accordance with the recommendations of the reports referred to in Control 1 above.
3. The Former Hook and Hassall Driveway must be landscaped with appropriate species to preserve and enhance its heritage qualities, in accordance with the Conservation Management Plan for Denbigh and the Heritage Curtilage Study by Design 5 Architects, and the assessment of heritage significance and landscape and visual analysis required under this Clause.

7.0 Archaeological Protection and Assessment

Refer to Section 6.4 (Aboriginal and European Heritage) of Part A of the Oran Park DCP 2007.

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B4 – Northern Neighbourhood Centre

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1

1.0 Introduction

1.1 Land to which this Part Applies

This Part B DCP applies to the Northern Neighbourhood Centre land, as shown on Figure 1¹.



Figure 1: Land to which this part applies.

¹ The Northern Neighbourhood Centre land on Figure 1 has been amended marginally from that shown on the Indicative Layout Plan in Part A of this DCP.

1.2 The Purpose of this Part

The purpose of this part is to outline the vision for, and facilitate development of, the Northern Neighbourhood Centre.

1.3 Relationships to Oran Park Part A DCP 2007

Development in the Northern Neighbourhood Centre should be consistent with the following:

- the provisions of this Part B DCP; and
- the relevant sections and clauses of the Oran Park Part A DCP 2007, including but not limited to Clause 5.2. Where an inconsistency exists, provisions within a Part B DCP prevail over Part A.

1.4 Structure of this Part

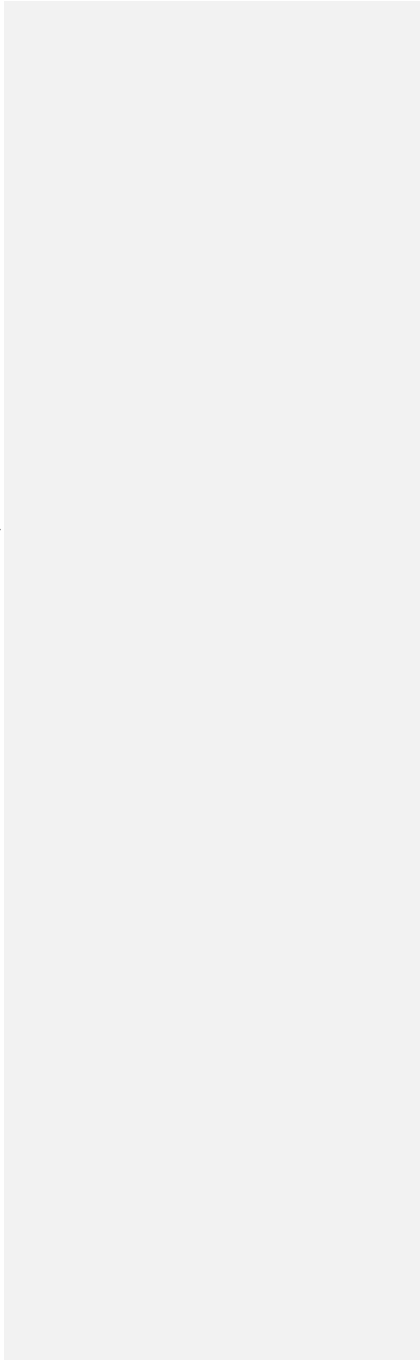
This Part is structured as follows:

Section 1: sets out the administrative provisions of this Part.

Section 2: outlines the vision for the Northern Neighbourhood Centre.

Section 3: outlines the key controls and principles for the Northern Neighbourhood Centre.

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2.0 Vision and Development Objectives

2.1 Vision for the Northern Neighbourhood Centre

The vision for the Northern Neighbourhood Centre is to create a small scale, high quality commercial precinct to service the needs of both the local community and the nearby industrial land users, as well as the regional community utilising the arterial road network.

The Centre is located adjacent to the key intersection of The Northern Road and East-West Road 1. The Centre will be anchored around this vibrant intersection and offer an attractive, inviting and high-quality public domain that addresses both of these key roads, as well as the adjacent residential areas and open space.

The southern precinct of the Centre, to the south of East-West Road 1, will accommodate the Centre's main commercial and retail land uses servicing the local community. This will include a mix of neighbourhood scale activities, such as a small-format supermarket, specialty shops, restaurants/cafes, gym, newsagent, tavern, real estate offices and commercial offices. The precinct will also include a small park/plaza that is integrated with the commercial land uses.

The northern precinct of the Centre, to the north of East-West Road 1, will accommodate additional commercial and other land uses that are compatible with the planned residential land uses in the area. This may include shop top housing and a residential care facility. This area may also accommodate food and drink premises accessed from The Northern Road.

The built form and public domain of the Centre will be contemporary in architecture and design, with a focus on high quality public domain outcomes.

The Neighbourhood Centre will achieve a high level of interaction and connectivity with the surrounding key open space, pedestrian, cycle and transport linkages, creating a Centre which is highly accessible for all the community.

3.0 Neighbourhood Centre Design

3.1 Indicative Structure Plan

The Northern Neighbourhood Centre Indicative Structure Plan is shown on **Figure 2**, and has been prepared to guide future development of the Centre site. The Structure Plan demonstrates an integration of land uses promoting a vibrant Centre which maximises retail and social opportunities for both the residents of Cobbitty, Oran Park and the wider community.

The Indicative Structure Plan demonstrates that the Centre will provide a visible built form streetscape presence, and incorporate a range of active focal points and experiences across the site.

The Indicative Structure Plan incorporates an integrated pedestrian, cycle and public transport network, with linkages to the broader network promoting a high level of pedestrian permeability.

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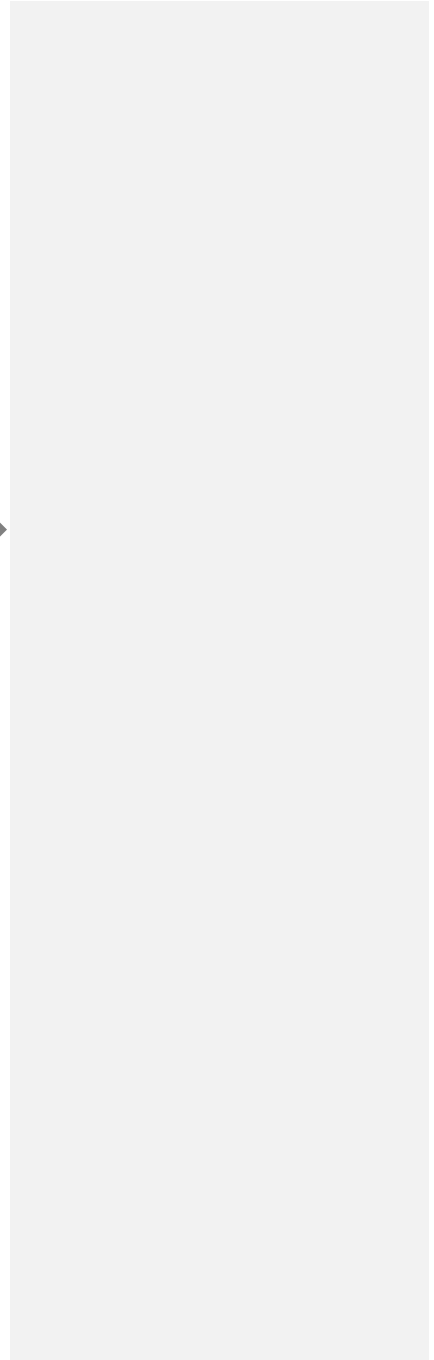




Figure 2: Indicative Structure Plan

3.2 Northern Neighbourhood Centre Image Gallery

The images below illustrate an indicative vision for the built form, retail and landscape outcomes for the Neighbourhood Centre.



3.3 Land Use Principles

The Northern Neighbourhood Centre will incorporate flexibility to allow a range of land uses over time. The design of the Neighbourhood Centre is to be undertaken in a manner which is consistent with the following land use principles:

- Achieve a maximum aggregate of 5,000m² of Gross Lettable Area – Retail (GLAR) for retail premises, with no individual retail premises (other than landscape supplies) having a GLAR greater than 1,500m². GLAR means the total area of a tenancy by the Property

Council of Australia's 'Method of Measurement' definition.

- Land uses may incorporate a range of retail, commercial, restaurants/cafes, service station, take away/fast food and community uses to serve the needs of the community. Land uses incorporating residential components (such as shop top housing and residential care facilities) are encouraged in the northern precinct.
- The Northern Neighbourhood Centre will act as a central focus for the community and is to be supported by higher residential densities in close proximity to the centre.
- Deliver and encourage employment-generating development and retail areas to serve the needs of the population.
- Co-locate uses and facilities where possible to maximise the efficient use of space and car parking operation.
- The Northern Neighbourhood Centre layout will be designed to respond to planned surrounding land uses including higher density residential, schools and open space linkages.
- The Northern Neighbourhood Centre will be designed to maximise exposure to the street and incorporate vibrant and active shopfronts with safe and efficient access.

3.4 Building Form and Articulation

Objectives

- 1) To achieve quality architectural design that is contemporary and vibrant.
- 2) To achieve architectural design that incorporates distinctive elements which help to reinforce the identity of Cobbitty and recognises the Neighbourhood Centre as a key marker and service destination.
- 3) Architecture which reflects the aspirations of the community and identifies the Neighbourhood Centre as the heart of the community.
- 4) To provide a clear distinction between private and public spaces, and to encourage casual surveillance of the street.
- 5) To create an attractive and cohesive streetscape through the use of simple articulated building and roof forms.

Controls

- 1) Building form is to be generally consistent with the layout and principles demonstrated on the Indicative Structure Plan shown on **Figure 2**.
- 2) Individual retail premises (other than landscape supplies) should have a GLAR of no more than 1,500m².
- 3) Buildings located within the Neighbourhood Centre should provide a range of heights up to a maximum of 4 storeys.
- 4) Commercial buildings fronting streets may be built to the property boundary to facilitate active street frontages.
 - a. Active frontage uses are defined as one or a combination of the following:
 - i. entrance to retail;
 - ii. shop front;
 - iii. glazed entries to commercial and residential lobbies occupying less than 50% of the street frontage, to a maximum of 12m frontage;
 - iv. café or restaurant if accompanied by an entry from the street;

- v. active office uses, such as reception, if visible from the street; or
 - vi. public building if accompanied by an entry.
 - b. Active frontages are to be located at the ground level of all buildings located in those areas shown on **Figure 3**.
 - c. Active frontage are to be at the same level and directly accessible from the adjoining footpath or access points.
 - d. No solid security shutters are permitted to retail frontages.
- 5) Buildings must demonstrate articulation in the built form and incorporate a variety of colours and materials which provide visual interest and articulate key areas of buildings. The external finishes must be:
- a. Made from durable high quality, low maintenance and non-reflective materials;
 - b. Compatible with the overall design and form of the development; and
 - c. Considered in association with proposed plantings and landscape treatment.
- 6) Building facades that front key roads (i.e. Olive Hill Drive) which do not have active frontages (i.e. northern section of Neighbourhood Centre) must be designed to minimise the visibility and extent of large wall surfaces and respond to proposed finished ground levels.
- 7) Shop-top housing developments must be setback from street frontages by at least 2 metres at upper levels. The setback may be used for balconies or terraces.
- 8) Buildings shall be designed to clearly identify pedestrian movement and entry ways to the Neighbourhood Centre buildings and to adjacent land uses.
- 9) Building form should assist in creating a 'sense of place' and contemporary character for the precinct through a high-quality built form.
- 10) Buildings fronting residential areas are to be designed to minimise impacts on residential land uses in terms of noise, traffic and circulation, emissions, and bulk and scale.
- 11) Uses that activate frontages such as restaurants, cafes and the like are to consider providing openable shopfronts.
- 12) Buildings are to be designed in an energy efficient manner, consistent with the Building Code of Australia.
- 13) Waste storage areas are to be designed to minimise visual and acoustic impacts.

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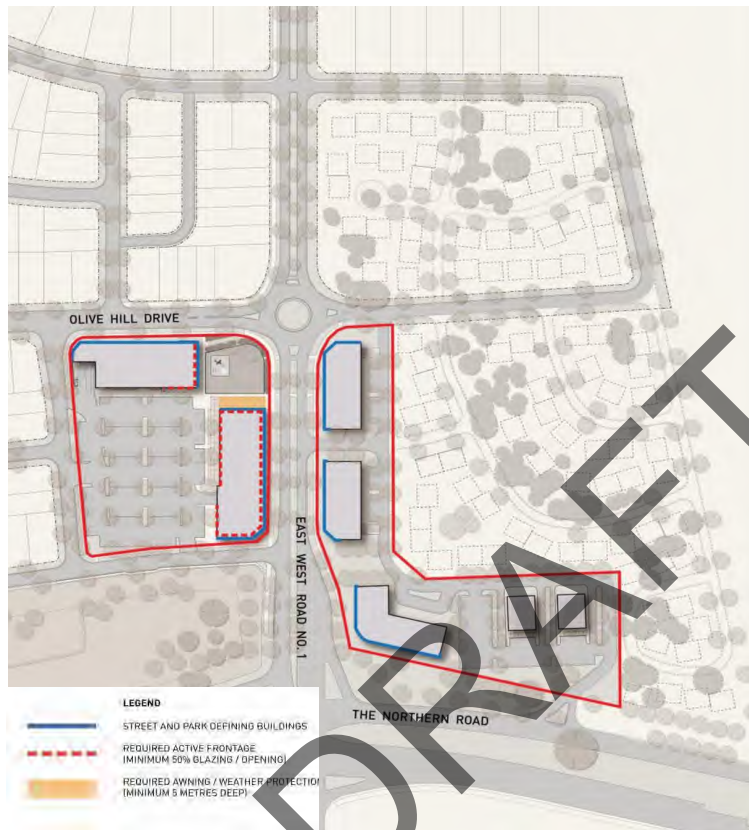


Figure 3: Built Form

3.5 Public Domain

Objectives

- 1) To deliver public domain areas which are enjoyable, amenable, of high quality and reflect the role of the Neighbourhood Centre within the community.
- 2) To ensure that public domain areas are designed in a manner which provide a seamless transition between public and private spaces.
- 3) To provide a common public domain palette within and surrounding the Neighbourhood Centre.
- 4) To provide a high level of connectivity with surrounding open space areas and transport network.

Controls

- 1) High quality materials and finishes are to be utilised in the public realm / landscaped areas.
- 2) Development and landscaping should be designed to minimise visual impacts and provide for efficient access and linkages across the Neighbourhood Centre (see **Figure 4**). Landscaping should be used to soften the visual impact of car parking and streetscape areas.

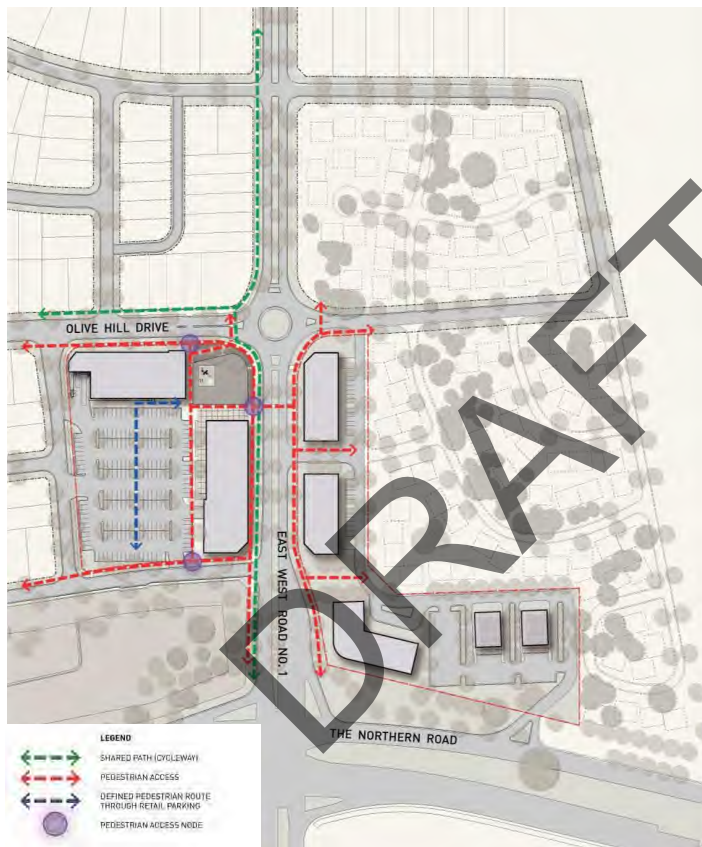


Figure 4: Activity Nodes and Linkages

- 3) Shading and/or weather protection is to be provided where appropriate, particularly fronting the small park/plaza in the southern precinct (see **Figure 5**) and main pedestrian access areas to the commercial buildings.
- 4) A landscape and street furniture palette that is consistent with Council's Tree Management Policy is to be submitted with the first Development Application lodged for the construction of buildings on site.

- 5) The small park/plaza on the corner of East-West Road 1 and Olive Hill Drive (refer concept and cross-sections in **Figure 5**) is to include a key structural element (i.e. play space, public artwork piece, etc) which identifies the site as a central meeting point and becomes a way-finding element. Details of the way-finding element are to be submitted with the first Development Application lodged for the construction of buildings on site.
- 6) Buildings with frontage to the surrounding open space network (see Figure 20 of Part A of the DCP) are to incorporate design elements which minimise the visual impact of the built form and create an attractive visual presentation and provide for passive surveillance of, and pedestrian access to, the adjoining open space.
- 7) All signage and advertising is to be designed in a co-ordinated manner. A signage strategy is to be submitted with the first Development Application lodged for the construction of buildings on site.
- 8) Public realm areas shall be designed in consideration of Camden Council's Safer by Design Policy.

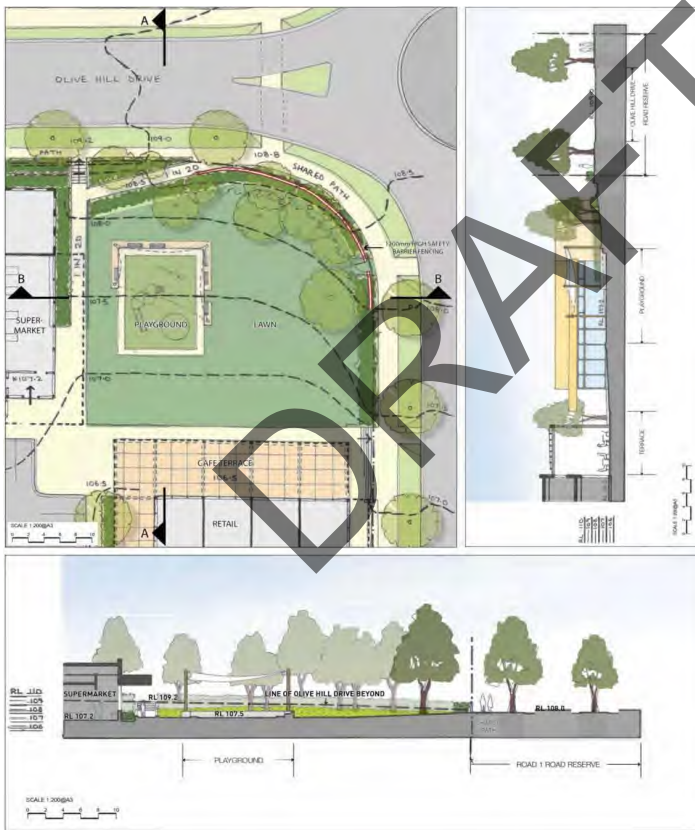


Figure 5: Park concept and sections.

3.2 Access

Objectives

- 1) To achieve clear and legible access for all users of the Neighbourhood Centre.
- 2) To ensure that the provision of parking areas is consistent with the Camden DCP 2011 (as may be updated or replaced from time to time) whilst capitalising on shared parking opportunities.
- 3) To provide parking areas which recognise the importance of pedestrian safety and enforce low traffic speeds.
- 4) Ensure that opportunities for safe and efficient public transport are incorporated into the Neighbourhood Centre.
- 5) To provide appropriately located car parking areas and on street car parking opportunities.

Controls

- 1) Access linkages as illustrated in **Figures 4 and 6** shall incorporate structural elements which identify the Neighbourhood Centre edge and provide for way-finding through the site and to/from the surrounding precinct through the pedestrian and cycleway network (see Figure 18 of Part A).
- 2) Where appropriate, walking and cycling leading to/from and within the Neighbourhood Centre are to have priority over traffic circulation.
- 3) Parking must be provided in accordance with Camden DCP 2011 (as may be updated or replaced from time to time) and designed in accordance with Australian Standards 2890.1 and 2890.6.
- 4) Opportunities for shared parking provision may be incorporated in the design of the centre, which recognise the variety of land uses, peak parking demands and other modes of transport.
- 5) Bicycle parking facilities are to be provided at appropriate locations in the Neighbourhood Centre.
- 6) Where appropriate, surrounding streets shall be designed to contribute to street activation and surveillance, consistent with the Indicative Structure Plan.
- 7) The Neighbourhood Centre is to incorporate an appropriate number of loading docks to service the development. Loading docks should be appropriately located and/or screened to minimise impacts on sensitive receivers.
- 8) All loading, circulation and access areas must comply with Australian Standard 2890.1.
- 9) Final bus stop locations and design for local routes are to be determined by Transport for NSW. Design of the Neighbourhood Centre shall provide appropriate access linkages to the bus stop(s).



Figure 6: Indicative vehicle access and movement

B5 – Controls for the Oran Park Employment Area

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1.0 Introduction

1.1 Land to which this Part Applies

This part applies to the land zoned IN1 General Industrial and B5 Business Development located in the north-west portion of the precinct, as shown in **Figure 1**.

In addition to the detailed controls outlined in this Part, the general controls outlined in Part A of the Development Control Plan also apply.

1.2 Purpose of this Part

The purpose of this part is to provide a planning framework that establishes the outcomes and requirements for permissible development in the Employment Area in the Oran Park Precinct, to support the provisions within *Appendix 1 Oran Park and Turner Road Precinct Plan of State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.

1.3 Structure of this Part

The Part is structured as follows:

- Section 1:** Sets out the administrative provisions of the Part
- Section 2:** Outlines the vision and development objectives
- Section 3:** Outlines the key controls and principles for the Oran Park Employment Area

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Figure 1: The Oran Park Employment Area

2.0 Visions and Development Objectives

2.1 Employment Area Character

Vision for the Employment Area

The Oran Park Employment Area, located in the north west portion of the Oran Park Precinct, is a dynamic employment area of quality design. It provides the opportunity for a variety of employment activities to service the Oran Park Precinct and the wider district. The Employment Area has access points from Dick Johnson Drive and the future South Circuit road extension as well as a dedicated left slip lane off The Northern Road. The left slip lane into the Employment Area will help to separate employment related and local residential related traffic movements. The Employment Area provides a simple internal road network, ensuring that traffic movements to and from the site are appropriately managed.

The Employment Area will provide a mix of employment generating activity, including business and commercial uses, general and light industrial, warehouse, specialised retail and food and drink premises and neighbourhood shops in accordance with *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*. Development is sited and designed to provide visual interest and encourage street activation and passive surveillance particularly in land zoned B5 Business Development zone. Industrial development in land zoned IN1 General Industrial will be designed to minimise adverse impacts on nearby residential land, open space areas and other sensitive land uses. All street frontages within the Employment Area will contain quality landscaping that establishes a high standard of character and design.

Separation from nearby residential land (i.e. existing and planned residential areas south of Dick Johnson Drive and Pondicherry-Tranche 41), open space/riparian areas and other sensitive land uses in a visual and operational sense is a key design element of the Employment Area. This is managed through landscaping, limits on building heights on the perimeter of the Employment Area and locating more intensive industrial uses in the centre of the precinct.

Industrial Lands

As shown in the Land Use Plan in **Figure 2**, industrial land uses will be generally be located in either the 'Core' or 'Periphery' area where the land is zoned IN1 General Industrial. More intensive industrial land uses (where they require more specific and extensive measures to mitigate amenity impacts such as noise, odour, processing of waste) will be located in the Core area. Less intensive industrial land uses (that require standard measures to manage interface with adjoining land) will be located in the Periphery area. Industrial development will operate to best practice industry standards, located and designed to avoid impacts on nearby residential lands, open space and riparian areas. Through careful design, industrial development will reduce the visual impact of carparks and loading docks, as well facilitate safety by providing passive surveillance to the street.

Business Development Lands

As shown in the Land Use Plan in **Figure 2**, business development such as specialised retail premises will be located the 'Business Development' area, where the land is zoned B5 Business Development. Buildings fronting Dick Johnson Drive will deliver a high-quality and well-articulated built form. The combination of high quality built form, landscaping and consistent street tree plantings will deliver a visually pleasing, high-amenity gateway experience for residents, workers and visitors of Oran Park. Overall, development within the Employment Area will be appropriately designed to address the street and other public domain areas, ensuring that car parking and excessive signage does not dominate and detract from the streetscape.

2.2 Key Development Objectives

The key objectives of this Part are:

- a) To maximise opportunities for local employment within the Oran Park Precinct.
- b) To provide for an active and vibrant employment area by requiring development to address the Northern Road, Dick Johnson Drive and prominent streets.
- c) To ensure that the detailed design of the Oran Park Employment Area is undertaken in a co-ordinated manner to achieve an urban design outcome of high quality.
- d) To ensure Northern Road and Dick Johnson provide attractive, landscaped entry points to the employment area.
- e) To ensure traffic can enter and move throughout the employment area easily and safely from all entry points including The Northern Road and Dick Johnson Drive.
- f) To ensure the provision of suitable and safe pedestrian, cycle, public transport and vehicular accessibility, servicing and parking.
- g) To ensure the operation of employment activities has a minimal impact on surrounding land uses.
- h) To facilitate the flexible delivery of employment land uses in response to varying demands and requirements for land.
- i) To ensure that the impact of development upon existing site outcomes, drainage, stormwater management and water quality is adequately considered.
- j) To ensure that development promotes the principles of ecologically sustainable development.

3.0 Land Uses

Objectives

- a) To provide for a range of employment generating development with high employment levels preferred.
- b) To maximise opportunities for local employment within the Oran Park Precinct with a diverse range of employment generating development.
- c) To provide active and attractive frontages along Dick Johnson Drive.
- d) To ensure development provides an attractive frontage or is appropriately screened to The Northern Road.
- e) To minimise impacts of development on surrounding land uses by locating more intensive industrial uses within the centre of the Employment Area.
- f) To maintain the economic strength of centres by limiting the retailing of food, clothing and convenience shopping.

Controls

1. Development is to be undertaken generally in accordance with the Land Use Plan (**Figure 2**) subject to consistency with the objectives and development controls set out in this DCP and the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.
2. Development should be designed to provide visual interest and achieve an attractive presentation to The Northern Road. Where an active frontage is not proposed, the development must still provide an articulated built form and be appropriately screened from The Northern Road using high-quality landscaping.

3. Active uses that provide visual interest such as specialised retail premises should be located in the Business Development Area.* Any development that fronts or presents to Dick Johnson Drive should be well articulated and designed to activate the streetscape.
4. More intensive industrial land uses should be appropriately located within the centre of the Employment Area indicated as 'Core Area' in **Figure 2** to avoid adverse amenity impacts on residential, open space and riparian areas.
5. Development whose principal function is the storage and/or processing of goods and materials not enclosed within a building, should not be located on land which fronts a major road including The Northern Road, Dick Johnson Drive and future South Circuit road extension (North Circuit).
6. Where a vehicle body repair workshop or vehicle repair station is proposed, appropriate arrangements should be made to store all vehicles awaiting or undergoing repair, awaiting collection or otherwise involved with the development on the site of the proposed development to reduce the visual impact on the public domain. Vehicles awaiting or undergoing repair must be stored either within a building, or within a suitably screened area.
7. Any application for child centre facilities must consider the provisions of *State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017*.

Note: For definition of specialised retail premises, please see [Planning Circular PS18008](#).

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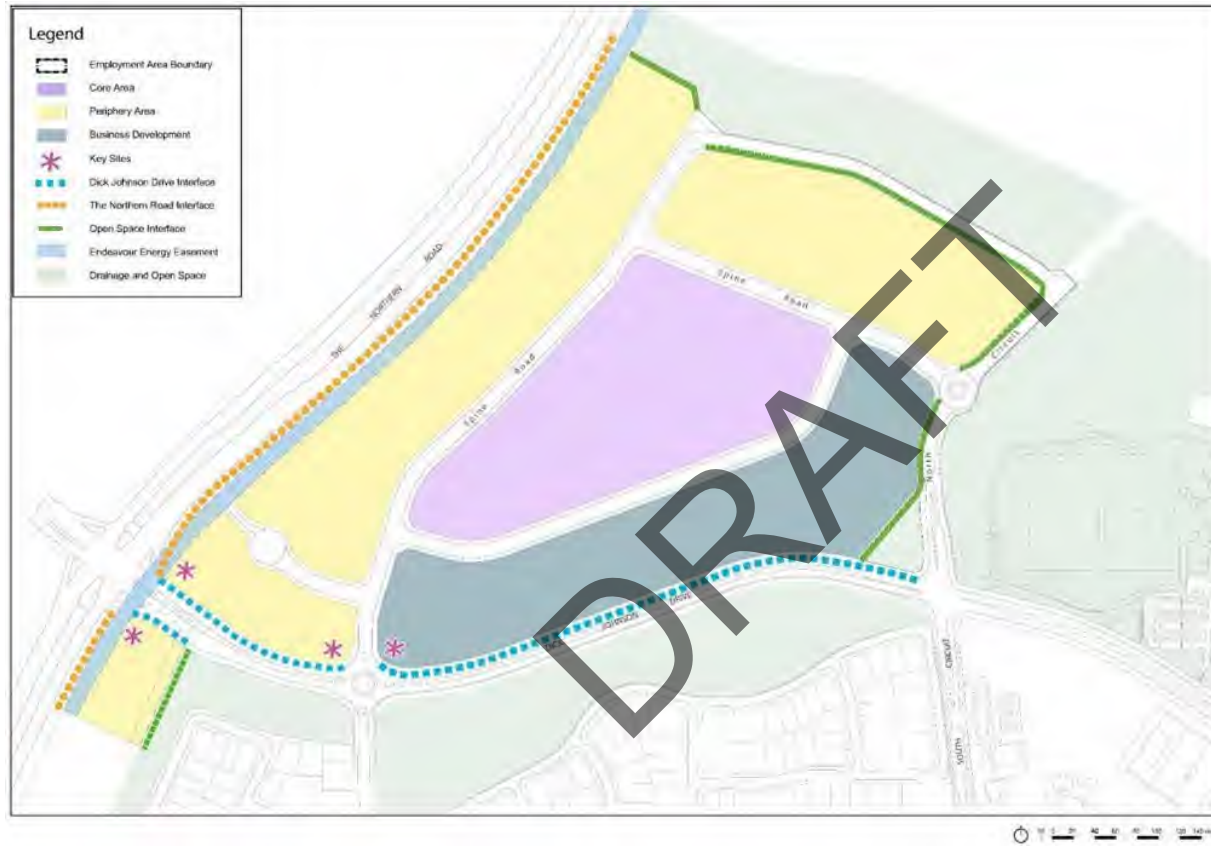


Figure 2: Land Use Plan

4.0 Subdivision

Objectives

- a) To provide a range of lot sizes to facilitate a variety of uses.
- b) To establish a subdivision layout that utilises the employment area efficiently, maximises the natural attributes of the land, appropriately addresses the street and public domain and responds to the key interfaces.

Controls

1. Subdivision design should be generally consistent with the road pattern shown in **Figure 3**. Where an alternative design outcome is proposed, the applicant must demonstrate consistency with the Vision and Key Development Objectives of this part of the DCP.
2. Any future application for subdivision/roads must incorporate road/intersection upgrade works identified in the Oran Park Precinct: Employment Area Traffic Report, dated June 2021, prepared by GHD. The applicant will be responsible for all costs associated with the provision of these works.
3. Lot sizes should be diverse to meet a range of different land uses. Irregular shaped allotments with narrow street frontages must be avoided, particularly where several of these are proposed in an adjoining manner.
4. Battle-axe shaped allotments should be avoided. Where they are proposed, they must be designed in accordance with AS2890.2.
5. Subdivision applications for lots less than 2000m² (excluding any access thereto) must include supporting plans and information that demonstrate that the site can meet all other relevant development controls.
6. Lots should be orientated and aligned to encourage building design that:
 - a) faces the street to increase visual surveillance and minimise the visual impact of loading docks and long blank walls;
 - b) facilitates solar efficiency;
 - c) has frontage toward riparian corridors and open space areas.
7. Any future application for subdivision of land will require a comprehensive noise assessment of the land to be undertaken in accordance with Council's Environmental Noise Policy 2018 and section "2.4.2- Amenity Noise Levels in areas near an existing or proposed cluster of industry" of the NSW EPA's Noise Policy for Industry (NPI). The submitted noise assessment must address the following:
 - a) apply appropriate noise limits to each lot to guide land use proposals and ensure that the Employment Area will meet relevant noise criteria as per above.
8. Development applications for subdivision of land directly adjacent to a riparian corridor or open space (inclusive of land fronting a road adjacent to a riparian corridor or open space area) must facilitate development that:
 - a) will have an articulated, aesthetic and landscaped appearance when viewed from the adjoining riparian corridor or open space land;
 - b) will have minimal adverse impacts on the environment or the amenity of surrounding land;
 - c) will provide opportunities for passive surveillance of the open space land, where possible;
9. Where a Strata or Community Title subdivision is proposed, parking, landscaping, access areas and directory board signs must be included as common property.

Note: Any upgrade works to signalised intersections would require approval from Transport for NSW under section 87 of the Roads Act 1993.

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5.0 Movement Network

Objectives

- a) To ensure pedestrian, cycle and vehicular safety within, and to and from the Employment Area.
- b) To encourage the use of active transport and public transport safely within, and to and from the Employment Area through the provision of integrated bus, pedestrian and cycle routes.
- c) To provide a permeable road network that facilitates movement in and through the employment area.
- d) To minimise impacts on roads including but not limited to The Northern Road and Dick Johnson Drive.
- e) To minimise impacts on surrounding residential uses and other sensitive land uses.

Controls

1. The road network should be generally consistent with the Movement Network Plan shown in **Figure 3**. Council may consider alternatives to the Plan where appropriate urban design outcomes can be demonstrated and the overall functional objectives of the network are maintained or improved.
2. Roads in the Employment Area are to be provided in accordance with **Figure 3** and designed in accordance with Council's Engineering Specifications. **Figure 4A** and **Figure 4B** provide the minimum dimensions for roads in the employment area. Roads may need to be wider where traffic management facilities (e.g. roundabouts, etc.) are determined to be required.
3. Where required by Council, a traffic report and swept path analyses must be submitted with the development application. The report must:
 - a) demonstrate that the minimum road cross section or an alternative road cross section is appropriate for each road;
 - b) recommend appropriate traffic management facilities at intersections in the employment area;
 - c) specify the type of heavy vehicles to service the site and adequately demonstrate safe manoeuvrability of these vehicles; and
 - d) demonstrate that the proposed development will not have unacceptable impacts on the surrounding road network in terms of safety, efficiency and sight distance.
4. Any future application for specialised retail premises, hardware and building supplies and/or garden centres will need to provide a traffic report with an assessment of the full trip generation potential (worse case), associated impact on the road network and appropriate mitigation measures (if required).
5. Direct vehicular access to and from The Northern Road is not permitted except for a single, common left-in slip lane, which links into the Employment Area as detailed in **Figure 3**.
6. All road infrastructure (including roundabouts) within and accessing the Employment Area are to be designed to safely accommodate the largest heavy vehicles that are servicing the site (i.e. B doubles).
7. Heavy vehicles are not permitted direct access to lots from Dick Johnson Drive.
8. Off street parking must be provided in accordance with 'Part 2.18.2 Off Street Car parking rates/requirements' of Camden DCP 2019. At grade parking areas must be suitably located to minimise visual impacts to the street and public domain.
9. Bus stops and/or shelters are to be provided in accordance with **Figure 3**. Bus shelters are to be provided and installed at the subdivision construction stage.
10. A shared pedestrian and cycleway, and pedestrian footpaths must be provided in accordance with **Figure 3** and **Figure 4A**.

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- 11. All roads within the Employment Area are to be designed to accommodate buses, however it is planned that future bus routes use Dick Johnson Drive. All road infrastructure within the Employment Area is to be designed with consideration of TfNSW Guidelines for Public Transport Capable Infrastructure in Greenfield Sites.
- 12. Detention and treatment of stormwater runoff from roads within the Employment Area must be addressed with development applications for subdivision.

Note: Any upgrade works to signalised intersections would require approval from Transport for NSW under section 87 of the Roads Act 1993.

Note: The location of bus stops/shelters is to be confirmed in consultation with Council.

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