



Camden Local Planning Panel

Agenda

Electronic Determination



CAMDEN LOCAL PLANNING PANEL

ELECTRONIC DETERMINATION

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CAMDEN LOCAL PLANNING PANEL

CLPP01

SUBJECT: DA/2018/710/2 - SECTION 4.55(2) MODIFICATION TO AMEND DRIVEWAY LOCATION AND ADD ADDITIONAL STOREY TO APPROVED RESIDENTIAL FLAT BUILDING

TRIM #: 20/117129

DA Number:	2018/710/2.
Development:	Section 4.55(2) modification application to amend the driveway location and add an additional storey to an approved residential flat building.
Estimated Cost of Development:	\$16,752,000
Site Address(es):	341 Oran Park Drive, Oran Park LOT: 8 DP: 270899
Applicant:	Greenfields Development Company C/o Urbanco
Owner(s):	Perich Property Unit Trust
Number of Submissions:	Nil
Development Standard Contravention(s):	24m maximum height of building – 26.8m previously approved, no further encroachments beyond those previously approved are proposed.
Classification:	Local.
Recommendation:	Approve with modified conditions.
Panel Referral Criteria:	Section 4.55(2) of a development previously approved by the Panel. Original application referred to the panel for the following criteria: Development to which SEPP 65 applies; and Departure from Development Standard >10%.
Report Prepared By:	Clare Aslanis – Executive Planner Team West

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel's (the Panel's) determination of a Section 4.55(2) modification application to an approved development application (DA) for a residential flat building at 341 Oran Park Drive, Oran Park.

The Panel is to exercise Council's consent authority functions for this modification as the application is a Section 4.55(2) modification application to a development approved by the Panel.

The original development application (DA/2018/710/1) was referred to the Panel for determination, pursuant to the Minister for Planning's Section 9.1 Direction, as the

development was subject to requirements of State Environmental Planning Policy No. 65 (Design Quality of Residential Apartment Development) and the development proposed a variation to the development standard (maximum height of building) that was greater than 10%.

SUMMARY OF RECOMMENDATION

That the Panel determine DA/2018/710/2 for modifications to an approved residential flat building pursuant to Section 4.16 of the *Environmental Planning and Assessment Act 1979* by granting consent subject to the conditions attached to this report.

EXECUTIVE SUMMARY

Council is in receipt of a modification application for a residential flat building at 341 Oran Park Drive, Oran Park.

The modification application has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2000*, relevant environmental planning instruments, development control plans and policies.

The application was publicly exhibited for a period of 14 days in accordance with Camden Development Control Plan 2019. The exhibition period was from 7 January to 27 January 2020 and no submissions were received.

In the current determination the approved development is described as:

“Construction of a 6 storey residential flat building with 48 units, 2 level basement car park, landscaping and associated works.”

The subject modification application seeks the following:

- Modification of the apartment layout to provide greater variety in the apartment mix;
- Introduction of two (2) roof top units on the northern side of the building;
- Relocation of the driveway south along Fordham Way to enhance streetscape presentation and ground floor unit amenity;
- Relocation of the rooftop communal space to the southern side of the roof;
- Minor amendments to basement parking arrangements;
- Modification of landscape plans to reflect amended architectural details;
- Relocation of the temporary bin holding area to be integrated with the building's architecture; and
- The total number of units has increased from 48 units to 53 units.

In determining the original development application, the Panel supported a contravention to the maximum height of buildings development standard. State Environmental Planning Policy (Sydney Region Growth Centre) 2006 prescribes a maximum building height of 24 metres for the site. The currently approved development has a maximum building height of 26.8 metres (including the lift overrun). The changes proposed as part of the subject modification application do not alter the maximum overall height of the approved development (which remains at 26.8 metres).

Based on the assessment, it is recommended that the modification application be approved subject to the conditions attached to this report.

KEY PLANNING CONTROL VARIATIONS

Control	Approved	Proposed
Maximum Height of Buildings 24m (SEPP)	26.8m	26.8m (unchanged)
Minimum 25% Communal Open Space (ADG)	420m ² (22%)	313m ² (16%)
4 storey building envelope.	6 storeys	7 storeys

AERIAL PHOTO

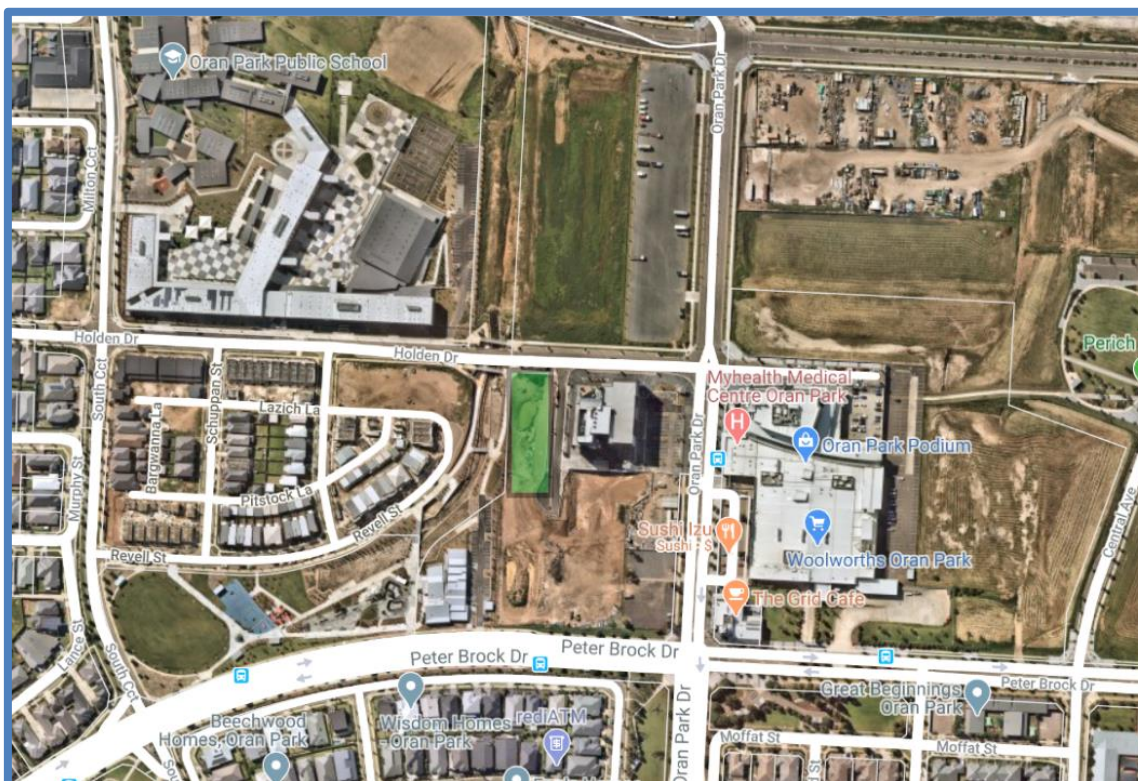


Figure 1: Aerial image with subject site shaded green.

THE SITE

The site is commonly known as 341 Oran Park Drive, Oran Park and is legally described as Lot 8, DP 270899 (also known as the Tranche 8 development area). The site is rectangular in shape and is located within a street block bounded by Podium Way, Oran Park Drive and Peter Brock Drive. The site is predominantly vacant with the exception of an at grade car park and a recently constructed six (6) storey commercial building ('Commercial Building 1').

Directly to the west is a proposed community facility, beyond which lies a riparian corridor. To the north is vacant land which is a potential site for the future Oran Park Railway Station. To the south and across Oran Park Drive the area predominately consists of low density residential development. To the east across Oran Park Drive is the Oran Park 'Podium' Shopping Centre.

ZONING PLAN

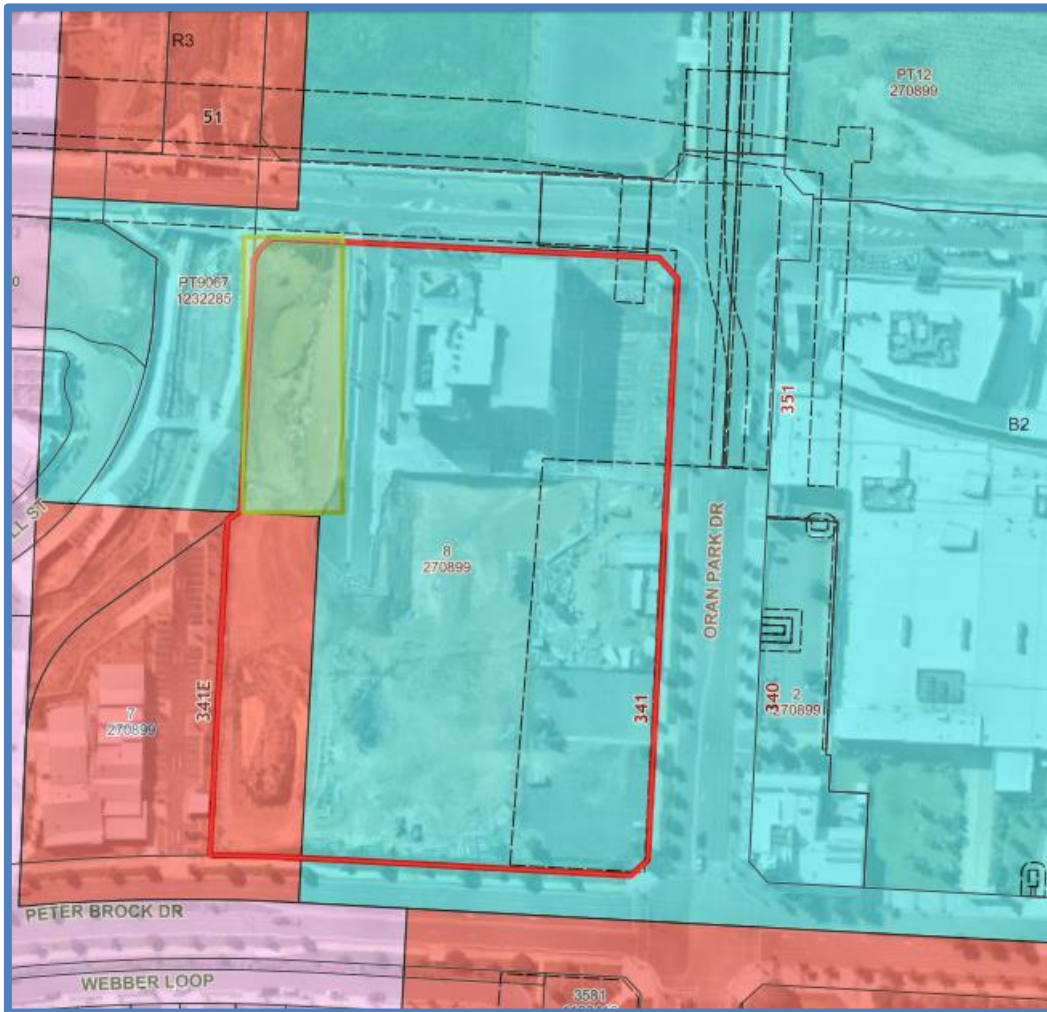


Figure 2: Zoning map with subject site shaded green.

AREA MASTER PLAN

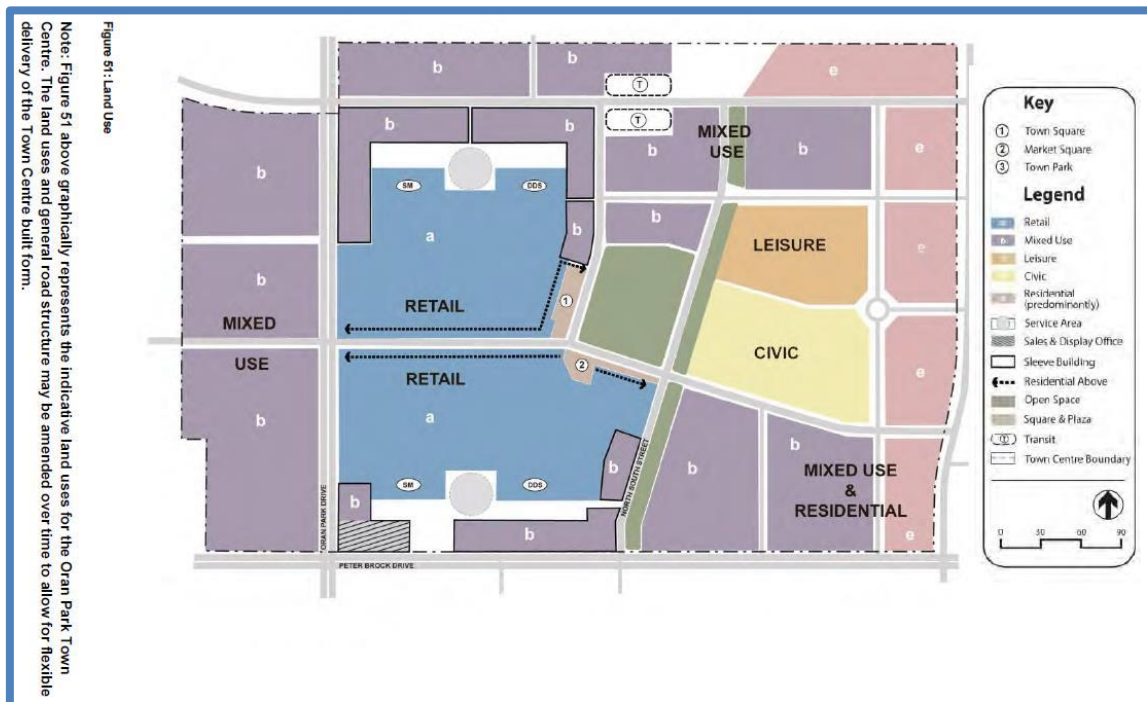


Figure 3: Structure Plan from Oran Park DCP. The subject site is located in the mixed use zone (Immediately to the left of the 'u' in use in the south-western corner of the plan)

THE PROPOSAL

DA/2018/710/1 granted approval for a six storey residential flat building. Specifically, the approved development involves:

- Construction of a residential flat building containing:
 - a. 48 units across 6 levels;
 - i. 1 x studio;
 - ii. 9 x 1 bedroom;
 - iii. 30 x 2 bedroom;
 - iv. 8 x 3 bedroom;
 - b. 2 levels of basement car parking with 68 car parking spaces;
 - c. A communal rooftop terrace;
 - d. Associated drainage works; and
 - e. Associated landscaping works.

The subject Section 4.55(2) modification application (DA/2018/710/2) effectively seeks approval to add an additional storey to the approved development and make other associated changes to the approved development.

The development as modified will result in the following:

- Construction of a residential flat building containing:
 - a. 53 units across 7 levels;
 - i. 14 x 1 bedroom;
 - ii. 29 x 2 bedroom;
 - iii. 10 x 3 bedroom;
 - b. 2 levels of basement car parking with 73 car parking spaces;

- c. A communal rooftop terrace at the same level as the top floor units;
- d. Associated drainage works; and
- e. Associated landscaping works.

ASSESSMENT

Environmental Planning and Assessment Act 1979 - Section 4.55

(2) Other Modifications

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if -

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and***

The development to which the consent as modified relates is substantially the same as the development for which consent was originally granted and before that consent as originally granted was modified. The application is for a residential flat building and remains similar in appearance as modified.

- (b) *it has consulted with the relevant Minister, public authority or approval body in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and***

There were no General Terms of Approval issued for the approved development.

- (c) *it has notified the application in accordance with—***
(i) *the regulations, if the regulations so require, or*
(ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent,*

The application was publicly exhibited in accordance with the *Environmental Planning and Assessment Regulation 2000* and Camden Development Control Plan 2019.

- (d) *it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.***

No submissions were received.

- (3) *In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into***



consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.

An assessment against *Section 4.15(1) of the Environmental Planning and Assessment Act 1979* is provided below.

Environmental Planning and Assessment Act 1979 – Section 4.15(1)

In determining an application, the consent authority is to take into consideration such of the following matters as are of relevance to the development:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development and Apartment Design Guide.
- State Environmental Planning Policy (Sydney Region Growth Centres) 2006.
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.
- State Environmental Planning Policy No 55 – Remediation of Land.
- Sydney Regional Environmental Plan No 20 – Hawkesbury-Nepean River.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development and the Apartment Design Guide

The development is subject to the requirements of State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65) and the Apartment Design Guide (ADG).

A statement from a qualified Architect was submitted with the application verifying that they designed the development as modified. The statement also provides an explanation that verifies how the design quality principles are achieved within the development and demonstrates, in terms of the Apartment Design Guide (ADG), how the objectives in Parts 3 and 4 of the guide have been upheld.

The ADG contains objectives, design criteria and design guidelines for residential apartment development. In accordance with Clause 6A of the SEPP the requirements contained within a DCP relating to visual privacy, solar and daylight access, common circulation and spaces, apartment sizes and layout, ceiling heights, private open space and balconies, natural ventilation and storage have no effect. In this regard objectives, design criteria and design guidelines set out in Parts 3 and 4 of the ADG prevail.

An assessment table in which the proposed development is considered against SEPP 65 and the ADG is provided as an attachment to this report.

The development is generally acceptable having regard to the 9 design quality principles contained in the SEPP and where the proposed development varies from the design criteria stipulated in the ADG further discussion is provided below.

Communal Open Space

Objective 3D-1 of the ADG requires communal open space to have a minimum area equal to 25% of the site.

The communal open space provided as part of the currently approved development is 420sqm in area equating to 22% of the site. The communal open space provided as part of the modified development is 313sqm in area equating to 16% of the site.

As part of the modification application there is an increase in the number of residential units to be provided on the site (53 units are proposed, while 48 units are approved). Two (2) additional units are proposed on the upper level with the rooftop communal open space relocated to the southern side of the roof and reduced in size by 13sqm (144sqm proposed in lieu of 157sqm as currently approved).

At ground level there has also been a reduction in the communal open space due to the realignment of the driveway and basement entry. The stairs to Julia Creek have also been reconfigured, which has also resulted in a minor reduction of communal open space.

Whilst there is a further departure from the minimum area recommended by the Apartment Design Guide, the proposal remains compliant with the minimum (15%) required by the Oran Park DCP. The spaces proposed provide for a range of uses by residents with more passive areas at ground level and gathering spaces on the rooftop.

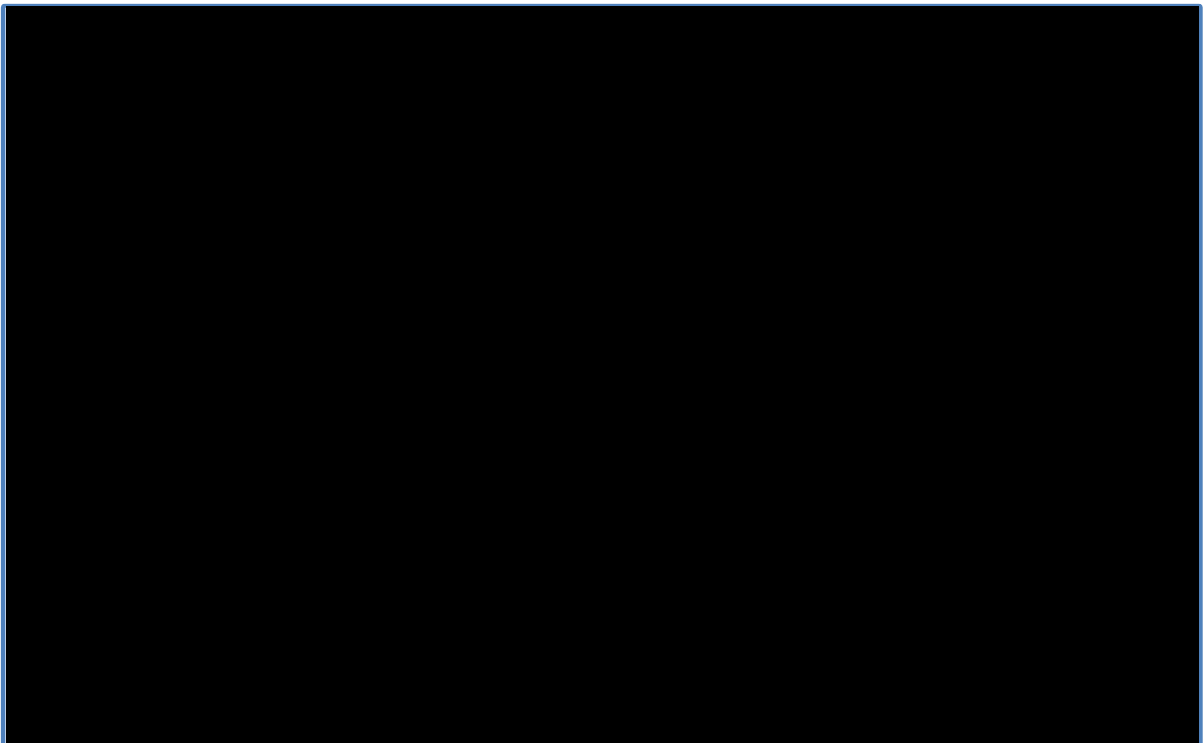


Figure 4: Approved ground floor plan with communal area shown.

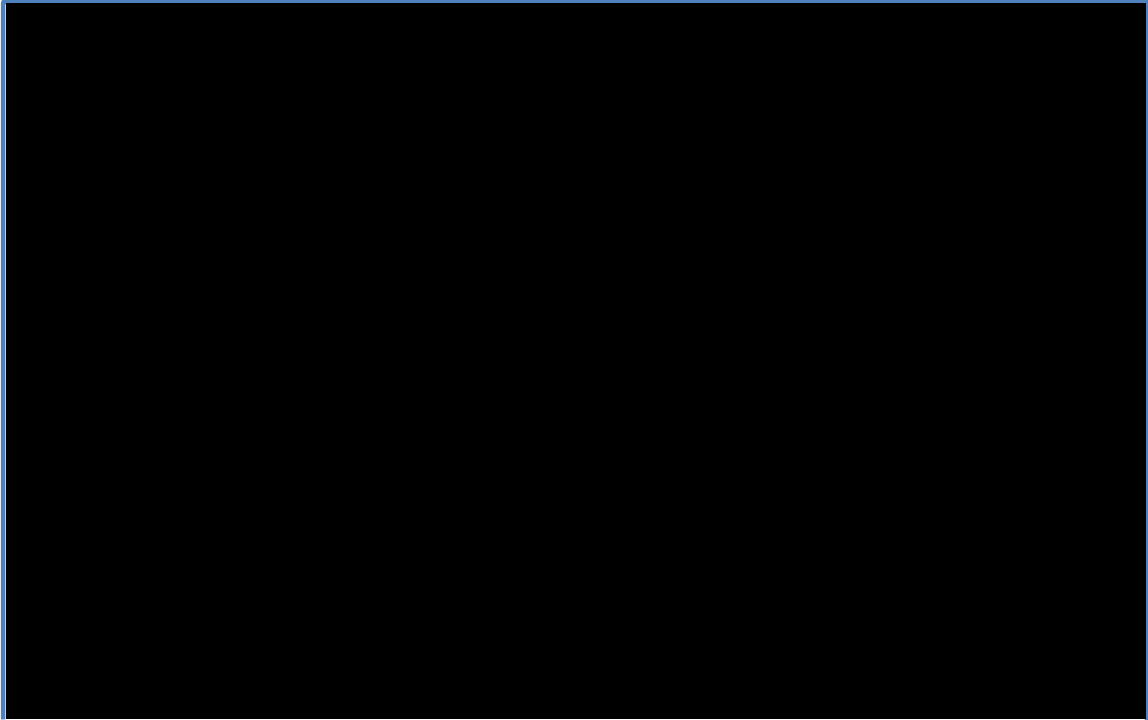


Figure 5: Proposed ground floor plan with reconfigured communal area, driveway and temporary holding area for waste bin collection shown.

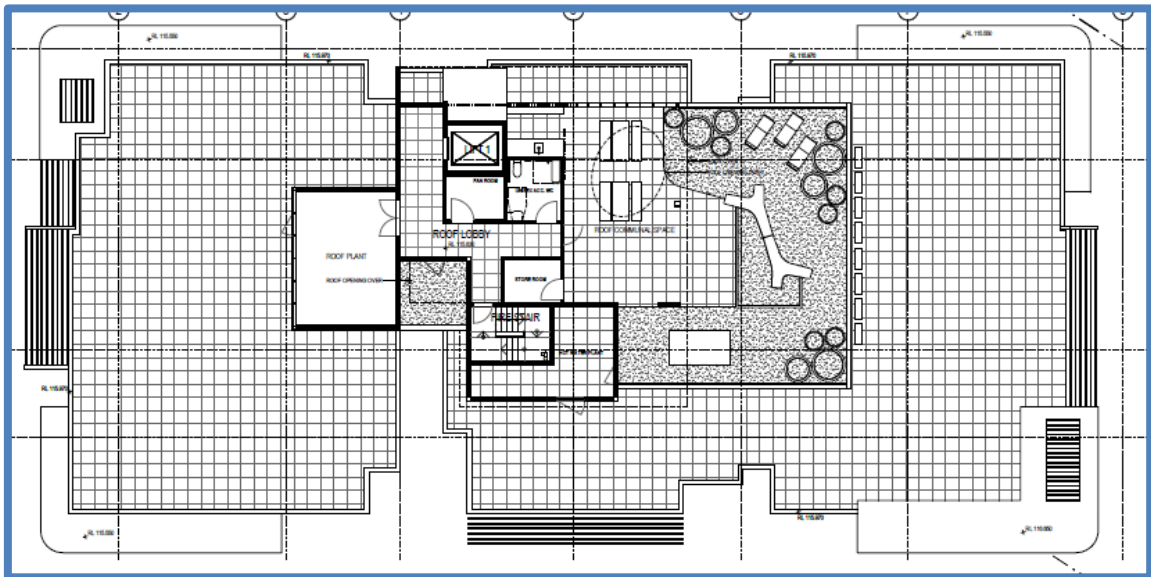


Figure 6: Approved rooftop common area

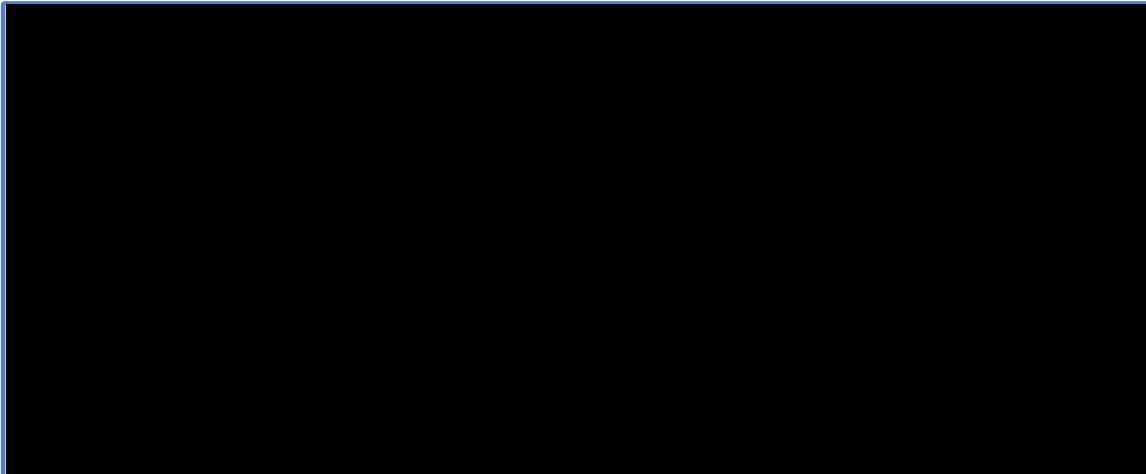


Figure 7: Proposed reconfigured rooftop communal area with additional penthouse units.

It is also noted that the proposal is adjacent to the Julia Creek reserve where high quality open spaces are already provided within the public domain.

Whilst not meeting the design criteria, it is assessed that area of communal open space proposed is adequate and ensures high levels of residential amenity and satisfactory opportunities for landscaping.

The level of communal open space is considered reasonable given the location of the site within the Oran Park Town Centre and given the high quality public open spaces that surround the site.

State Environmental Planning Policy (Sydney Region Growth Centres) 2006 - (Growth Centres SEPP)

An assessment table in which the proposed development is considered against the Growth Centres SEPP is provided as an attachment to this report.

As noted in the assessment table, the development as modified has a maximum building height of 26.8 metres which equates to a 2.8 metre (11.7%) contravention to the maximum height of buildings development standard prescribed under the SEPP (24 metres).

As previously indicated, the Panel considered and supported a Clause 4.6 written request for the contravention to the maximum height of buildings development standard when approving the original development application. The contravention was limited to the encroachment of the lift overrun beyond the maximum building height plane.

The overall height of the lift overrun remains unchanged as part of the modification application and the additional units on the upper level are contained within the maximum height of buildings development standard for the site (i.e. no further encroachment/contravention is sought).



Figure 8: Building Height Planes showing no additional encroachment into 24m maximum building height.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

An updated BASIX Certificate was submitted with the application indicating that the proposal remains fully compliant with the BASIX requirements. The recommended modified conditions ensure the amended BASIX Certificate commitments are implemented into the development.

State Environmental Planning Policy No 55 - Remediation of Land (SEPP 55)

SEPP 55 requires the consent authority to be satisfied that the site is suitable for its intended use (in terms of contamination) prior to granting consent. The modifications do not result in any departure from the provisions of this plan.

Sydney Regional Environmental Plan No 20 - Hawkesbury-Nepean River (SREP 20)

The proposed development (as modified) remains consistent with the aim of SREP 20 (to protect the environment of the Hawkesbury-Nepean River system) and all of its planning controls. There will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of the modified development.

(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)

Draft Environment SEPP

The development remains consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of the development.

(a)(iii) the provisions of any development control plan

Camden Development Control Plan 2011 (Camden DCP)

An assessment table in which the proposed development is considered against the Camden DCP is provided as an attachment to this report.

Oran Park Development Control Plan 2007 (Oran Park DCP)

An assessment table in which the proposed development is considered against the Oran Park DCP is provided as an attachment to this report. An assessment of the variation sought (indicative building envelope plan) is provided below.

Proposed Variation No 1 – Building Envelope

The proposed development seeks a variation to the 4 storey building envelope control contained in Control 1 in Section 7.3 of Part B1 Oran Park Town Centre of the Oran Park DCP:

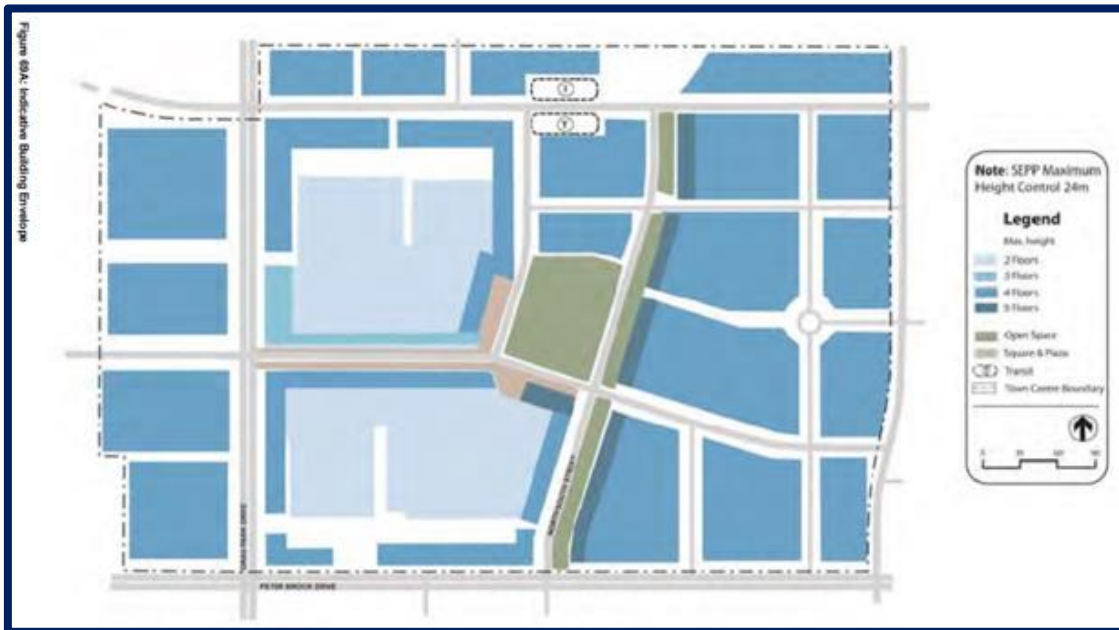


Figure 9: Indicative Building Envelope Plan from the Oran Park DCP.

The objectives for the building envelope control are:

- To ensure that the bulk and scale of future development responds to the desired vision, scale and character of the Oran Park Town Centre and surrounding development.
- To encourage a variety of building heights within the Town Centre which respond to the site specific design considerations.
- To embody buildings with flexibility in their use over time.



In accordance with clause 4.15(3A)(b) of the Environmental Planning and Assessment Act 1979 there must be flexibility in the application of DCP provisions to allow reasonable alternative solutions that achieve the relevant objectives.

It is considered that the proposed development remains consistent with the objectives of the control given that:

- The additional floor (7th) floor proposed as part of the subject modification application is contained within the maximum height of buildings development standard (24m) prescribed for the site;
- The proposed development compares favourably to the adjacent six (6) storey commercial building (*Commercial Building 1*) which was approved by the Sydney Western City Planning Panel (SWCPP) and which has a maximum building height of 28.15m;
- The proposed development compares favourably to the six (6) storey commercial building (*Commercial Building 2*) proposed as part of DA/2019/269/1 (which is to be located directly to the south *Commercial Building 1*) which has a maximum building height of 28.85m. At the time of writing this report that application is being considered by the SWCPP for electronic determination (with a recommendation for approval);
- The proposed building scale would result in the introduction of additional variety in building heights within the town centre. The existing building heights within the town centre are:
 - Commercial 1 Building – 6 storeys.
 - Commercial 2 Building – 6 storeys.
 - Stage 1 of the retail component – 4 storeys at the street frontage.
 - Oran Park Sales building – 2 storeys with a 4 storey clock tower.
 - Camden Council Administration Building – 3 storeys
 - Oran Park Library – 2 storeys.
- The proposed development is considered to respond to the site-specific design considerations, most prominently is the development's concentration of scale in close proximity to the recently announced Oran Park train station indicative location.

Consequently, it is recommended that the panel support this variation to the minimum building envelope.

(a)(iia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

The site falls within land which is subject to the Oran Park Urban Release Area Voluntary Planning Agreement (VPA), signed in September 2011.

The Oran Park VPA provides for infrastructure and associated facilities within the Oran Park Town in lieu of payments under the Oran Park & Turner Road Precinct Section 94 Contributions Plan.

Conditions of consent were previously implemented and remain unchanged by the modification as applicable contributions and deliverables triggers are determined on the basis of net developable area and residential lots.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation 2000* prescribes several matters that are addressed in the conditions attached to this report.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

As demonstrated by the above assessment, the development as modified is unlikely to have a significant negative impact on either the natural or built environments, or the social and economic conditions in the locality.

(c) the suitability of the site for the development

As demonstrated by the above assessment, the site is considered to be suitable for the development.

(d) any submissions made in accordance with this Act or the regulations

The modification application was publicly exhibited for a period of 14 days in accordance with Camden Development Control Plan 2011. The exhibition period was from 7 January to 27 January 2020 and no submissions were received.

(e) the public interest

The public interest is served through the detailed assessment of this application under the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2000*, environmental planning instruments, development control plans and policies. Based on the above assessment, the development is consistent with the public interest.

Council has considered the reasons given by the consent authority for the grant of the consent that is sought to be modified.

EXTERNAL REFERRALS

No external referrals were required for this application.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The modification application has been assessed in accordance with Sections 4.15(1) and 4.55(2) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. The application is recommended for approval subject to the conditions attached to this report.



RECOMMENDED

That the Panel approve DA/2018/710/2 for the modification of an approved residential flat building at 341 Oran Park Drive, ORAN PARK subject to the modified conditions attached to this report.

REASONS FOR DETERMINATION

1. The Camden Local Planning Panel is satisfied that the proposed modification is of minimal environmental impact and is substantially the same development as the development for which the consent was originally granted.
2. The development, as modified, is consistent with the objectives of the applicable environmental planning instruments, being State Environmental Planning Policy (Sydney Region Growth Centres) 2006; State Environmental Planning Policy No 55 - Remediation of Land; State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004; and Sydney Regional Environmental Plan No 20 - Hawkesbury-Nepean River.
3. The development, as modified, is consistent with the objectives of the applicable development control plans, being the Oran Park Precinct Development Control Plan 2007 and Camden Development Control Plan 2019.
4. The development, as modified, is considered to be of an appropriate scale and form for the site and the character of the locality.
5. The development, as modified, is unlikely to have any unreasonable adverse impacts upon the natural or built environment.

ATTACHMENTS

1. Attachment 1 - Apartment Design Guide Assessment Table
2. Attachment 2 - Growth SEPP Assessment Table
3. Attachment 3 - DCP Assessment Tables
4. Attachment 4 - Recommended Modified Conditions
5. Attachment 5 - Proposed Plans
6. Attachment 6 - Approved Stamped Plans
7. Attachment 7 - Proposed Plans - Internal - *Supporting Document*
8. Attachment 8 - Approved Stamped Plans - Internal - *Supporting Document*

Apartment Design Guide (ADG) Assessment Table

Control	Proposed	Compliance
3C-1 Public Domain Interface - Transition between private and public domain is achieved without compromising safety and security.	Ground level apartments as amended are elevated to provide surveillance and improve visual privacy. Landscape buffers are used in some instance to further improve privacy.	Yes
3D-1 Communal and Public Open Space - An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping.	The communal open space provided as part of the currently approved development is 420sqm in area equating to 22% of the site. The communal open space provided as part of the modified development is 313sqm in area equating to 16% of the site. Whilst there is a further departure from the minimum area recommended by the Apartment Design Guide, the proposal remains compliant with the minimum (15%) required by the Oran Park DCP. Furthermore, a variety of different communal open spaces are provided which is conducive to various activities. Additionally the site has direct access to the Julia Creek Riparian Corridor and public recreation space areas within Julia Reserve Skate Park.	No, see further discussion in main body of report.
3D-2 Communal and Public Open Space Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.	The modified proposal retains two separate areas (at ground level and on the rooftop) to promote different uses of the spaces. The areas of communal open space are appropriately designed to allow for a range of activities.	Yes
3D-3 Communal and Public Open Space Communal open space is designed to maximise safety.	Street level communal areas remain visible from the living rooms and balconies of the southern apartments. The modified plans provide units to the roof area, allowing for improved surveillance from the lift foyer. The rooftop communal area can be accessed by secured lifts and stairs by all residents.	Yes
3E-1 Deep Soil Zones - Design Criteria <u>Site area > 1,500m²</u> Minimum dimensions of 6m and 7% of site area.	Provision of deep soil area has been retained in modified designed. The basement does not encroach on this area. 8.44% of site with minimum 6m dimension is achieved.	Yes
3G-3 Pedestrian Access and Entries Large sites provide pedestrian links for access to streets and	The retained street level communal space acts as through site link to Julia Creek.	Yes

Apartment Design Guide (ADG) Assessment Table

connection to destinations.		
<p>3H-1 Vehicle Access</p> <p>Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes.</p>	The vehicular access has been relocated and no longer traverses the front of the site but rather provides access via the side of the building. The modified layout provides for a significantly improved streetscape and reduces conflicts with pedestrians.	Yes
<p>3J-1 Bicycle and Car Parking - Design Criteria</p> <p>For development in the following locations:</p> <ul style="list-style-type: none"> on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area, or on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre. <p>the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever less.</p>	The modified proposal complies with Council's minimum DCP car parking rates for residential flat buildings.	Yes
<p>3J-4 Bicycle and Car Parking</p> <p>Visual and environmental impacts of underground car parking are minimised.</p>	The new car park entry reduces the visual impacts by reducing the space occupied by driveway within the front setback.	Yes
<p>4A-1 Solar and Daylight Access - Design Criteria</p> <p>Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two hours direct sunlight between 9am and 3pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.</p> <p>A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid-winter.</p>	<p>Complies.</p> <p>90% of apartments are able to achieve minimum solar access requirements.</p>	Yes
4B-1 Natural Ventilation	Complies.	Yes

Apartment Design Guide (ADG) Assessment Table

All habitable rooms are naturally ventilated.		
<p>4B-3 Natural Ventilation - Design Criteria</p> <p>At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be naturally ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.</p>	<p>The number of corner apartments with dual aspect is maximised to achieve ADG compliance.</p> <p>69.8% of apartments achieve natural cross ventilation.</p>	Yes
<p>4D-1 Apartment Size and Layout - Design Criteria</p> <p>Apartments are required to have the following minimum internal areas:</p> <p><u>Studio</u> 35m².</p> <p><u>One bedroom</u> 50m².</p> <p><u>Two bedroom</u> 70m².</p> <p><u>Three bedroom</u> 90m².</p> <p>Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.</p>	All minimum areas are achieved for the various unit types within the proposal.	Yes
<p>4D-2 Apartment Size and Layout - Design Criteria</p> <p>Habitable room depths are limited to a maximum of 2.5 x the ceiling height.</p> <p>In open plan layout (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window.</p>	Complies in all units.	Yes

Apartment Design Guide (ADG) Assessment Table

<p>4D-3 Apartment Size and Layout</p> <p>Apartment layouts are designed to accommodate a variety of household activities and needs.</p>	Complies.	Yes
<p>4E-1 Private Open Space and Balconies - Design Criteria</p> <p>All apartments are required to have primary balconies as follows:</p> <p><u>Studio apartments</u> 4m².</p> <p><u>One bedroom apartments</u> 8m² with a minimum depth of 2m.</p> <p><u>Two bedroom apartments</u> 10m² with a minimum depth of 2m.</p> <p><u>Three+ bedroom apartments</u> 12m² with a minimum depth of 2.4m.</p> <p>For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.</p>	All units comply with relevant minimum balcony area.	Yes
<p>4E-3 Private Open Space and Balconies</p> <p>Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.</p>	Complies.	Yes
<p>4K-1 Apartment Mix</p> <p>A range of apartment types and sizes is provided to cater for different household types now and into the future.</p>	<p>Provided:</p> <p>14 x one bedroom 29 x two bedroom 10 x three bedroom</p>	Yes
<p>4K-2 Apartment Mix</p> <p>The apartment mix is distributed to suitable locations within the building.</p>	A range of units is provided on each level of the development.	Yes
<p>4N-1 Roof Design</p> <p>Roof treatments are integrated into the building designed and</p>	Plant equipment is setback from the edges of the building to ensure that it is not visible from the ground. All plant equipment will be appropriately screened.	Yes

Apartment Design Guide (ADG) Assessment Table

positive respond to the streets.		
4Q-1 Universal Design Universal design features are included in apartment design to promote flexible housing for all community members.	7 adaptable apartment units are proposed.	Yes
4Q-2 Universal Design A variety of apartments with adaptable designed are provided.	Adaptable units include one, two and three bedroom options and are on different levels of the building.	Yes
4Q-3 Universal Design Apartment layouts are flexible and accommodate a range of lifestyle needs.	Living/dining room layouts are flexible. Studies could have other uses such as storage.	Yes
4W-1 Waste Management Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents.	The waste storage area in the basement are will not be visible from the street. The bin holding area has been modified to integrated with the building as it is visible from the street.	Yes

CLPP01

Attachment 1

State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Growth SEPP)
Assessment Table

Control	Proposed	Compliance
Appendix 1, 4.3 Height of Buildings - Maximum building height of 24m above finished ground level	The development as modified has a maximum building height of 26.8m above finished ground level. The maximum building height remains unchanged as part of this modification application	No, contravention previously supported as part of original DA. No additional height breach proposed as part of this modification application.
Appendix 1, 6.1 Public Utility Infrastructure - The consent authority is to be satisfied that essential public utility infrastructure is available or that adequate arrangements have been made to make that infrastructure available when required	A standard condition is recommended to ensure that essential public utility infrastructure will be provided when required	Yes, previously conditioned.
Appendix 1, 6.6 Development in Special Areas - Development consent is not to be granted for development within a special area unless a development control plan that provides for detailed development controls has been prepared for the land	The Oran Park Development Control Plan 2007 applies to the site and Part B1 of that development control plan specifies detailed development controls for the Oran Park Town Centre in which this site is located.	Yes.

Development Control Plan Assessment Tables

Camden Development Control Plan 2019

Control	Proposed	Compliance
1.2.2 Notification of Applications - Applications are to be publicly exhibited in accordance with the Camden DCP	The application was publicly exhibited in accordance with the Camden DCP. No submissions were received.	Yes

Oran Park Development Control Plan 2007

Control	Proposed	Compliance
6.9 Acoustics - All industrial / commercial / employment development is to comply with the Industrial Noise Policy (DECC 2000).	The detailed acoustic report by Acoustic Logic lodged with the original development application remains relevant for the modified proposal.	Yes.
8.3 Waste Management - Development must demonstrate that the design takes into account refuse storage and collection without reducing the amenity of a dwelling or neighbouring lots.	The dedicated waste area is fully enclosed and will not impact on the amenity of adjoining development. Waste collection occurs from a temporary holding area within the front of the building.	Yes.
8.4 Site Facilities and Servicing - Garbage, mailbox structures, service meters and the like are to be integrated with the overall design of buildings and/or landscaping.	Facilities and servicing requirements are integrated within the landscape design of the proposal.	Yes.
8.6 Safety and Surveillance - Buildings should be designed to overlook streets, lanes and other public or communal areas to provide casual surveillance. In the case of corner lots habitable windows are also be oriented to overlook the side street. Developments are to avoid creating areas for concealment and blank walls facing the street.	The building has been designed to provide casual surveillance of surrounding streetscape areas from all levels. The modifications to ground floor units improves the opportunities for further casual surveillance. The modified design has reduced the length of blank walls.	Yes. Yes.
Part B: Site Specific DCP		
5.1 Public Domain - Public domain areas are to be designed and located generally in accordance with Figure 67. The design of public domain areas shall take into consideration the Public Domain Manual adopted by Camden Council (Attachment A).	The modified landscape design has been prepared consistent with the Public Domain Manual.	Yes, reinforced by existing conditions of consent.

Development Control Plan Assessment Tables

<p>5.3 Street Trees - Street trees and open space planting is to provide generous shade for pedestrians in summer and allow for sunlight penetration to street level in winter.</p>	<p>The modified landscape design has been prepared consistent with the Public Domain Manual. Species selected allow for shade in summer and sunlight penetration in summer.</p>	<p>Yes, reinforced by existing conditions of consent.</p>
<p>7.3 Building Envelopes / Bulk & Scale - Building heights are to be in accordance with the Building Envelope Plan shown in Figure 69A.</p> <p>Minimum ceiling heights are detailed in in the table below. For the purposes of this control 'ceiling height' is measured internally from finished floor level to ceiling level.</p> <ul style="list-style-type: none"> - Residential floors - 2.7m 	<p>The proposed development exceeds the maximum height of building development standard prescribed under the SEPP (26.8m in lieu of 24m standard) and varies from the indicative building envelope identified in the DCP (7 storeys in lieu of 4 storeys)</p> <p>Minimum Floor to ceiling Height = 2.7m</p>	<p>No, contravention previously supported as part of original DA. Refer to additional discussion in main body of report.</p> <p>Yes.</p>

Development Control Plan Assessment Tables

<p>7.5 Weather Protection - Weather protection must maintain a feeling of openness and enhance both the public function of the specific space and /or street.</p> <p>Buildings are to maximise areas of street activation through a mixture of ground floor retail/commercial suites and the incorporation of ground floor terrace areas along the street frontage in residential development.</p> <p>No external security shutters to be permitted.</p>	<p>Weather protection has been provided for the building itself at entrances and key areas.</p> <p>Ground floor terraced landscape area to ensure activated street frontages.</p> <p>No external security shutters are proposed.</p>	<p>Yes.</p> <p>Yes.</p> <p>Yes.</p>
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CLPP01

Attachment 3

Development Control Plan Assessment Tables

<p>7.8 Solar Access - Any Development Application for the construction of buildings is required to submit detailed solar access diagrams for between 9am and 3pm mid-winter to demonstrate sufficient solar access is maintained to public and private spaces and streets</p>	<p>Solar access diagrams demonstrate that the proposal maintains adequate solar access to streetscape areas.</p>	<p>Yes.</p>
<p>8.1 Vehicle Parking and Storage – Above ground parking is not encouraged without appropriate design measures to mitigate adverse visual impacts.</p> <p>Bicycle racks/storage areas are to be provided in all developments in accordance with the following requirements.</p> <ul style="list-style-type: none"> residential development = 1 space per 4 apartments. 	<p>No above ground parking is proposed.</p> <p>The proposal includes a total of 18 lockable bicycle storage spaces in basement 1 of the building, exceeding the DCP requirements (of 14).</p>	<p>Yes.</p> <p>Yes.</p>
<p>Section 7.7.4 Key Controls Table (Table 23) – B1, B2, B3 and B4 zones</p>		
<p>Communal open space - 15% of site area. This control is able to be varied where the applicant demonstrates the development has good access to public open space or where the area of private open space is more than the minimum specified below.</p>	<p>The proposal delivers a total of 313m² of common open space, representing 16% of the site.</p>	<p>Yes.</p>
<p>Front Setback - <i>Residential flat buildings:</i> 4.5m to building façade line <i>Shop top housing:</i> 0m for first floor 4m for floors above first floor</p>	<p>4.5m building line setback provided to roadway frontages</p>	<p>Yes.</p>
<p>Car parking spaces - 1 space per dwelling, plus 0.5 spaces per 3 or more bedroom dwelling.</p> <p>Car parking spaces to be located below ground or behind the building</p> <p>1 visitor car parking space per 5 apartments (may be above ground)</p> <p>Bicycle parking spaces: 1 per 3 dwellings</p>	<p>Residential Spaces required = 58 Residential Spaces provided = 62</p> <p>Visitor paces required = 11 Visitor paces provided = 10 (plus one electric vehicle charging bay)</p> <p>Bicycle required = 17.5 Bicycle required = 18</p>	<p>Yes, reinforced by conditions of consent.</p>

MODIFIED CONSENT

- (i) The description of the development is to be modified to read:

Construction of a 7 storey Residential flat building with 53 units and 2 levels of basement car parking, rooftop terrace, landscaping, stormwater drainage, earthworks and associated civil works.

- (ii) Conditions 1.0(1) and 1.0(2) are to be modified to read as follows:

- 1.0(1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

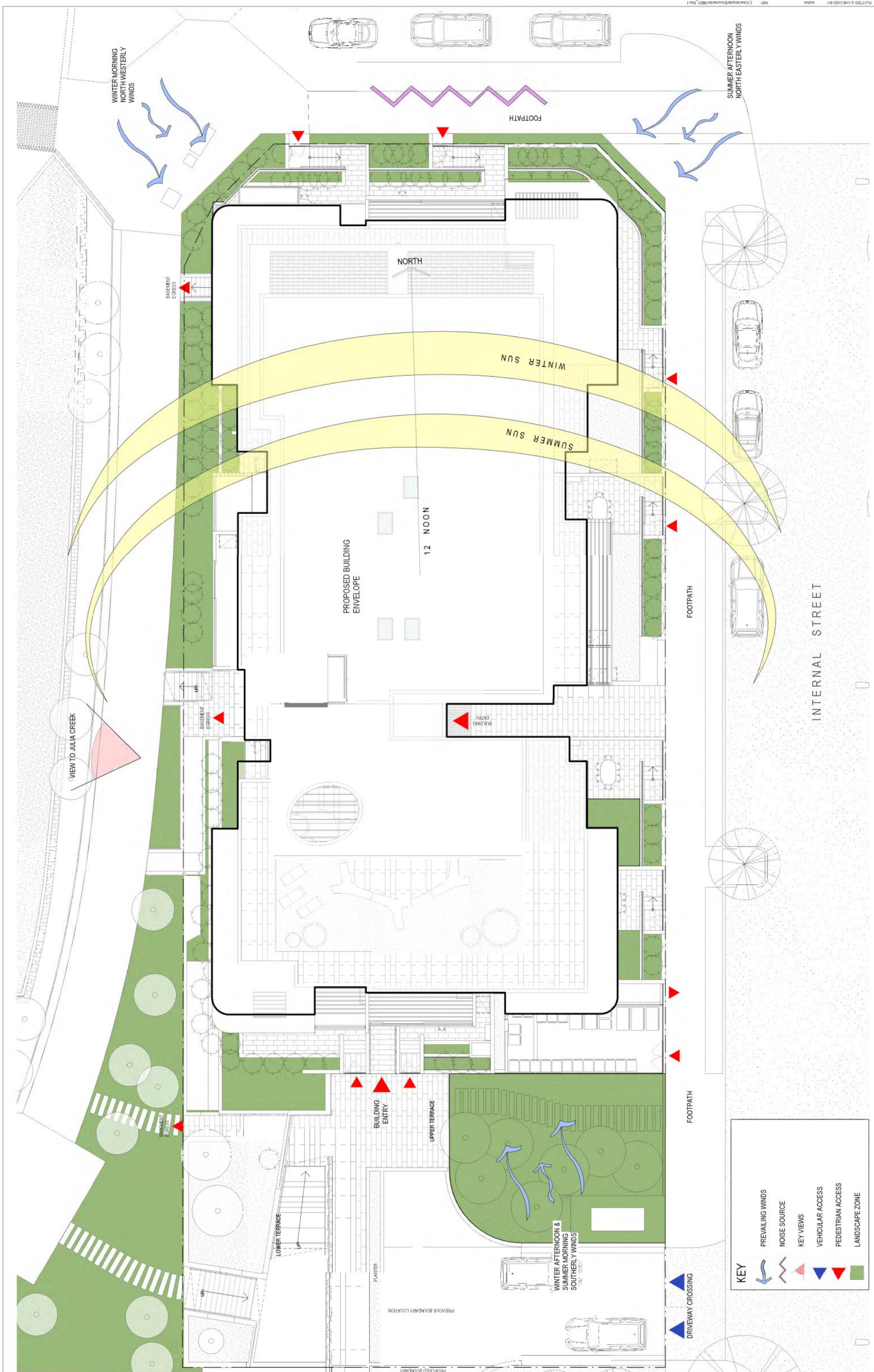
Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
DA1001 Issue 10	Site Plan	Allen Jack and Cottier	25 February 2020
DA1002 Issue 10	Site Calculations	Allen Jack and Cottier	25 February 2020
DA2001 Issue 12	Basement 2 Plan	Allen Jack and Cottier	25 February 2020
DA2002 Issue 13	Basement 1 Plan	Allen Jack and Cottier	25 February 2020
DA2101 Issue 14	Ground Floor Plan	Allen Jack and Cottier	25 February 2020
DA2102 Issue 13	Levels 1 and 2 Floor Plan	Allen Jack and Cottier	25 February 2020
DA2103 Issue 13	Levels 3 and 4 Floor Plan	Allen Jack and Cottier	25 February 2020
DA2104 Issue 13	Levels 5 and 6 Floor Plan	Allen Jack and Cottier	25 February 2020
DA2106 Issue 12	Roof Plan	Allen Jack and Cottier	25 February 2020
DA3101 Issue 13	Elevations 1 Plan	Allen Jack and Cottier	25 February 2020
DA3102 Issue 13	Elevations 2 Plan	Allen Jack and Cottier	25 February 2020
DA3201 Issue 11	Sections Plan	Allen Jack and Cottier	25 February 2020
L01 to L11 Issue A	Landscape Plans	JMD Design	29 November 2019

18188_CC_BE01 18188_CC_SE02 Revision 4	Engineering Plans	Henry and Hyams	4 February 2020
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Document Title	Prepared by	Date
BASIX Certificate No. 931257M_02	Thermal Environmental Engineering	17 December 2019
NatHERS Certificate No. 0002831120	ESD Synergy Pty Ltd	7 June 2018

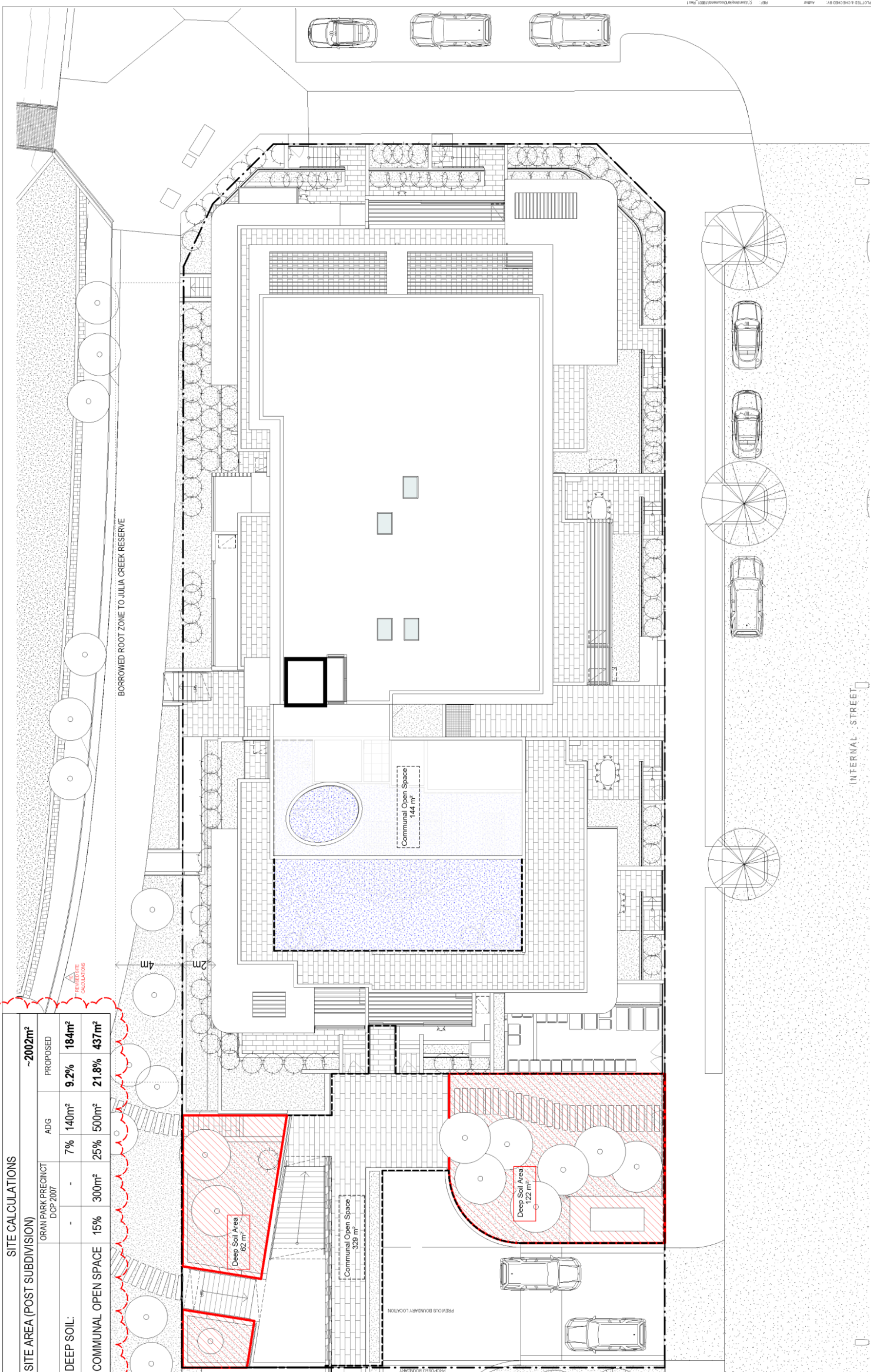
1.0(2) **Amended Plans** – Prior to the issue of any Construction Certificate amended plans must be submitted to and approved Council indicating the following:

- a) All units are to be allocated at least one car parking space.
- b) Car parking spaces should not be obstructed by any other parking space not associated with that unit. All tandem (stacked) spaces must be allocated to a 3 bedroom unit. Both spaces in a tandem (stacked) pair must be associated with the same unit.
- c) A total of 62 parking spaces allocated to the units (including the accessible spaces for the adaptable units) and 11 visitor spaces (including an electric vehicle only charging station space and an accessible space) must be provided.
- d) Each of the accessible spaces at level B2 must be allocated to an adaptable unit.



<p>Revision No. Description</p> <p>1. 02/01/20 PRELIMINARY COORDINATION</p> <p>2. 14/03/20 PRELIMINARY COORDINATION</p> <p>3. 22/03/20 ISSUED FOR DA</p> <p>4. 25/03/20 ISSUED FOR DA</p> <p>5. 31/03/20 ISSUED FOR DA</p> <p>6. 05/04/20 ISSUED FOR DA</p> <p>7. 09/04/20 ISSUED FOR REVIEW</p> <p>8. 14/04/20 ISSUED FOR APPROVAL</p> <p>9. 07/05/20 REVISION FOR COUNCIL 01</p> <p>10. 25/05/20</p>	<p>Ver. App'd</p> <p>AS BR</p> <p>AS BR</p> <p>AS BR</p>	<p>Key</p> <p>North arrow pointing up</p>	<p>Client</p> <p>GREENFIELDS DEVELOPMENT COMPANY</p>	<p>Architect</p> <p>AJ+C</p> <p>79 Myrtle Street Chippendale NSW 2008 AUSTRALIA Ph +61 2 8511 5222 Fx +61 2 9511 8200 ABR 23 003 782 250</p>	<p>Project</p> <p>ORAN PARK - RESIDENTIAL 1 ORAN PARK ORAN PARK</p>	<p>Drawing Title</p> <p>SITE PLAN</p>	<p>Scale</p> <p>1 : 100 @A1</p>	<p>Issue</p> <p>DA1001 10</p>
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SITE CALCULATIONS

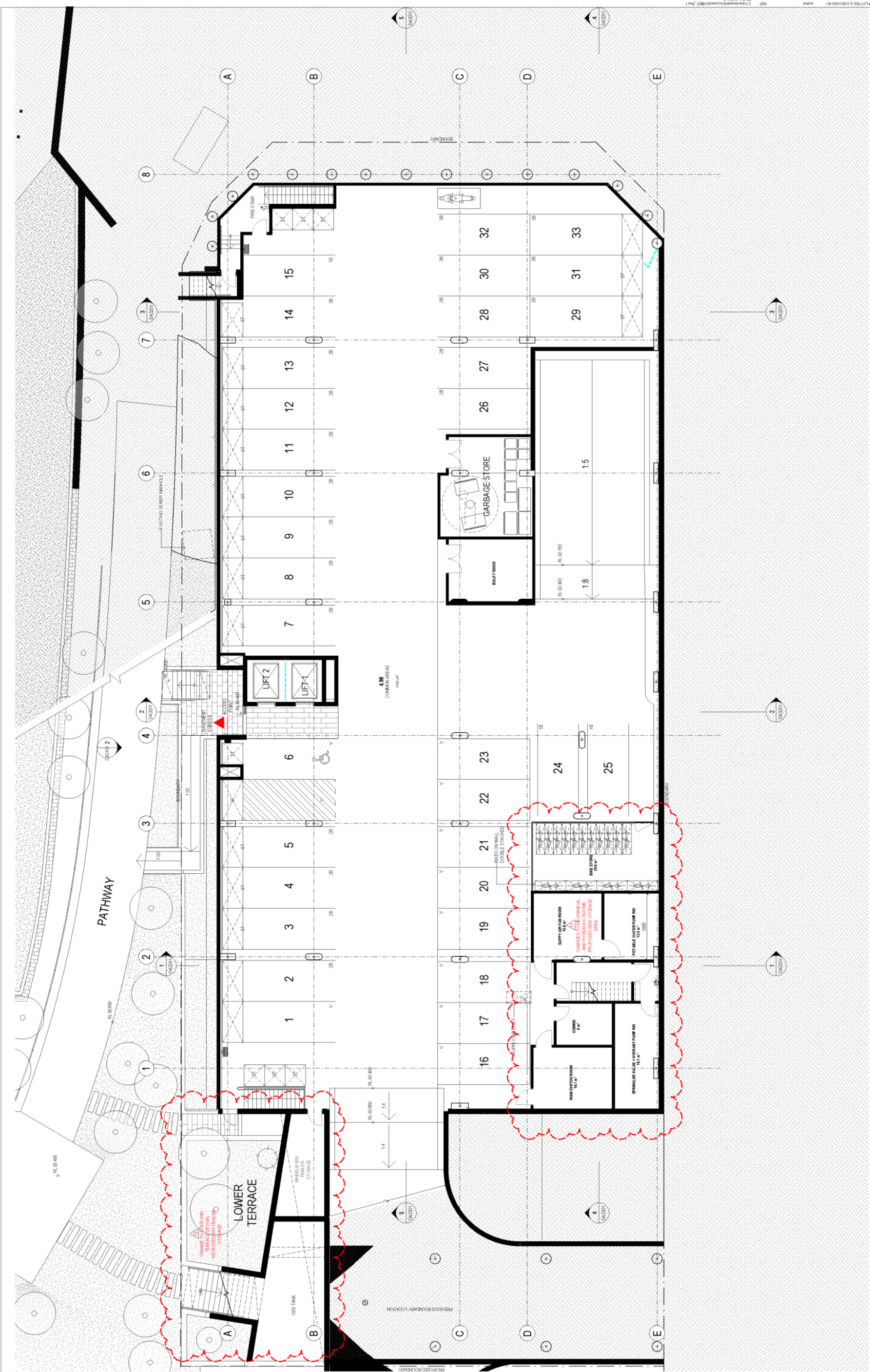
SITE AREA (POST SUBDIVISION) ~2002m²

	ORAN PARK PRECINCT DCP 2007	ADG	PROPOSED
DEEP SOIL:	-	7% 140m²	9.2% 184m²
COMMUNAL OPEN SPACE	15% 300m²	25% 500m²	21.8% 437m²

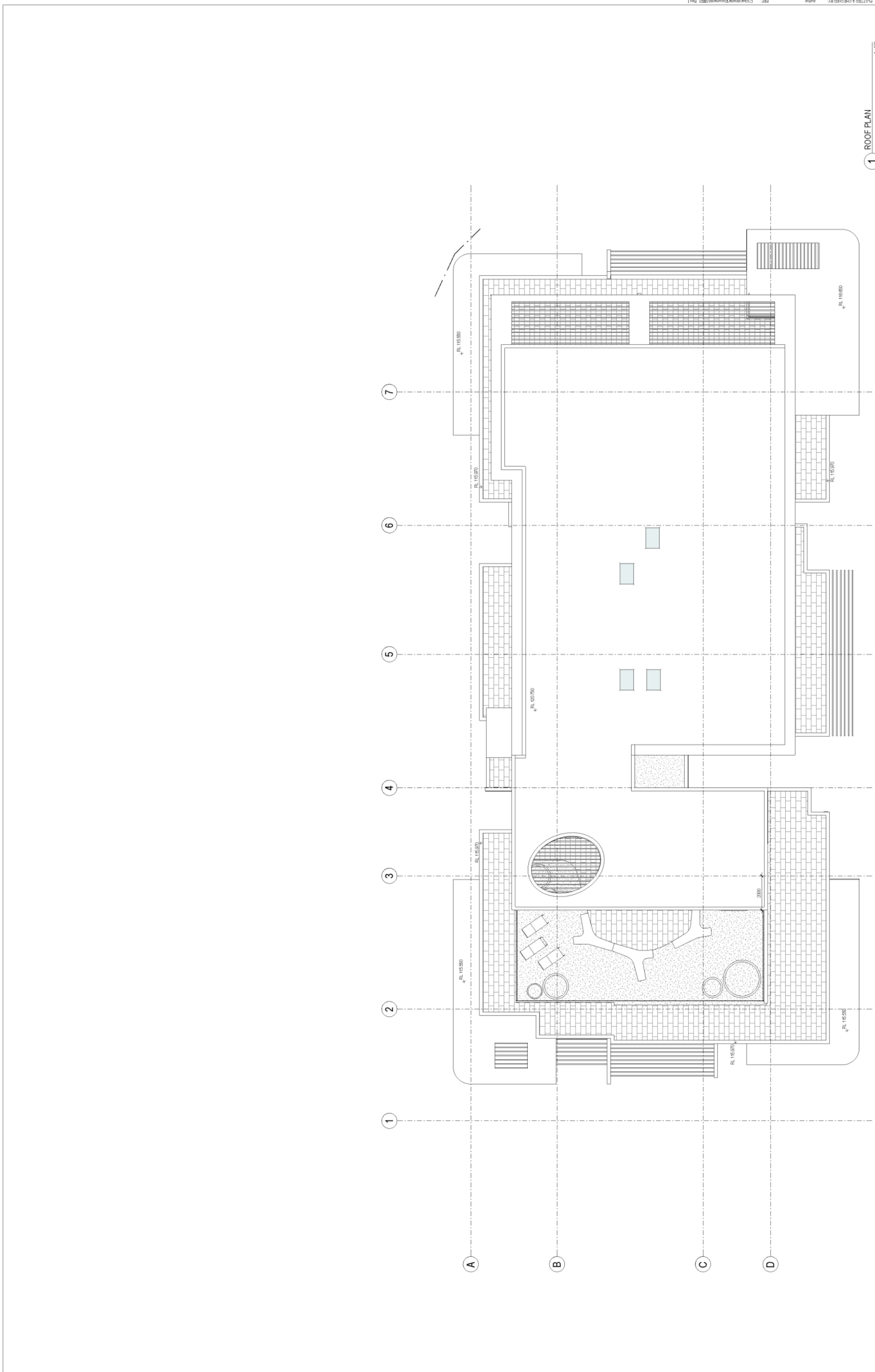
<p>Revisions</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td>1</td><td>14/01/18</td><td>PRELIM</td></tr> <tr><td>2</td><td>22/01/18</td><td>PRELIMINARY COORDINATION</td></tr> <tr><td>3</td><td>29/01/18</td><td>ISSUED FOR DA</td></tr> <tr><td>4</td><td>29/01/18</td><td>ISSUED FOR DA</td></tr> <tr><td>5</td><td>05/02/18</td><td>ISSUED FOR DA</td></tr> <tr><td>6</td><td>05/02/18</td><td>ISSUED FOR DA</td></tr> <tr><td>7</td><td>09/02/18</td><td>ISSUED FOR DA</td></tr> <tr><td>8</td><td>09/02/18</td><td>ISSUED FOR DA</td></tr> <tr><td>9</td><td>09/02/18</td><td>ISSUED FOR DA</td></tr> <tr><td>10</td><td>26/02/20</td><td>REVISION FOR COUNCIL BR</td></tr> </tbody> </table>	No.	Date	Description	1	14/01/18	PRELIM	2	22/01/18	PRELIMINARY COORDINATION	3	29/01/18	ISSUED FOR DA	4	29/01/18	ISSUED FOR DA	5	05/02/18	ISSUED FOR DA	6	05/02/18	ISSUED FOR DA	7	09/02/18	ISSUED FOR DA	8	09/02/18	ISSUED FOR DA	9	09/02/18	ISSUED FOR DA	10	26/02/20	REVISION FOR COUNCIL BR	<p>Client</p> <p>GREENFIELDS DEVELOPMENT COMPANY</p>	<p>Architect</p> <p>AJ+C AJ+C ARCHITECTS</p> <p>79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 9311 8222 fx +61 2 9311 8200 ABN 53 003 782 250</p>	<p>Project</p> <p>ORAN PARK - RESIDENTIAL 1 CNR PODIUM WAY & INTERNAL STREET ORAN PARK</p> <p>Prog. No. 18001</p>	<p>Drawing Title</p> <p>SITE CALCULATIONS</p>	<p>Scale</p> <p>1 : 100 @A1</p>	<p>Drawing No.</p> <p>DA1002 10</p>	<p>Issue</p> <p>NOT FOR CONSTRUCTION</p>
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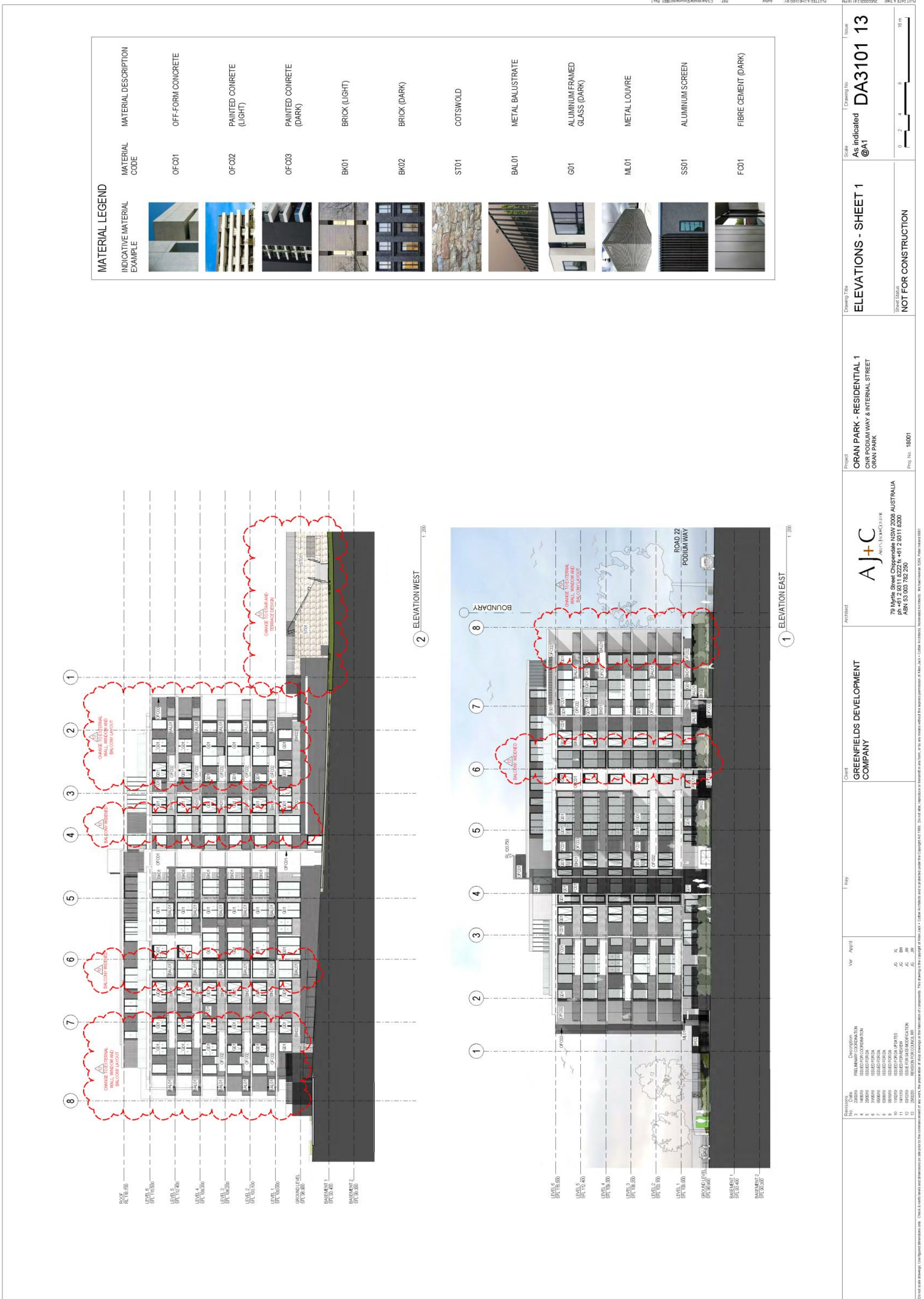


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1 ROOF PLAN 1:100

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Project: **ORAN PARK - RESIDENTIAL 1**
 ORAN PODIUM WAY & INTERNAL STREET
 ORAN PARK
 Proj. No. 18001

Architect: **AJ+C**
 AUSTRALIAN ARCHITECTS
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 ph +61 2 9311 8222 fx +61 2 9311 8200
 ABN 53 003 782 250

Client: **GREENFIELDS DEVELOPMENT COMPANY**

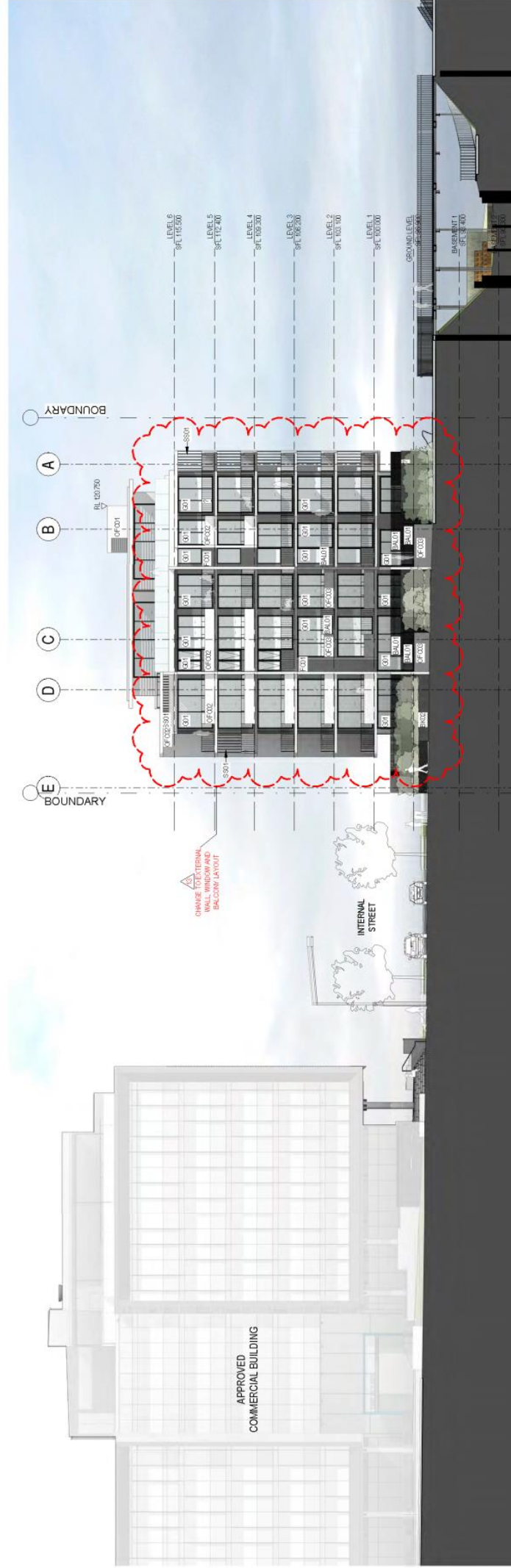
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Sheet Status: **NOT FOR CONSTRUCTION**

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1 ELEVATION SOUTH 1:200



2 ELEVATION NORTH 1:200

MATERIAL LEGEND	INDICATIVE MATERIAL EXAMPLE	MATERIAL CODE	MATERIAL DESCRIPTION
	OFC01	OFF-FORM CONCRETE	
	OFC02	PAINTED CONCRETE (LIGHT)	
	OFC03	PAINTED CONCRETE (DARK)	
	BK01	BRICK (LIGHT)	
	BK02	BRICK (DARK)	
	ST01	COTSWOLD	
	BAL01	METAL BALUSTRATE	
	G01	ALUMINUM FRAMED GLASS (DARK)	
	ML01	METAL LOUVRE	
	SS01	ALUMINUM SCREEN	
	FC01	FIBRE CEMENT (DARK)	

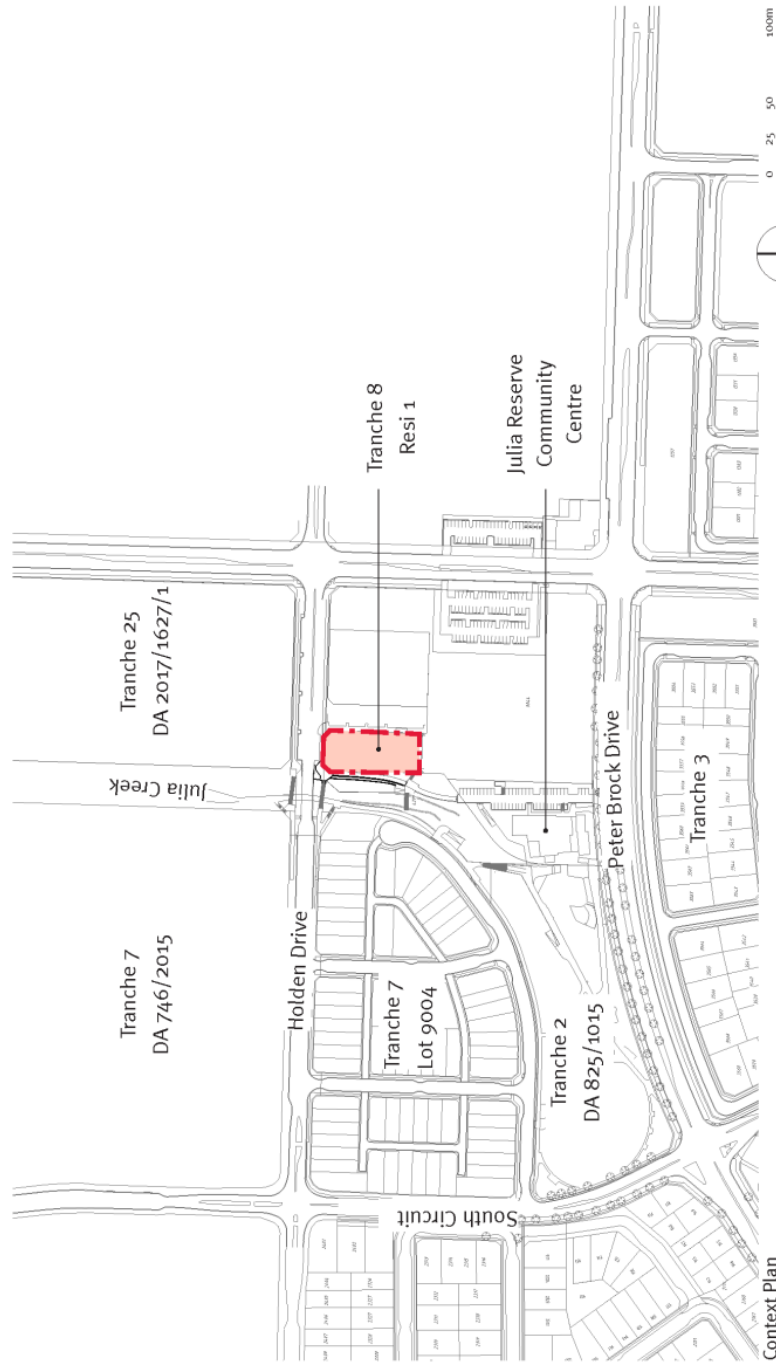
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td>1</td><td>20/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>2</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>3</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>4</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>5</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>6</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>7</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>8</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>9</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>10</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>11</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>12</td><td>14/05/20</td><td>ISSUED FOR COORDINATION</td></tr> <tr><td>13</td><td>20/05/20</td><td>ISSUED FOR COORDINATION</td></tr> </tbody> </table>	No.	Date	Description	1	20/05/20	ISSUED FOR COORDINATION	2	14/05/20	ISSUED FOR COORDINATION	3	14/05/20	ISSUED FOR COORDINATION	4	14/05/20	ISSUED FOR COORDINATION	5	14/05/20	ISSUED FOR COORDINATION	6	14/05/20	ISSUED FOR COORDINATION	7	14/05/20	ISSUED FOR COORDINATION	8	14/05/20	ISSUED FOR COORDINATION	9	14/05/20	ISSUED FOR COORDINATION	10	14/05/20	ISSUED FOR COORDINATION	11	14/05/20	ISSUED FOR COORDINATION	12	14/05/20	ISSUED FOR COORDINATION	13	20/05/20	ISSUED FOR COORDINATION	<p>Ver App'd</p> <table border="1"> <thead> <tr> <th>Ver</th> <th>App'd</th> </tr> </thead> <tbody> <tr><td>AS</td><td>JK</td></tr> <tr><td>AC</td><td>BM</td></tr> <tr><td>JK</td><td>BM</td></tr> <tr><td>JK</td><td>BM</td></tr> </tbody> </table>	Ver	App'd	AS	JK	AC	BM	JK	BM	JK	BM	<p>Client</p> <p>GREENFIELDS DEVELOPMENT COMPANY</p>	<p>Architect</p> <p>AJ+C ARCHITECTS</p> <p>79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 6511 5222; fax +61 2 9511 8200 ADR 20 003 752 250</p>	<p>Project</p> <p>ORAN PARK - RESIDENTIAL 1 ORAN PARKWAY & INTERNAL STREET ORAN PARK</p>	<p>Drawing Title</p> <p>ELEVATIONS - SHEET 2</p>	<p>Scale</p> <p>As Indicated @A1</p>	<p>Drawing No</p> <p>DA3102 13</p>	<p>Issue</p> <p>NOT FOR CONSTRUCTION</p>
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Oran Park Town Tranche 8 Resi 1 For Section 4.55 Approval

Nov 2019



Design Statement

JMDdesign have prepared a Landscape Design for a Residential Apartment Block located at the south east corner of Podium Way and Julia Creek, Oran Park for GDC2 in Tranche 8. The proposed development is for a six storey residential apartment block with two basement levels of carparking. The apartment block faces west on to the yet to be embellished Julia Creek. This design statement deals with the landscape treatment of the surrounds to the apartment block, the detail entry treatments and the roof terrace.

The Proposed Development is located within the Oran Park Town Centre and is subject to development controls identified in the Oran Park Part B Site Specific DCPs specifically Part B1 Oran Park Town Centre adopted 15 October 2015.

Key aspects of the Vision for Oran Park Town Centre identified in the Part B DCP are:

- The vision for the Oran Park Town Centre is to create a people orientated and pedestrian friendly environment, where the built form has a human scale at street level, with cultural and civic expression.
- Quality residential opportunities are available for people to enjoy all of the benefits of town centre living. The Town Centre is prosperous and vibrant during the day and at night and all people feel safe and comfortable moving through the Town Centre at any time.

The landscape proposal for the residential apartment block and surrounds aims to provide a permeable landscape with a fine balance between public and private space. The apartment block forms a portion of the western edge of the Oran Park Town Centre and faces on to Julia Creek and Julia Reserve. A sizable portion of landscape exists at the southern end of the block which allows for deep soil planting, outdoor seating and a pedestrian access to the basement and between the Town Centre and Julia Reserve. This area also takes up the level transition through a series of paved terraces and stairs between the apartment entry at RL 97.60 and Julia Creek at RL 93.40.

The planting strategy uses a mix of robust native and exotic species along the frontage to Julia Creek and progresses to a more refined planting design on the building surrounds and through the green link that connects Julia Reserve to the Town Centre providing a smooth transition between the naturalized and civic areas.

A mix of native trees will punctuate the lower terrace and attenuate the retaining wall on the back, whilst a number of silver birches (*Betula nigra*) will provide a distinctive character to the Communal Open Space. Ground covers will progress from a mix of native grasses at Julia Reserve into low growing colourful ground covers such as *Trachelospermum tricolor* and *Clivia miniata* along the terraces' planters. Perimeter planting to the building west terraces will be accentuated by tree planting along Julia Reserve, thus providing a screening effect to the building's West façade.

At the roof top communal space, the design approach aims at providing a multi-use space which includes an area for meals, informal seating, a rest area and play area. Communal tables and seats are located on the shaded areas for comfort and informal seating can be set out on a synthetic grassed area at the most secluded part of the roof top which comprises the best views into Julia Reserve and Julia Creek.

The use of planters ensures a consistency in the landscape treatment of the roof top and creates screening opportunities to define the different zones and direct internal circulations. The proposal uses a number of fruit trees and robust kitchen herbs, that may be used by the residents. The palette explores a diverse range of leaf colours, textures and volumes to create a vivid effect.

Finally, the park furniture and paving materials on both areas are consistent with the palette proposed for Tranche 8 Commercial area 1 ground floor and rooftop areas for consistency and ease of maintenance.

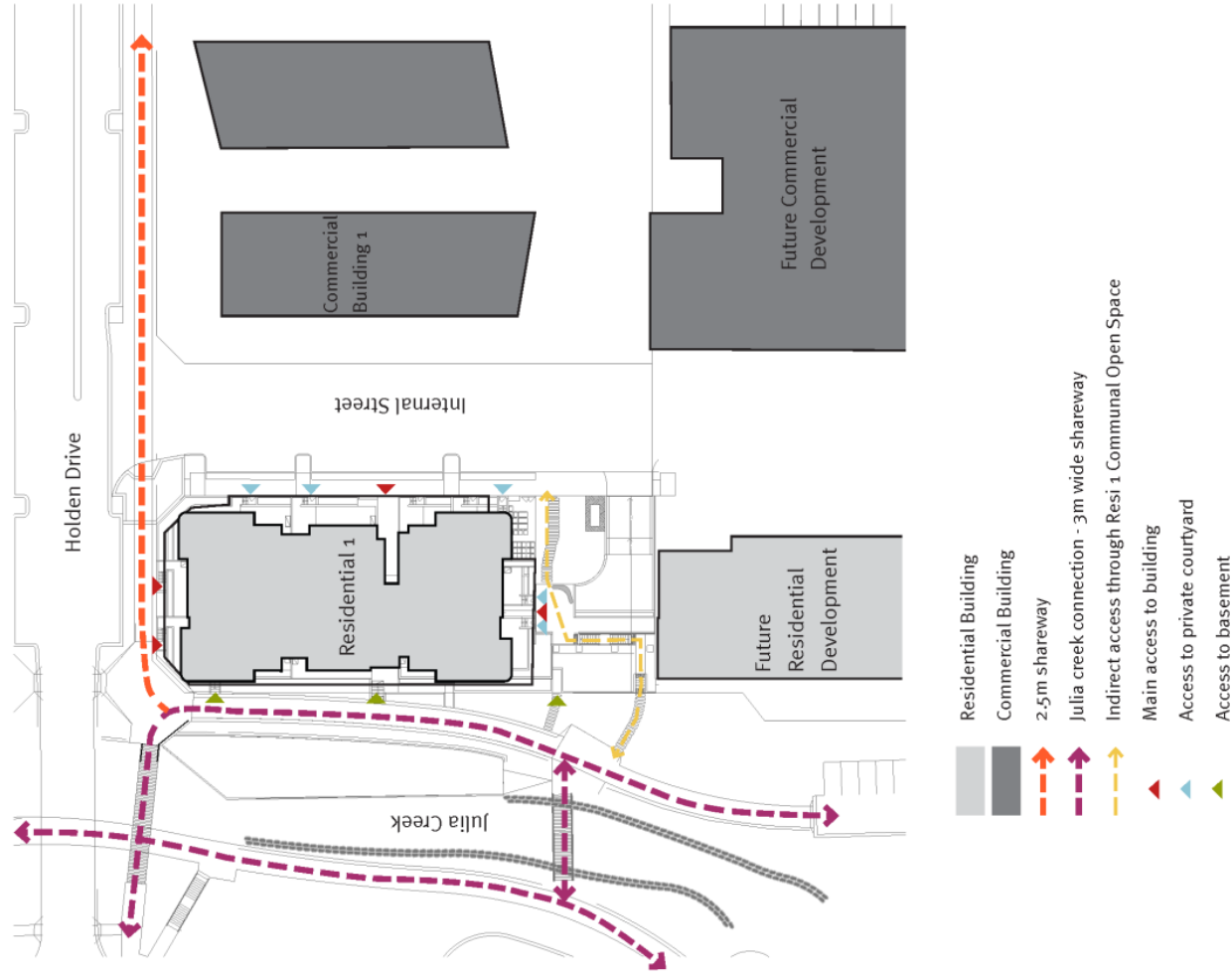
Drawing Register

Drawing No.	Drawing Title	Scale	Issue No.
L01	Title Sheet	1:2500	A
L02	Design Analysis & Key Principles 01	1:500	A
L03	Design Analysis & Key Principles 02	1:500	A
L04	Landscape Masterplan	1:250	A
L05	Detail Plan 01 - Communal Open Space	1:100	A
L06	Detail Plan 02 - Roof Top	1:100	A
L07	Site Sections	As shown	A
L08	Indicative Planting Palette - Ground Floor	N/A	A
L09	Indicative Planting Palette - Roof Top	N/A	A
L10	Indicative Materials Palette - Ground Floor	N/A	A
L11	Indicative Materials Palette - Roof Top	N/A	A

<p>Client</p>	<p>Consultant</p>	<p>Revisions</p> <table border="1"> <tr> <th>Issue</th> <th>Date</th> <th>Description</th> <th>Drawn</th> <th>Check</th> </tr> <tr> <td>A</td> <td>29.11.19</td> <td>For Section 4.55 Approval</td> <td>BHC</td> <td>BC/ID</td> </tr> </table>	Issue	Date	Description	Drawn	Check	A	29.11.19	For Section 4.55 Approval	BHC	BC/ID	<p>190 James Street Redfern NSW 2016 T (02) 9310 5644 info@jmdesign.com.au</p>	<p>Project</p> <p>Oran Park Town Tranche 8 Drawing title Title sheet</p>	<p>Date</p> <p>November 2019 Scale 1:2500@A1 /1:5000@A3</p>	<p>Drawing No.</p> <p>LO1</p>	<p>Issue No.</p> <p>A</p>
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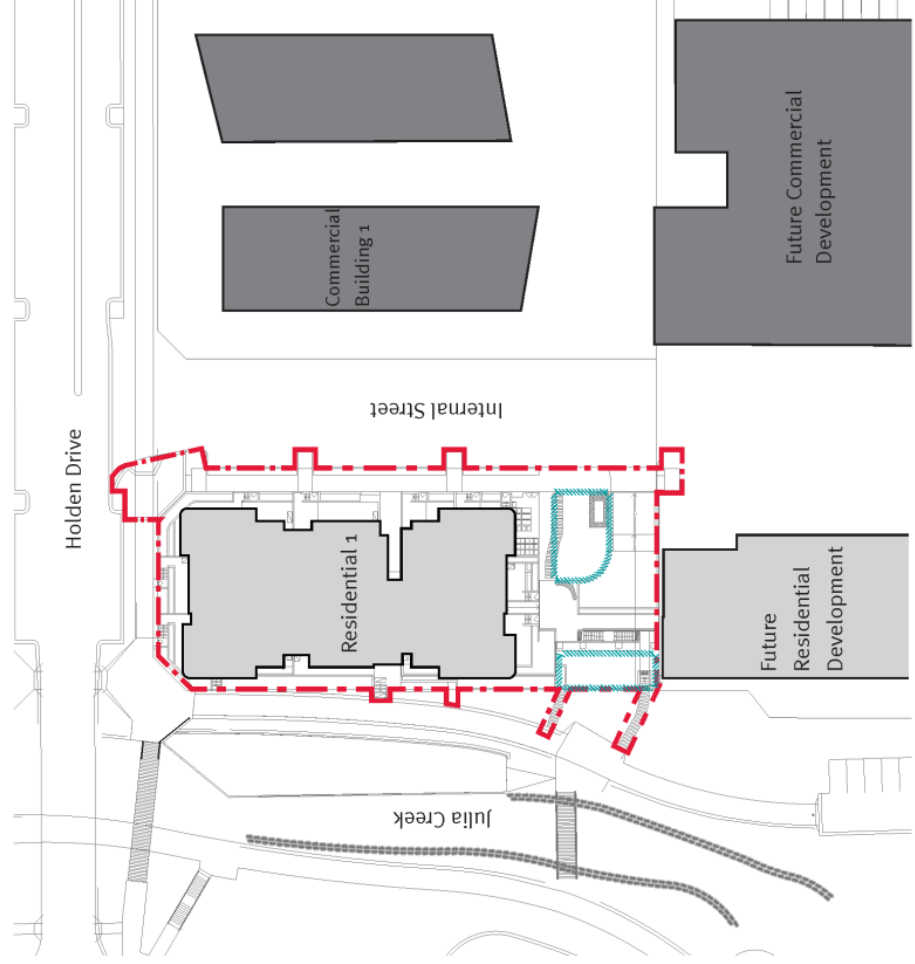
Design Analysis & Key Principles 01

Circulation

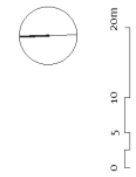


- Residential Building
- Commercial Building
- 2.5m shareway
- Julia creek connection - 3m wide shareway
- Indirect access through Resi 1 Communal Open Space
- Main access to building
- Access to private courtyard
- Access to basement

Lot Layout and Deep Soil Zone



- Residential building
- Commercial building
- Lot boundary
- Deep soil zone



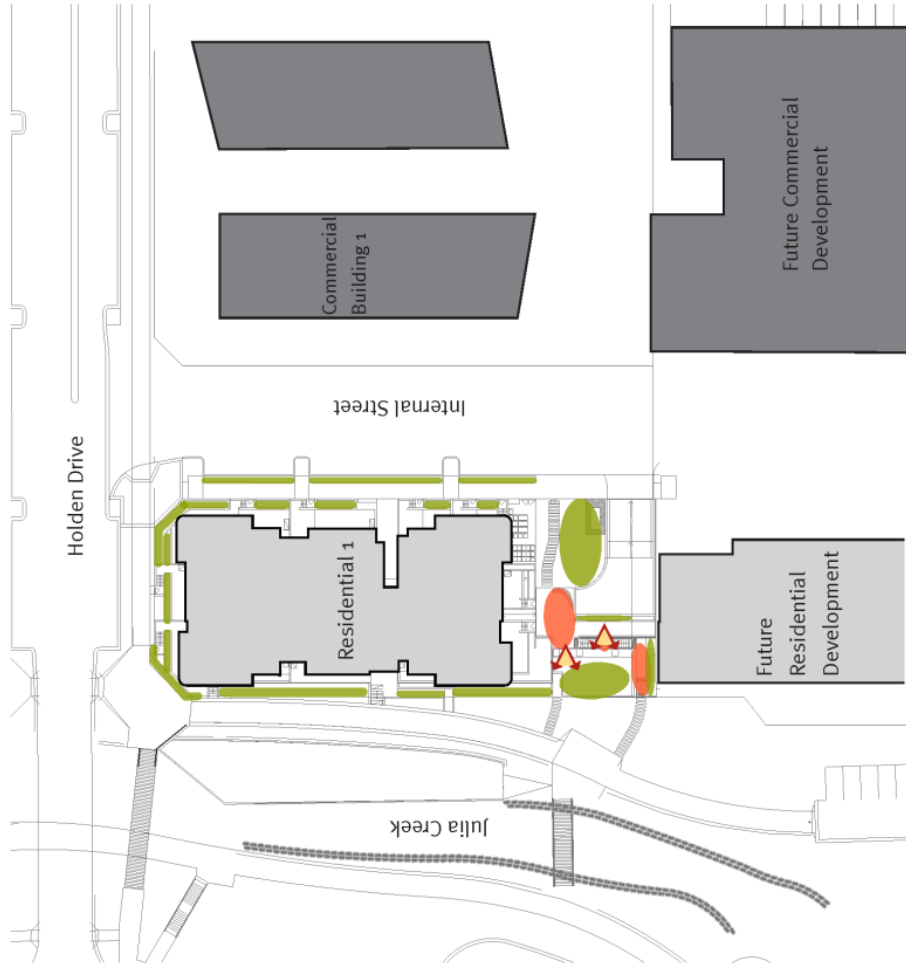
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		190 James Street Redfern NSW 2016 T (02) 9310 5644 info@jmdesign.com.au					

Attachment 5

CLPP01

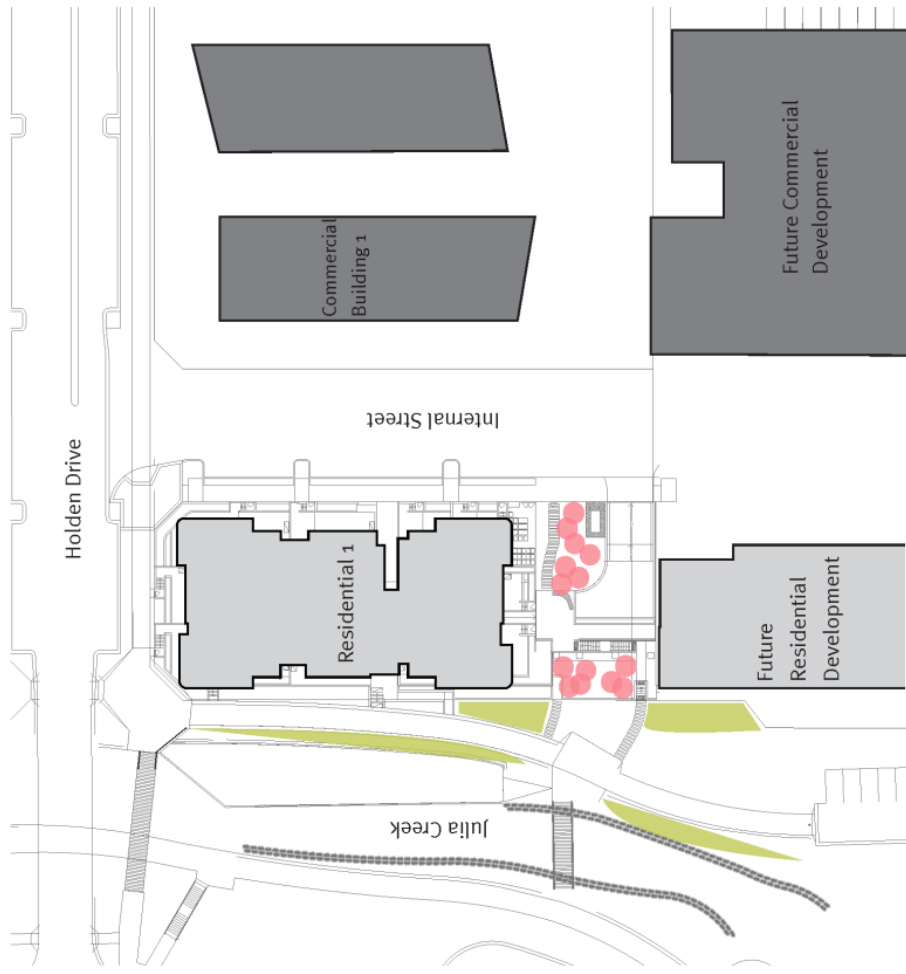
Design Analysis & Key Principles 02

Spatial Definition

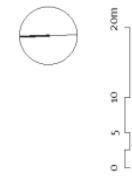


- Residential building
- Commercial building
- Planting along retention walls and terraces defines building edge and blends it into the surrounding landscape, softening its implantation on the landscape
- A number of platforms provide an indirect access to the building and private courtyards
- Lookout point to Julia Creek

Tree Strategy

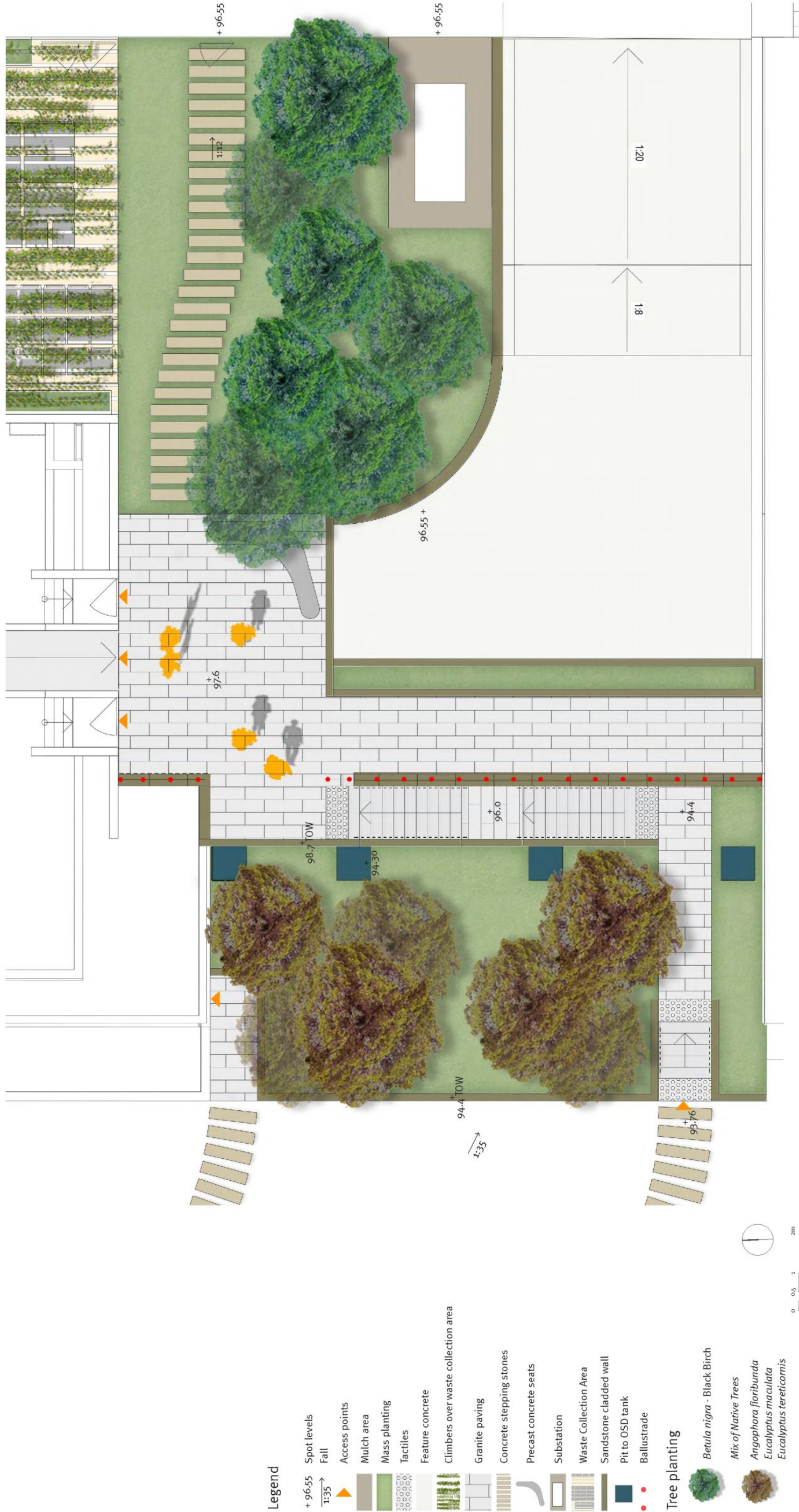


- Residential building
- Commercial building
- Native trees provide screening to Residential 1 building (refer Julia Reserve package)
- Clusters of trees punctuate different platforms & attenuate the retaining wall



Client GREENFIELDS Development Company	Consultant AJ+C ALLEN JACK & COTTIER	Revisions	Check	JMD design	190 James Street Redfern NSW 2016 T (02) 9310 5644 info@jmdesign.com.au	Project Oran Park Town Tranche 8 Drawing title Design Principles	Date November 2019 Scale 1:500@A1 / 1:1000@A3	Drawing No. LO3	Issue No. A
		Issue A	Drawn BHC						

Detail Plan 01 - Communal Open Space



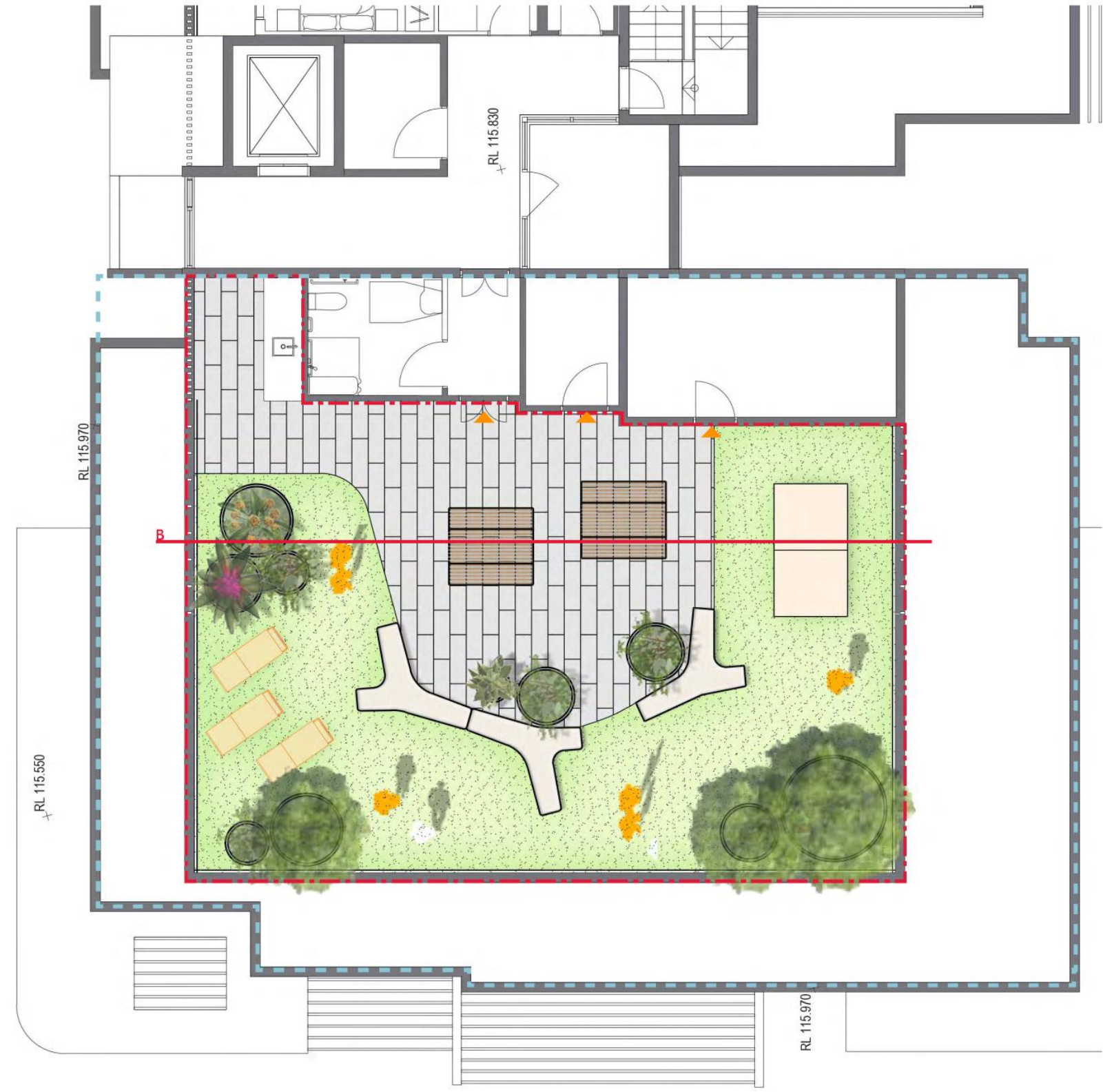
Legend

- + 96.55 Spot levels
- 1:35 Fall
- Access points
- Mulch area
- Mass planting
- Tactiles
- Feature concrete
- Climbers over waste collection area
- Granite paving
- Concrete stepping stones
- Precast concrete seats
- Substation
- Waste Collection Area
- Sandstone clad wall
- Pit to OSD tank
- Ballustrade
- Tree planting
 - Betula nigra* - Black Birch
 - Mix of Native Trees
 - Angophora floribunda*
 - Eucalyptus maculata*
 - Eucalyptus tereticornis*

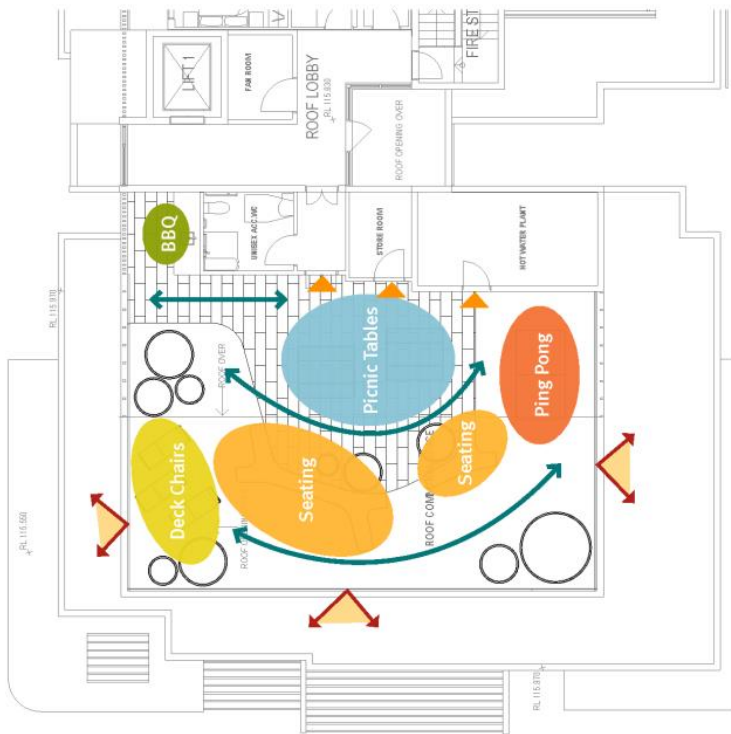
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														Scale		1:50@A1/1:100@A3						

Attachment 5 CLPP01

Detail Plan 02 - Roof Top

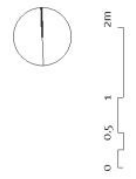


Key Principles



Legend

- Extent of works
- Roof line
- Granite pavers
- Artificial turf
- Communal table and seats
- Sculpture seat
- Deck chairs
- Planters
- Table Tennis
- Access points
- Lookout point to Julia Creek
- Main Circulation



JMD design

190 James Street
Redfern NSW 2016
T (02) 9310 5644
info@jmdesign.com.au

Project
Oran Park Town Tranche 8
Drawing title
Detail Plan 02 - Rooftop

Date
November 2019
Scale
1:50@A1/1:00@A3

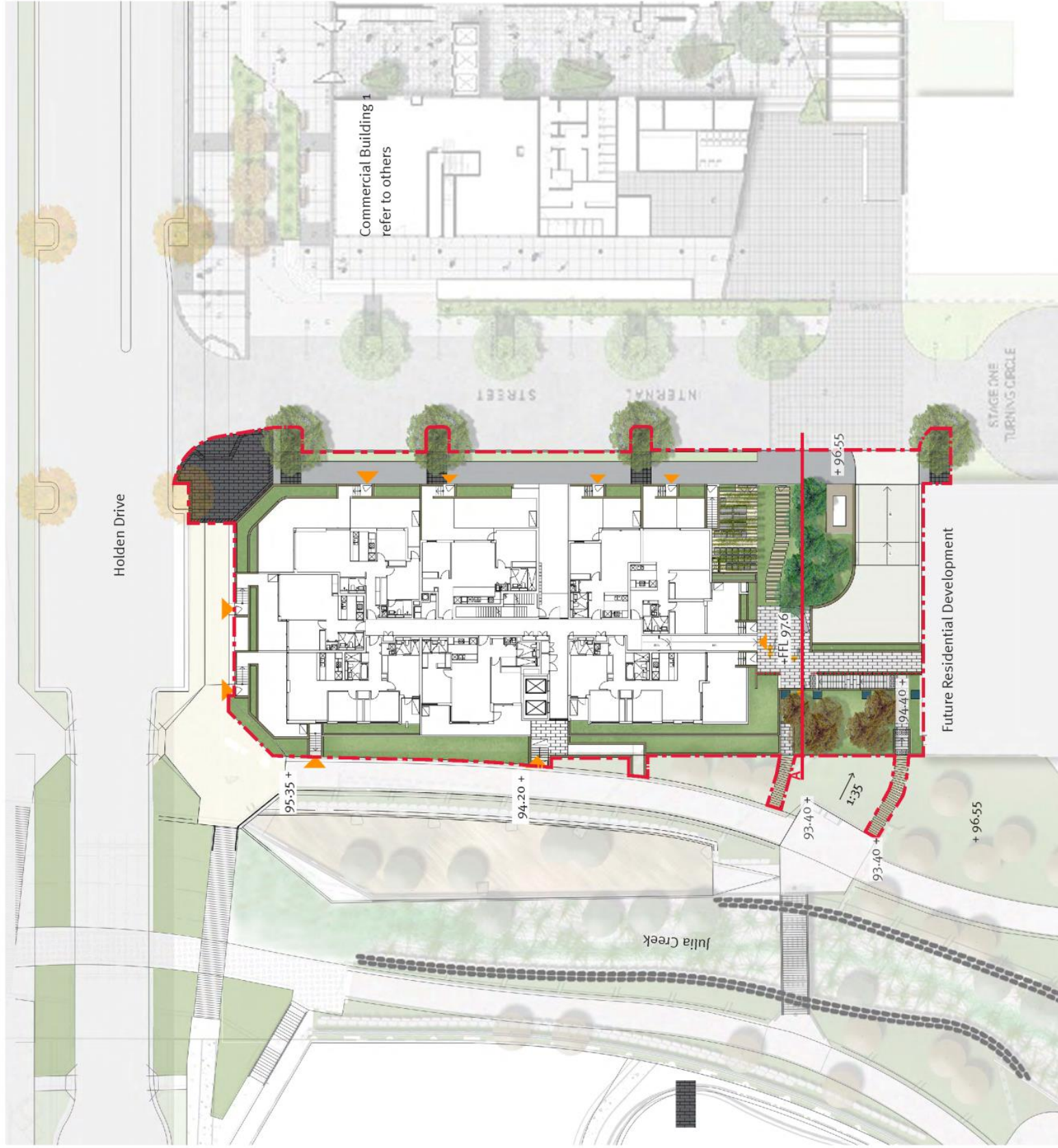
Drawing No. | Issue No.
LO6 | A

Revisions	Date	Description	Drawn	Check
Issue A	29.11.19	For Section 4.55 Approval	BHC	BC/ID

Client **GREENFIELDS** Development Company

Consultant **AJ+C** ALLEN JACK & COTTIER

Landscape Masterplan



- Legend**
- Extent of works
 - Access points
 - Fall
 - Spot levels
 - Mulch area
 - Turf area
 - Mass planting
 - Climbers over waste collection area
 - Granite pavers to streetscape
 - Feature concrete paving to future detail
 - Concrete paving to streetscape
 - Granite paving to communal open space
 - Concrete stepping stones
 - Precast concrete seat
 - Electrical Substation
 - Waste Collection Area
 - Sandstone clad wall
 - Pit to OSD tank
 - Ballustrade
- Tree planting**
- Cupaniopsis anacardioides*
 - Betula nigra* - Black Birch
 - Mix of Native Trees
 - Angophora floribunda*
 - Eucalyptus maculata*
 - Eucalyptus tereticornis*
 - Street trees to separate submission by others
 - Street trees to Holden Drive to separate submission



JMD design

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Redfern NSW 2016
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info@jmdesign.com.au

Project
Oran Park Town Tranche 8
Drawing title
Landscape Masterplan

Date
November 2019
Scale
1:250@A1/1:500@A3

Drawing No. **LO4**
Issue No. **A**

Revisions

Issue	Date	Description
A	29.11.19	For Section 4.55 Approval

Client
GREENFIELDS
Development Company

Consultant
AJ+C
ALLEN JACK & COTTIER

Drawn
BHC

Check
BC/ID

Attachment 5

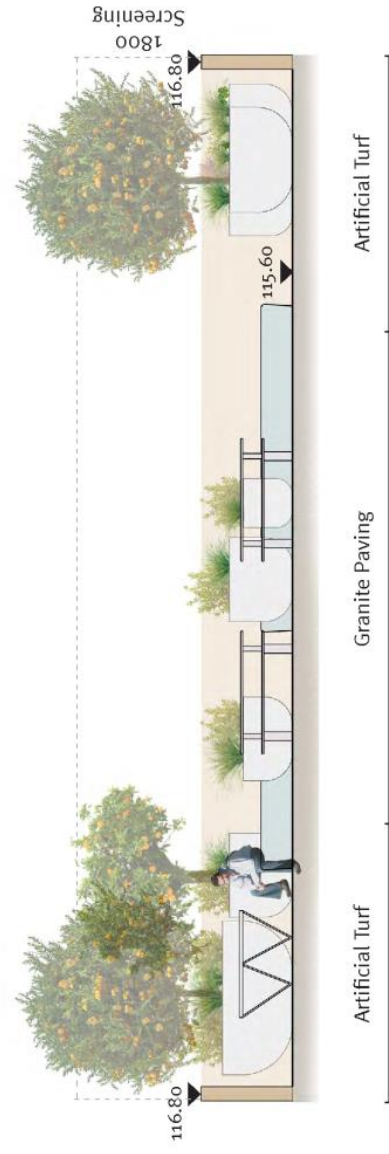
CLPP01

Site Sections



Section A - Communal Open Space

1:100 @ A1



Section B - Roof Top

1:50 @ A1



JMD design

Consultant
AJ+C
ALLEN JACKSON COTTIER

Client
GREENFIELDS
Development Company

Revisions		Check		Drawn		Description		Date	
Issue	Date	BC/ID	BC/ID	BHC	BHC	For Section 4.55 Approval	29.11.19	A	
A									

Project
Oran Park Town Tranche 8
Drawing title
Site Sections

Date
November 2019
Scale
Scale

Drawing No.
L07

Issue No.
A

Indicative Planting Palette - Ground Floor

Botanical name	Common name	Height	Pot size
Trees			
<i>Betula nigra</i>	Black Birch	15m	100L
<i>Angophora floribunda</i>	Rough-barked Apple	15-20m	75L
<i>Eucalyptus moluccana</i>	Grey Box	15-20m	75L
<i>Eucalyptus teneticornis</i>	Blue Gum	15-20m	75L
<i>Cupaniopsis anacardioides</i>	Tuckeroo	12m	100L
Shrubs & Feature Plants			
<i>Acmena smithii</i> 'Hot Flush'	Small Leafed Lily Pilly	4m	5L
<i>Gardenia jasminoides</i>	Cape Jasmine	1m	5L
<i>Murraya paniculata</i>	Orange Jessamine	1.2m	5L
<i>Callistemon viminalis</i> 'Little John'	Dwarf Bottlebrush	800mm	5L
<i>Doryanthes excelsa</i>	Gynea Lily	1-2m	45L
<i>Pittosporum tobira</i> 'miss muffet'	Miss Muffet	600mm	5L
<i>Raphiolepis indica</i> 'Snow Maiden'	Indian Hawthorn	600mm	5L
<i>Teucrium fruticans</i>	Bush Germander	600mm	5L
<i>Strelitzia reginae</i>	Bird of Paradise	600mm	45L
<i>Westringia fruticosa</i> 'Grey Box'	Dwarf Native Rosemary	600mm	5L
<i>Westringia fruticosa</i> 'Zena'	Costal Rosemary	900mm	5L
Grasses, Groundcovers & Climbers			
<i>Myoporum parvifolium</i>	Creeping Boobialla	200mm	140mm
<i>Clivia miniata</i>	Natal Lily	350mm	140mm
<i>Grevillea lanigera</i> 'Mt Tamboritha'	Spinder Flower	300mm	140mm
<i>Trachelospermum jasminoides</i>	Star Jasmine	300mm	140mm
<i>Liriope Muscari</i> 'Just Right'	Turf Lily	500mm	140mm
<i>Tradescantia spathacea</i>	Boatlily	300mm	140mm
<i>Trachelospermum jasminoides</i> 'Tricolour'	Star Jasmine	200mm	140mm
<i>Viola hederacea</i>	Native Violets	100mm	90x50x50



Cupaniopsis anacardioides



Eucalyptus tereticornis



Eucalyptus moluccana



Angophora floribunda



Betula nigra



Pittosporum tobira 'miss muffet'



Doryanthes excelsa



Callistemon viminalis 'Little John'



Gardenia jasminoides



Rhaphiolepis indica 'Snow Maiden'



Westringia fruticosa 'Zena'



Westringia fruticosa 'Grey Box'



Strelitzia reginae



Teucrium fruticans



Rhaphiolepis indica 'Snow Maiden'



Liriope Muscari 'Just Right'



Trachelospermum jasminoides 'Tricolour'



Grevillea lanigera 'Mt Tamboritha'



Clivia miniata



Murraya paniculata



Tradescantia spathacea



Tradescantia spathacea



Viola hederacea



Trachelospermum jasminoides



Myoporum parvifolium

190 James Street
Redfern NSW 2016
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info@jmdesign.com.au



JMD design

Drawn BHC
Check BC/ID

Revisions
Date 29.11.19
Issue A
Description For Section 4.55 Approval

Client
GREENFIELDS Development Company

Consultant
AJ+C ALLEN JACKS+COTTIER






Project
Oran Park Town Tranche 8
Drawing title
Indicative Planting Palette





Date
November 2019
Scale
N/A

Drawing No.
LO8

Issue No.
A

Indicative Planting Palette - Roof Top

Botanical name	Common name	Height	Pot size
 <i>Citrus hystrix</i>	Kaffir Lime	1.5m	45L
 <i>Citrus limon 'Meyer'</i>	Meyer Lemon	1.5m	45L
 <i>Citrus sinensis</i>	Navel Orange	1.5m	45L
Shrubs & Herbs in pots			
 <i>Artemisia dracuncululus</i>	Tarragon	400mm	140mm
 <i>Allium schoenoprasum</i>	Chives	300mm	140mm
 <i>Cymbopogon citratus</i>	Lemon Grass	500mm	140mm
 <i>Galium odoratum</i>	Woodruff	300mm	140mm
 <i>Lavandula stoechas</i>	French Lavender	500mm	140mm
 <i>Mentha spicata</i>	Spearmint	200mm	140mm
 <i>Oregano vulgare</i>	Oregano	100mm	140mm
 <i>Rosmarinus officinalis</i>	Rosemary	700mm	140mm
 <i>Salvia officinalis</i>	Sage	300mm	140mm
 <i>Thymus citriodorus</i>	Citrus Thyme	100mm	140mm
 <i>Thymus vulgaris</i>	Garden Thyme	200mm	140mm

				190 James Street Redfern NSW 2016 T (02) 9310 5644 info@jmdesign.com.au	Project Oran Park Town Tranche 8 Drawing title Indicative Planting Palette	Date November 2019 Scale N/A	Drawing No. L09	Issue No. A
				Revisions Issue A	Date 29.11.19	Description For Section 4.55 Approval	Drawn BHC	Check BC/ID

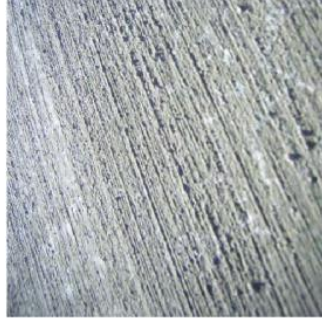
Indicative Materials Palette - Ground Floor



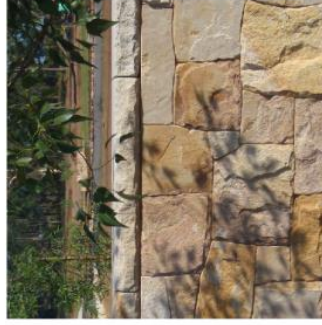
1000 x 300 x 40mm
'Sesame Grey' exfoliated granite



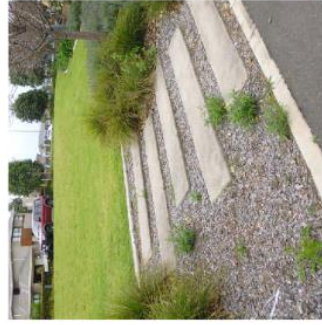
400 x 400 x 40mm
'Raven Black' exfoliated granite



Concrete with broom finish



Sandstone Cladding



Precast concrete stepping stone



Precast concrete seat



Stairs with handrail



JMD design

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Consultant
AJ+C
ALLEN JACK & COTTIER

Client
GREENFIELDS
Development Company

Revisions		Description	Drawn	Check
Issue	Date			
A	29.11.19	For Section 4.55 Approval	BHC	BC/ID

Project	Date	Drawing No.	Issue No.
Oran Park Town Tranche 8 Drawing title Indicative Materials Palette	November 2019 Scale N/A	L10	A

Indicative Materials Palette - Roof Top



Artificial turf



1000 x 300 x 40mm
'Sesame Grey' exfoliated granite



Pebbles on planters



Planters



Sculpture seating



Communal table and seats

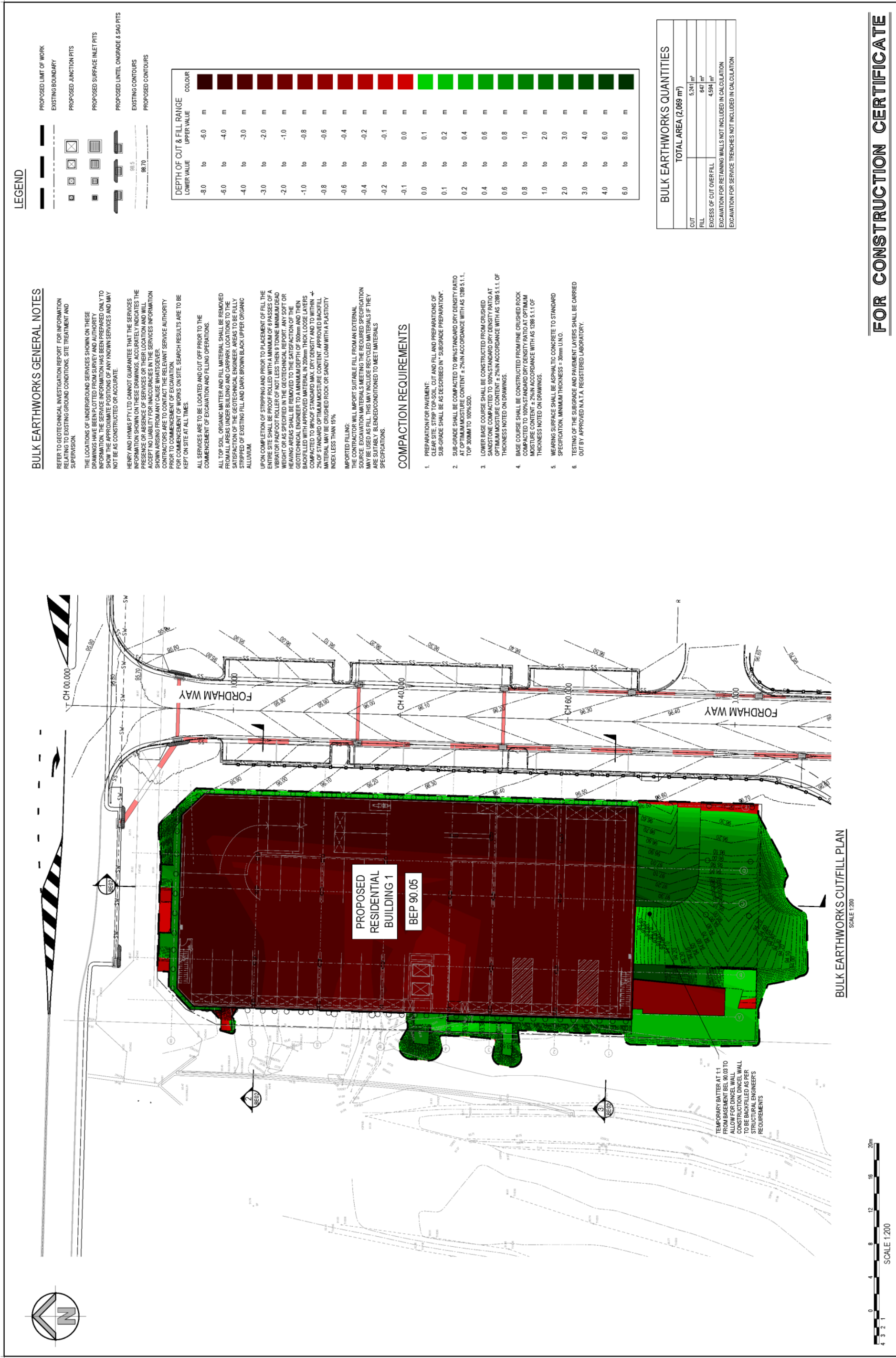


Deck chairs



Ping pong table

		Revisions Issue: A Date: 29.11.19 Description: For Section 4.55 Approval		Drawn: BHC Check: BC/ID		190 James Street Redfern NSW 2016 T (02) 9310 5644 info@jmdesign.com.au	Project: Oran Park Town Tranche 8 Drawing title: Indicative Materials Palette	Date: November 2019 Scale: N/A	Drawing No.: L11 Issue No.: A
		Client:	Consultant:						



REVISION		DATE	REVISION	DATE	REVISION	DATE
01	ISSUED FOR REVIEW ONLY	22.08.2019	01	ISSUED FOR REVIEW ONLY	22.08.2019	01
02	ISSUED FOR CONSTRUCTION CERTIFICATE	03.02.2020	02	ISSUED FOR CONSTRUCTION CERTIFICATE	03.02.2020	02
03	ISSUED FOR CONSTRUCTION CERTIFICATE	03.02.2020	03	ISSUED FOR CONSTRUCTION CERTIFICATE	03.02.2020	03

CLIENT	GREENFIELDS DEVELOPMENT COMPANY	PROJECT	PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW
ARCHITECT	ALLEN JACK + COTTIER	ENGINEER	BULK EARTHWORKS CUT/FILL PLAN
DATE		SCALE	1:200 @A1
DRAWN		CHECKED	
DESIGNED		DATE	
APPROVED		DATE	
DATE		DATE	

TELEPHONE	+61 2 8417 8400	EMAIL	enquiries@henrydhyms.com.au
FAX	+61 2 8417 8327	WEBSITE	www.henrydhyms.com.au
ADDRESS	Level 5, 79 Victoria Avenue, Chiswick NSW 2077		

DATE	NOV 19
PROJECT	18188_CC_BE01
CLIENT	03

FOR CONSTRUCTION CERTIFICATE

Attachment 5

CLPP01

BULK EARTHWORKS GENERAL NOTES

REFER TO GEOTECHNICAL INVESTIGATION REPORT FOR INFORMATION ON EXISTING GROUND CONDITIONS, SITE TREATMENT AND SUPERVISION.

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM SURVEY AND AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.

HENRY AND HYMAS PTY LTD CANNOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS, ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN ARISING FROM ANY CAUSE WHATSOEVER.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY FOR COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

ALL SERVICES ARE TO BE LOCATED AND CUT OFF PRIOR TO THE COMMENCEMENT OF EXCAVATION AND FILLING OPERATIONS.

ALL TOP SOIL, ORGANIC MATTER AND FILL MATERIAL SHALL BE REMOVED FROM ALL AREAS UNDER BUILDING AND CARPARK LOCATIONS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. AREAS TO BE FULLY STRIPPED OF EXISTING FILL AND DARK BROWN BLACK UPPER ORGANIC ALLUVIUM.

UPON COMPLETION OF STRIPPING AND PRIOR TO PLACEMENT OF FILL THE SITE SHALL BE PROTECTED FROM WEATHER AND THE EXISTING GRADE SHALL BE RECONSTRUCTED TO THE ORIGINAL GRADE OR TO THE GRADE SPECIFIED IN THE GEOTECHNICAL REPORT. ANY SOFT OR HEAVING AREAS SHALL BE REMOVED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO A MINIMUM DEPTH OF 500mm AND THEN BACKFILLED WITH APPROVED MATERIAL IN 200mm THICK LOOSE LAYERS COMPACTED TO 98% OF STANDARD MAX. DRY DENSITY AND TO WITHIN +/- 2% OF STANDARD OPTIMUM MOISTURE CONTENT. APPROVED BACKFILL SHALL BE CRUSHED ROCK OR SANDY LOAM WITH A PLASTICITY INDEX LESS THAN 15%.

IMPORTED FILLING: THE CONTRACTOR WILL IMPORT SUITABLE FILL FROM AN EXTERNAL SOURCE. EXCAVATION MATERIALS MEETING THE REQUIRED SPECIFICATION MAY BE USED AS FILL. THIS MAY INCLUDE RECYCLED MATERIALS IF THEY ARE SUITABLY BLENDED/CONDITIONED TO MEET MATERIALS SPECIFICATIONS.

COMPACTION REQUIREMENTS

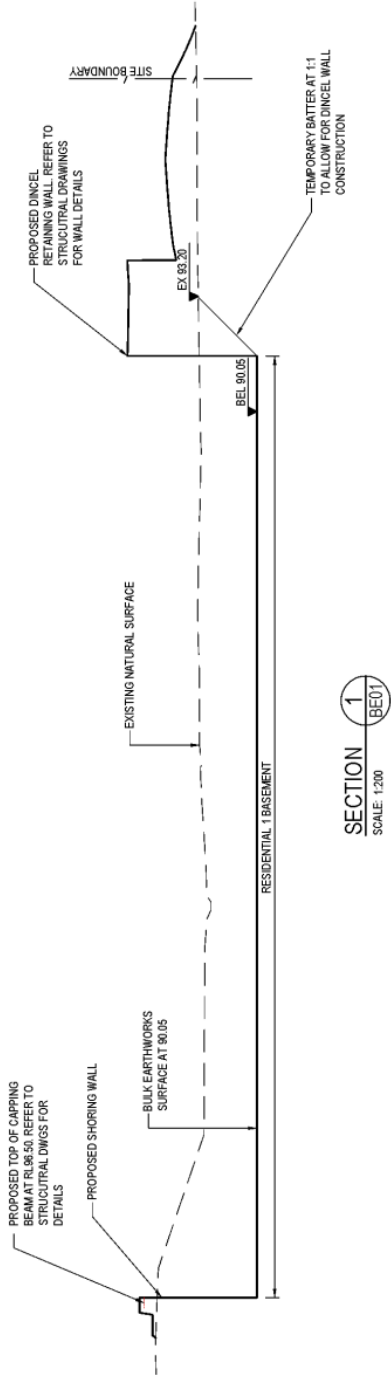
1. PREPARATION FOR PAVEMENT: CLEAR SITE, STRIP TOP-SOIL, CUT AND FILL, AND PREPARATIONS OF SUB-GRADE SHALL BE AS DESCRIBED IN "SUBGRADE PREPARATION".
2. SUB-GRADE SHALL BE COMPACTED TO 98% STANDARD DRY DENSITY RATIO AT OPTIMUM MOISTURE CONTENT +/- 2% IN ACCORDANCE WITH AS 1288 5.1.1. TOP 300MM TO 100% SDO.
3. LOWER BASE COURSE SHALL BE CONSTRUCTED FROM CRUSHED SANDSTONE COMPACTED TO 100% STANDARD DRY DENSITY RATIO AT OPTIMUM MOISTURE CONTENT +/- 2% IN ACCORDANCE WITH AS 1288 5.1.1. OF THICKNESS NOTED ON DRAWINGS.
4. BASE COURSE SHALL BE CONSTRUCTED FROM FINE CRUSHED ROCK COMPACTED TO 100% STANDARD DRY DENSITY RATIO AT OPTIMUM MOISTURE CONTENT +/- 2% IN ACCORDANCE WITH AS 1288 5.1.1. OF THICKNESS NOTED ON DRAWINGS.
5. WEARING SURFACE SHALL BE ASPHALTIC CONCRETE TO STANDARD SPECIFICATION, MINIMUM THICKNESS = 30mm UNDO.
6. TESTING OF THE SUBGRADE AND PAVEMENT LAYERS SHALL BE CARRIED OUT BY APPROVED N.A.T.A. REGISTERED LABORATORY.

BULK EARTHWORKS QUANTITIES

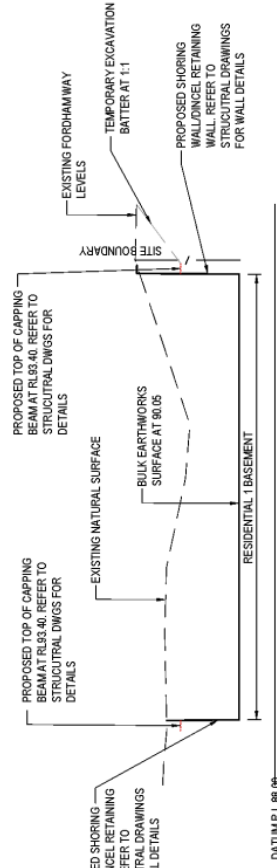
TOTAL AREA (2,069 m²)

CUT	5.24 m³
FILL	647 m³
EXCESS OF CUT OVER FILL	4.594 m³

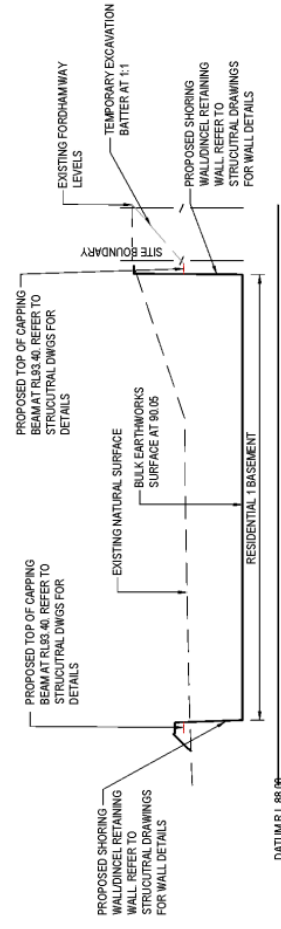
EXCAVATION FOR RETAINING WALLS NOT INCLUDED IN CALCULATION
EXCAVATION FOR SERVICE TRENCHES NOT INCLUDED IN CALCULATION



SECTION 1
SCALE: 1:200
BE01



SECTION 2
SCALE: 1:200
BE01



SECTION 3
SCALE: 1:200
BE01



FOR TENDER ONLY

REVISION	DATE	REVISION	DATE	DRAWN	DESIGNED	CHECKED	DATE	APPROVED
01	24.08.2019			NH	BM			
02	27.08.2019			NH	BM			
03	03.02.2020			OH	BM			

Client	GREENFIELDS DEVELOPMENT COMPANY	Level 5, 100 Victoria Avenue, Chesham NSW 2057	Project	PROPOSED RESIDENTIAL BUILDING 1 ORAN PARK DRIVE, ORAN PARK NSW
Author	ALLEN JACK + COTTIER	www.greenfields.com.au	Designer	B. Hurlstone
This drawing and design remain the property of Henry & Hynes and may not be copied in whole or in part without the prior written approval of Henry & Hynes.			Checker	A. Francis
			Approver	A. Francis
			Client	B. Hurlstone
			Scale	1:200 @ A1
			Revision number	18188_CC_BE02
			Revision	03

PROPOSED RESIDENTIAL BUILDING ORAN PARK DRIVE, ORAN PARK NSW CIVIL ENGINEERING WORKS

GENERAL NOTES:

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CAMDEN COUNCIL'S CONSTRUCTION SPECIFICATION. CONTRACTOR TO OBTAIN AND RETAIN A COPY ON SITE DURING THE COURSE OF THE WORKS.
- ALL NEW WORKS ARE TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS AND MARRY IN A WORKMANLIKE MANNER.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL SERVICES WITH EACH RELEVANT AUTHORITY. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED BY THE CONTRACTOR OR THE RELEVANT AUTHORITY. THESE PLANS ARE ONLY THOSE EXISTENT AT THE TIME OF SURVEY OR AS DETERMINED FROM SERVICE DIAGRAMS. HENRY AND HYMAS CONSULTING PTY. LTD. CANNOT GUARANTEE THE INFORMATION SHOWN NOR ACCEPT ANY RESPONSIBILITY FOR INACCURACIES OR INCOMPLETE DATA.
- SERVICES & ACCESS TO THE EXISTING PROPERTIES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
- ADJUST EXISTING SERVICE COVERS TO SUIT NEW FINISHED LEVELS TO RELEVANT AUTHORITY REQUIREMENTS WHERE NECESSARY.
- REINSTATE AND STABILISE ALL DISTURBED LANDSCAPED AREAS.
- MINIMUM GRADE OF SUBSOIL SHALL BE 0.5% (1:200) FALL TO OUTLETS.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, EROSION AND SEDIMENTATION CONTROL PLAN AND CAMDEN COUNCIL'S REQUIREMENTS WHERE APPLICABLE.
- CONTRACTOR TO CHECK AND CONFIRM SITE DRAINAGE CONNECTIONS ACROSS THE VERGE PRIOR TO COMMENCEMENT OF SITE DRAINAGE WORKS.
- PROPERTIES AFFECTED BY THE WORKS ARE TO BE NOTIFIED IN ADVANCE WHERE DISRUPTION TO EXISTING ACCESS IS LIKELY.

EXISTING SERVICES & FEATURES

- THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL OF REQUIRED OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA OR AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF HIS PROGRAM FOR THE RELOCATION/ CONSTRUCTION OF TEMPORARY SERVICES.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDING REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND SUPERINTENDENT. CONTRACTOR TO MAINTAIN ALL SERVICES COMPLETE AND COMMANDED TO THE SATISFACTION OF THE SUPERINTENDENT.
- INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION.
- EXISTING SERVICES, BUILDINGS, EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE EXISTING FEATURES PRIOR TO ANY DEMOLITION WORKS.
- EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A 'DIAL BEFORE YOU DIG' SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 800 UPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.



LOCALITY SKETCH
SCALE: N.T.S.

DRAWING SCHEDULE	
18188_CC_0000	COVER SHEET, DRAWING SCHEDULE, NOTES AND LOCALITY SKETCH
18188_CC_0100	GENERAL ARRANGEMENT PLAN
18188_CC_0101	DETAIL PLAN - GROUND FLOOR
18188_CC_0200	STORMWATER MISCELLANEOUS DETAILS AND PIT LID SCHEDULE
18188_CC_0201	OSD PLAN, SECTIONS AND DETAILS
18188_CC_0201	SEDIMENT AND EROSION CONTROL PLAN
18188_CC_0202	SEDIMENT AND EROSION CONTROL DETAILS
18188_CC_0201	BULK EARTHWORKS CUT & FILL PLAN
18188_CC_0202	BULK EARTHWORKS SECTION

SITWORKS NOTES

- DATUM: A.H.D.
- ORIGIN OF LEVELS - REFER TO BENCH OR STATE SURVEY MARKS WHERE SHOWN ON PLAN.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES UNLESS SHOWN ON THE SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A 'DIAL BEFORE YOU DIG' SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS ACHIEVED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS IS TO BE UNDERTAKEN OVER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- CONTRACTOR TO OBTAIN AUTHORITY APPROVALS WHERE APPLICABLE.
- MAKE SMOOTH TRANSITION TO EXISTING SURFACES AND MAKE GOOD.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE, ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN APPROVALS WHERE APPLICABLE.
- TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MINIMUM OF 50mm IN TUMINOUS PAVING.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 800 UPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.
- GRADES TO PAVEMENTS TO BE AS IMPLIED BY R/S ON PLAN. GRADE EVENLY BETWEEN NOMINATED P.L.S. AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.
- ALL CONCRETE AND GRATES ETC TO EXISTING SERVICE UTILITIES ARE TO BE ADJUSTED TO SUIT NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY THE SURVEYOR SPECIFIED IN THE TITLE OF THIS DRAWING. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HENRY AND HYMAS PTY. LTD. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT HENRY AND HYMAS PTY. LTD. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

FOR TENDER ONLY

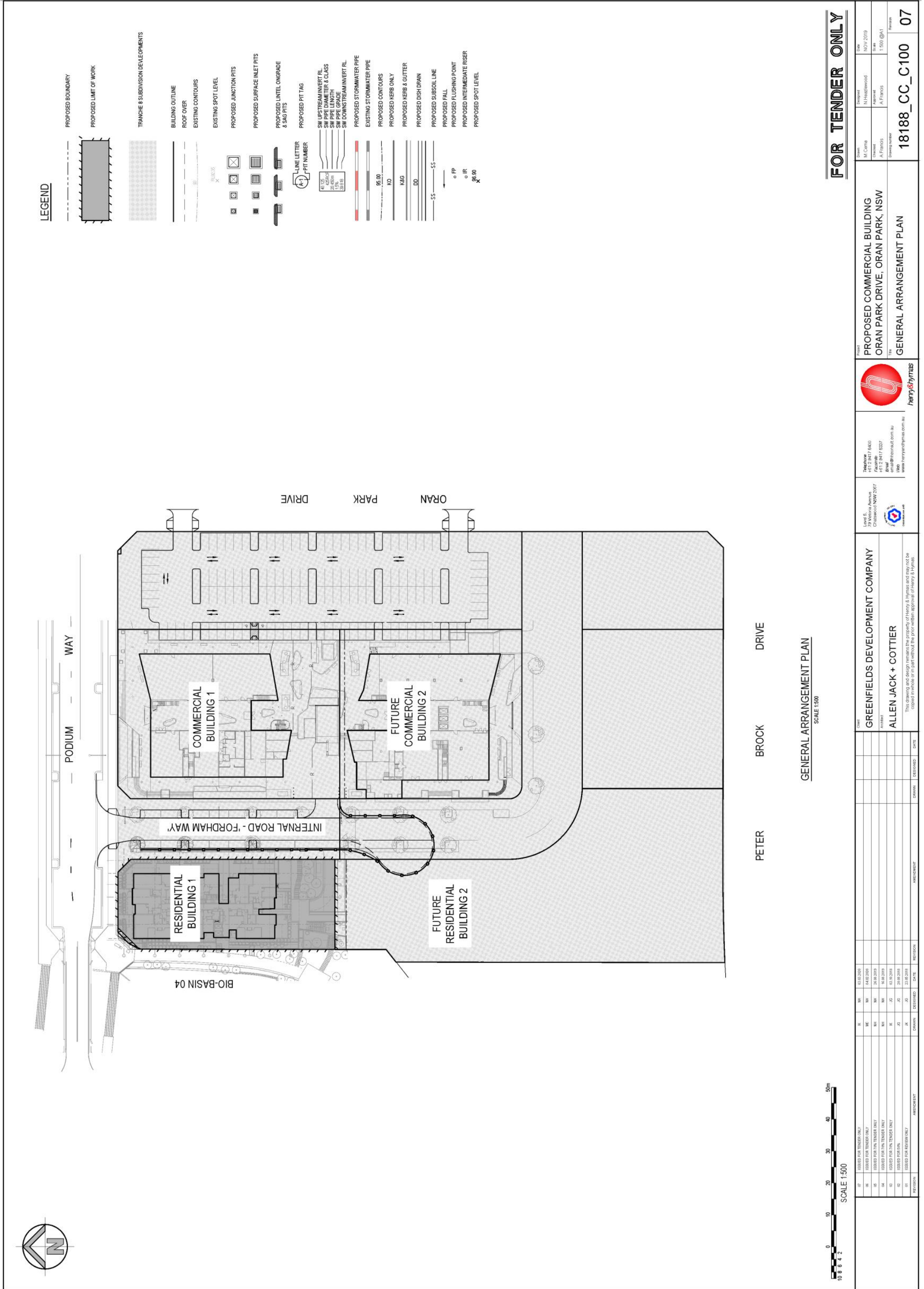
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01	18/02/2020	ISSUED FOR TENDER ONLY	18/02/2020	01	18/02/2020	ISSUED FOR TENDER ONLY
02	18/03/2020	ISSUED FOR TENDER ONLY	18/03/2020	02	18/03/2020	ISSUED FOR TENDER ONLY
03	18/03/2020	ISSUED FOR TENDER ONLY	18/03/2020	03	18/03/2020	ISSUED FOR TENDER ONLY
04	18/03/2020	ISSUED FOR TENDER ONLY	18/03/2020	04	18/03/2020	ISSUED FOR TENDER ONLY
05	18/03/2020	ISSUED FOR TENDER ONLY	18/03/2020	05	18/03/2020	ISSUED FOR TENDER ONLY

Client	GREENFIELDS DEVELOPMENT COMPANY
Author	ALLEN JACK + COTTIER
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Project	PROPOSED RESIDENTIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW
Drawn	M. Collins
Checked	J. Hynes
Approved	A. J. Hynes
Drawing number	18188_CC_C000
Revision	05

Attachment 5
CLPP01



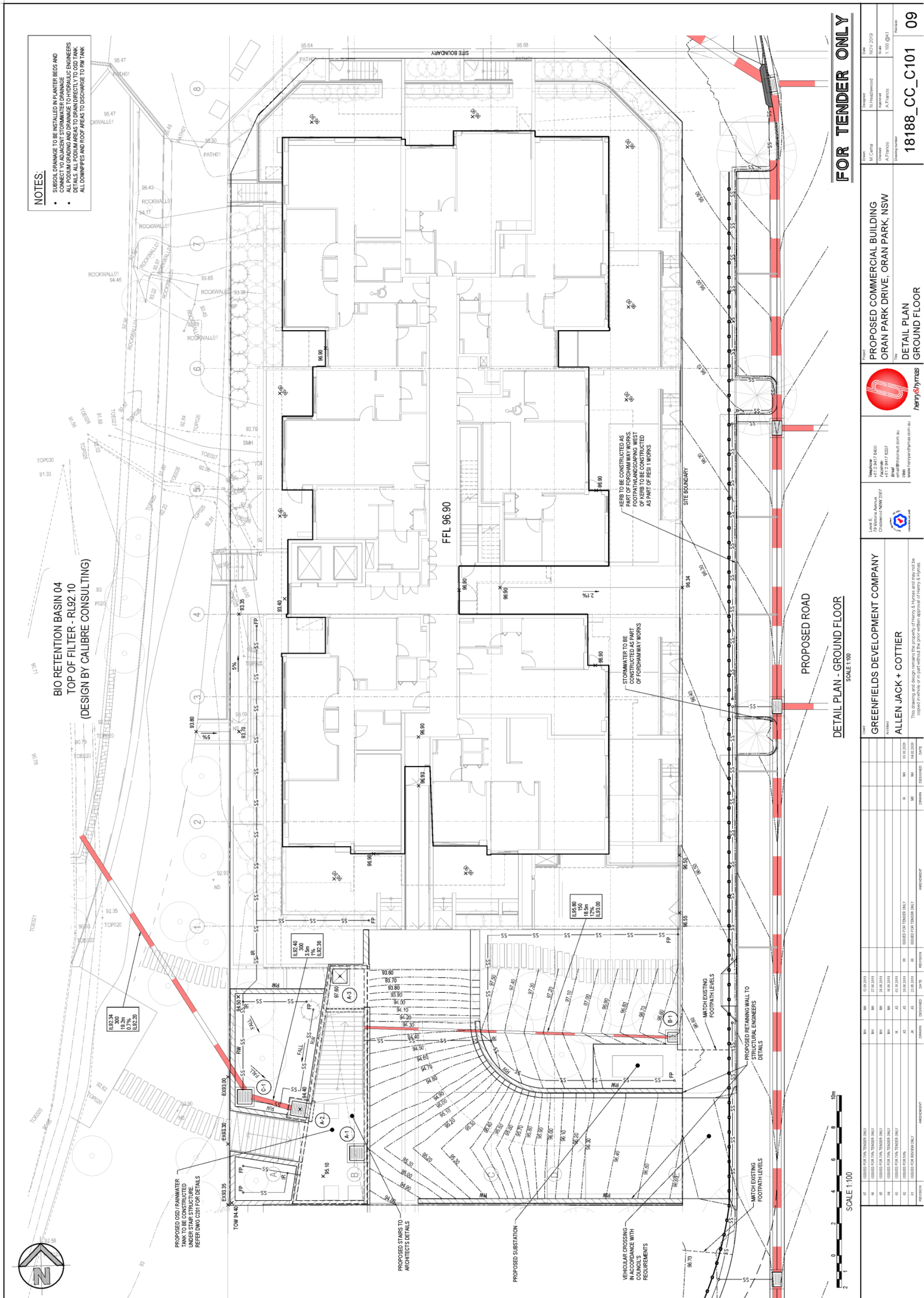
NO	ISSUED FOR TENDER ONLY	DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
01	ISSUED FOR TENDER ONLY	10/02/2019					
02	ISSUED FOR TENDER ONLY	04/02/2019					
03	ISSUED FOR TENDER ONLY	24/02/2019					
04	ISSUED FOR TENDER ONLY	10/02/2019					
05	ISSUED FOR TENDER ONLY	03/02/2019					
06	ISSUED FOR TENDER ONLY	20/02/2019					
07	ISSUED FOR TENDER ONLY	23/02/2019					

Client	GREENFIELDS DEVELOPMENT COMPANY
Architect	ALLEN JACK + COTTIER
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Level 5, Oran Park Drive, Oran Park, NSW	Level 5, Oran Park Drive, Oran Park, NSW
Chairman of NSW 2017	Chairman of NSW 2017
Level 5, Oran Park Drive, Oran Park, NSW	Level 5, Oran Park Drive, Oran Park, NSW
Chairman of NSW 2017	Chairman of NSW 2017

Telephone	6460
Facsimile	6227
Postal	2037
Web	www.henryhymas.com.au

Project	PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW
Client	GREENFIELDS DEVELOPMENT COMPANY
Architect	ALLEN JACK + COTTIER
Drawing Number	18188_CC_C100
Revision	07



NOTES:

- SUBSOIL DRAINAGE TO BE INSTALLED IN PLANTER BEDS AND CONNECT TO ADJACENT STORMWATER DRAINAGE
- ALL PODIUM GRADING AND DRAINAGE TO HYDRAULIC ENGINEERS DETAILS. ALL PODIUM AREAS TO DRAIN DIRECTLY TO OSD TANK. ALL DOWNPIPES AND ROOF AREAS TO DISCHARGE TO RW TANK

FOR TENDER ONLY

DETAIL PLAN - GROUND FLOOR
SCALE 1:100

Client	M. Curran	Project	H. Haddock	Date	NOV 2019
Author	A. F. Ellis	Designer	A. F. Ellis	Scale	1:100 @A1
Drawn		Checked		Drawn number	18188_CC_C101_09

PROPOSED COMMERCIAL BUILDING
ORAN PARK DRIVE, ORAN PARK, NSW

DETAIL PLAN
GROUND FLOOR

henry & hynes
www.henryhynes.com.au

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+61 2 8477 8207
email: h@henryhynes.com.au
www.henryhynes.com.au

GREENFIELDS DEVELOPMENT COMPANY

Architect
ALLEN JACK + COTTIER

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NO.	DATE	DESCRIPTION	BY	CHECKED	APPROVED
01	12/10/2019	ISSUED FOR TENDER ONLY	JK	AM	
02	27/10/2019	ISSUED FOR TENDER ONLY	JK	AM	
03	24/10/2019	ISSUED FOR TENDER ONLY	JK	AM	
04	16/10/2019	ISSUED FOR TENDER ONLY	JK	AM	
05	01/10/2019	ISSUED FOR TENDER ONLY	JK	AM	
06	20/08/2019	ISSUED FOR TENDER ONLY	JK	AM	
07	22/05/2019	ISSUED FOR TENDER ONLY	JK	AM	
08					
09					
10					

Attachment 5
CLPP01

PIT LID SCHEDULE

PIT/STRUCTURE NUMBER	DESCRIPTION
A-3	JUNCTION PIT WITH HINGED 600x600 LIGHT DUTY SEALED LID CLASS 7B IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.
A-1, A-2	SURFACE INLET PIT WITH HINGED 600x600 LIGHT DUTY SEALED LID CLASS 7B IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.
B-1	SURFACE INLET PIT WITH HINGED 600x600 LIGHT DUTY SEALED LID CLASS 7B IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.
C-1	SURFACE INLET PIT WITH HINGED 600x600 LIGHT DUTY SEALED LID CLASS 7B IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.

DRAINAGE NOTES:

1. ALL STORMWATER WORK TO COMPLY WITH AS 3600 PART 3.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 800mm ON ALL PIPES.
3. PROTECTION OF PIPES DUE TO LOADS EXCEEDING 87 WHEEL LOAD SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. BEDDING TYPE SHALL BE TYPE H2 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
5. MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
6. NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
7. FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRGS TAKE PRECEDENCE OVER DESIGN DRAINAGE LEVELS.
8. ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS 2860. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDIES FRG PIPE MAY BE USED IN LIEU OF RCP IF DESIRED IN GROUND. ALL AERIAL PIPES TO BE PVC CLASS SH.
9. ALL PITS IN NON TRAFFIC AREAS TO BE PREFABRICATED POLYESTER CONCRETE 'POLYCRETE' WITH 'LIGHT DUTY' CLASS B GALV. MLD STEEL GRATING AND FRAME.
10. ALL PITS IN TRAFFIC AREAS (CLASS 7D, CONCRETE WALLS AND BASE CAST IN-SITU Fc=32 MPa, REINFORCED WITH N12-200 BOTH LONGWAYS CENTRALLY PLACE. I.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALV. MLD STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE, MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
11. ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND TO BE IN ACCORDANCE WITH AS 2601.3 AND AS 2606. REFER TO PIT LID SCHEDULE ABOVE FOR PITS THAT ARE REQUIRED TO HAVE NO CONCRETE COLLAR AND BE FLUSH WITH ADJACENT PAVERS.
12. PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - PIPE SIZE
 - SKEW TO INVERT
 - SKEW TO INVERT
13. REFER TO TYPICAL PIT CHAMBER DETAILS BELOW.
14. IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEP IRONS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
15. FOR PIPE SIZES GREATER THAN 300mm, PIT FLOOR IS TO BE BENCH TO FACILITATE FLOW.
16. GALVANISED STEP IRONS SHALL BE PROVIDED AT 300 CTS FOR PITS HAVING A DEPTH EXCEEDING 1200mm. SUBSOIL DRAINAGE PIPES SHALL BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES. (MINIMUM LENGTH 3m).
17. ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED PVC IN A FILTER SOCK, UNO, WITH 3m INSTALLED UPSTREAM OF ALL PITS.
18. ALL PIPEWORK SHALL HAVE MINIMUM DIAMETER 100.
19. MINIMUM GRADE FOR ROOFWATER DRAINAGE LINES SHALL BE 1%.
20. ALL ROOF DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH ASS500. PART 3. TESTING TO BE UNDERTAKEN AND REPORTS PROVIDED TO THE SUPERINTENDENT.
21. CONNECTION OF THE DIRECT DOWN PIPE CONNECTIONS MAY VARY ON SITE TO SUIT CONDITIONS, WHERE CONNECTION SHOWN ON LONG SECTIONS CHANGES ARE INDICATIVE ONLY.
22. PITS IN EXCESS OF 1.5m DEEP TO HAVE WALL AND FLOOR THICKNESS INCREASED TO 200mm. REINFORCED WITH N12@300 CTS CENTRALLY PLACED BOTH WAYS THROUGHOUT U.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. IF DEPTH EXCEEDS 3m CONTACT ENGINEER.
23. SUBSOIL DRAINAGE LINES FOR LANDSCAPE AREA NOT SHOWN ON THESE DRAWINGS. REFER TO LANDSCAPING PLANS FOR DETAILS.
24. ALL STORMWATER PITS TO HAVE 100 UPVC SLOTTED SUBSOIL PIPES CONNECTED TO THEM. THESE SUBSOILS TO EXTEND 3m UPSTREAM OF THE PIT AT A MINIMUM GRADE.

TABLE 1

WEIGHT PASSING (%)	SIEVE SIZE (MM)
100	75.0
100 TO 50	85
100 TO 30	2.36
50 TO 15	0.60
25 TO 0	0.075

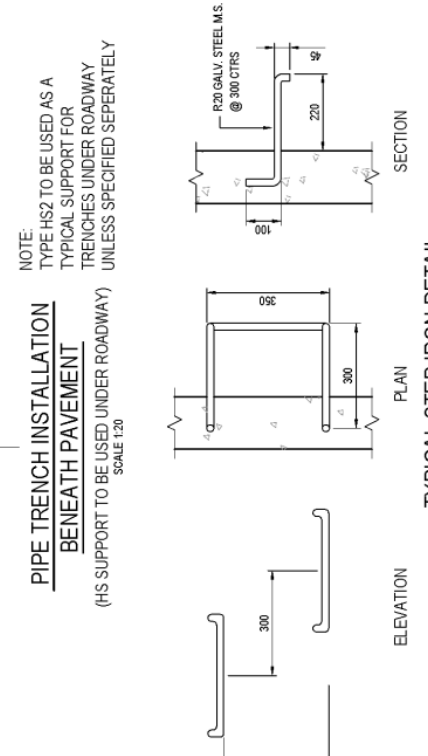
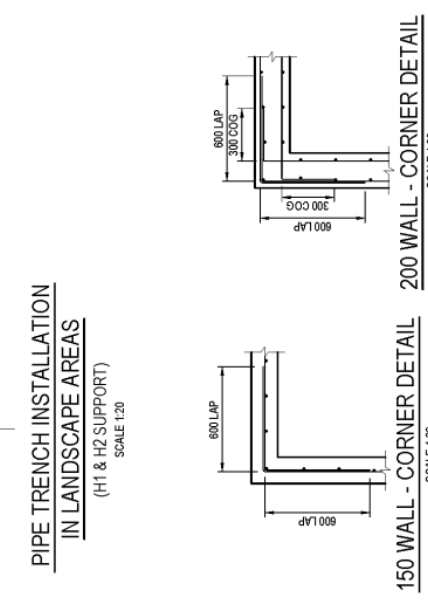
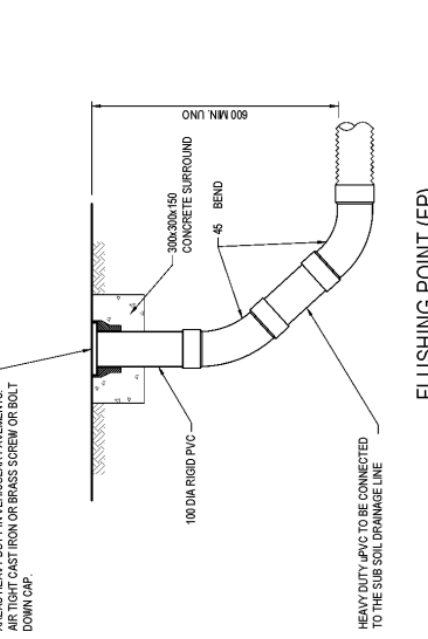
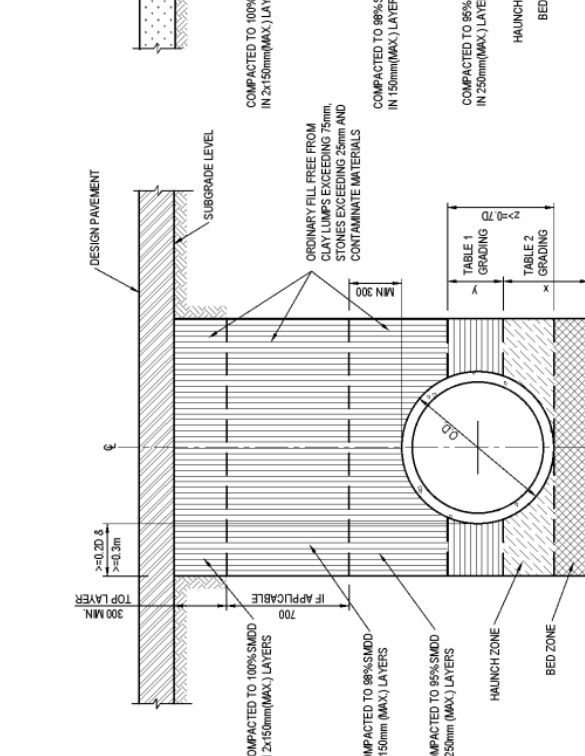
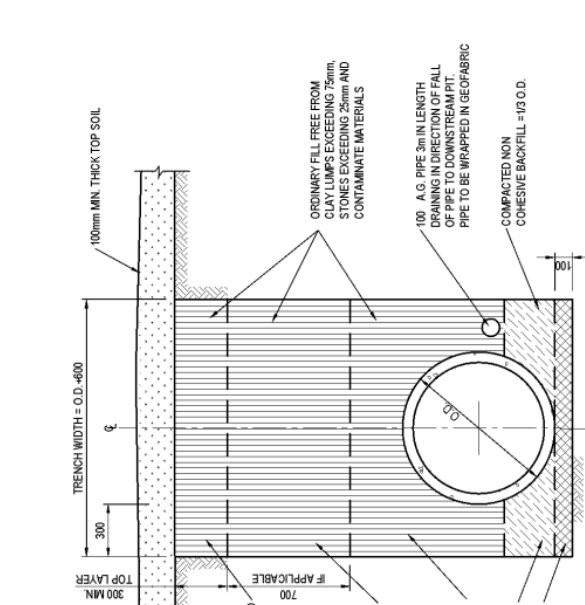
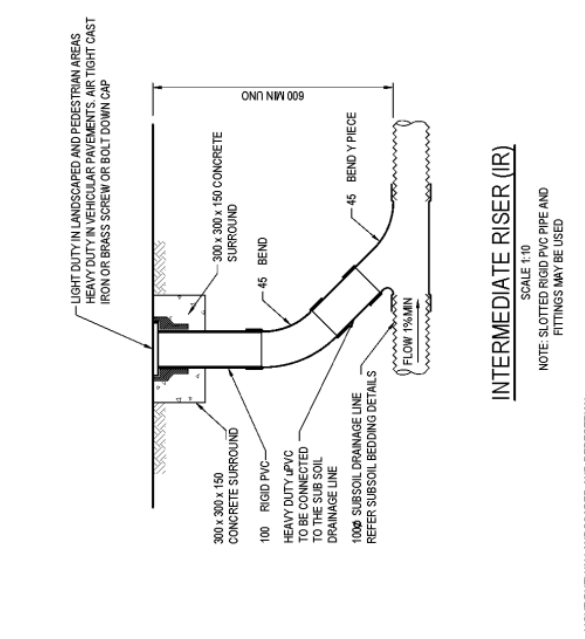
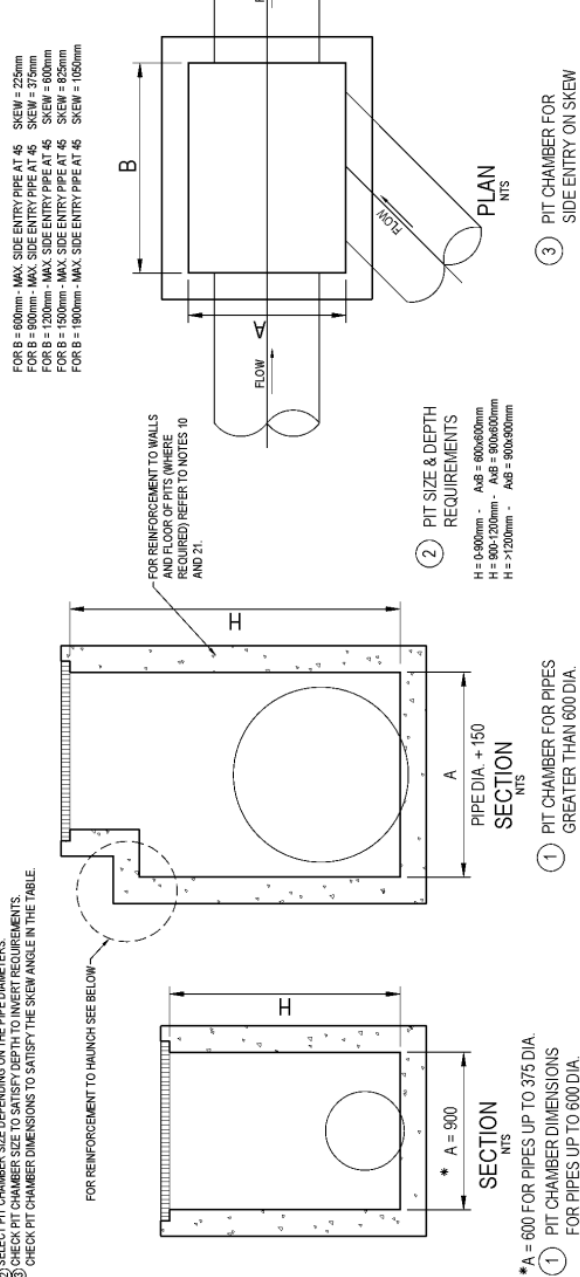
TABLE 2

WEIGHT PASSING (%)	SIEVE SIZE (MM)
100	19.0
100 TO 50	2.36
90 TO 20	0.60
80 TO 10	0.30
25 TO 0	0.15
10 TO 0	0.075

TABLE 3

SUPPORT TYPE	BED ZONE X	HAUNCH ZONE Y	BED AND HAUNCH ZONES COMPACTION	MAX BEDDING FACTOR
HS1	100 IF D<=1500, OR 150 IF D>=1500	0	90	2.0
HS2		0	90	2.5
HS3		0	70	4.0

TYPICAL PIT CHAMBER SIZES WITH REGARDS TO PIPE SIZE, DEPTH TO INVERT AND SKEW ANGLE. REFER SKETCHES BELOW.



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Project: PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW

Stormwater Miscellaneous Details AND PIT LID SCHEDULE

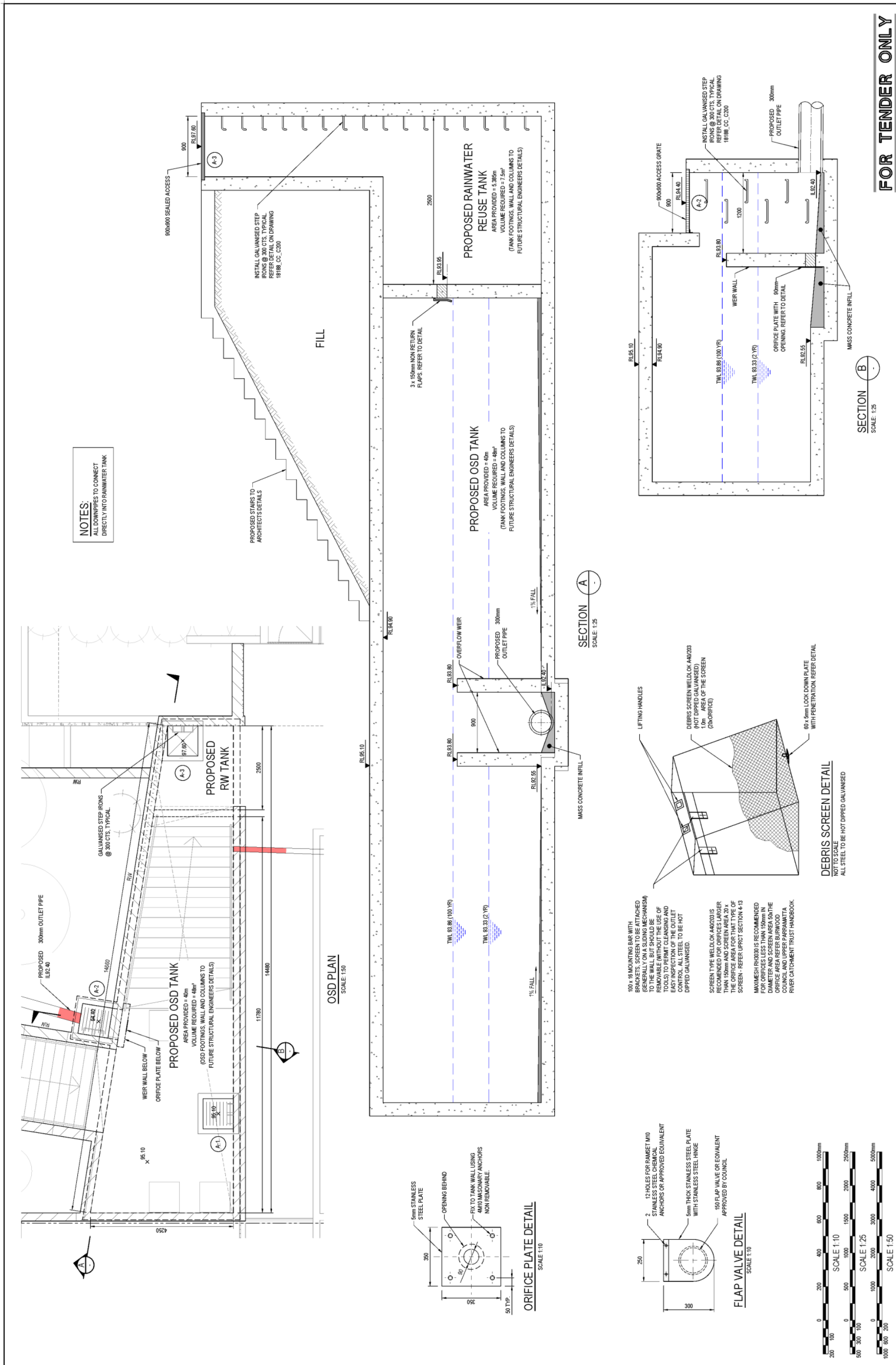
18188_CC_C200 05

GREENFIELDS DEVELOPMENT COMPANY
ALLEN JACK + COTTIER

Revision table:

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01	ISSUED FOR TENDER ONLY	14/02/2020		
02	ISSUED FOR TENDER ONLY	13/03/2019		
03	ISSUED FOR TENDER ONLY	03/05/2019		
04	ISSUED FOR TENDER ONLY	20/02/2019		
05	ISSUED FOR TENDER ONLY	22/02/2019		

Scale bars: 1:20, 1:10, 1:20



FOR TENDER ONLY

Drawn	M.C. O'Connell	Checked	N. Headwood	Scale	NOV 2019
Author	A. Finnis	Reviewed	A. Finnis	Notes	AS NOTED @ A1
Design number	18188_CC_C201				
	07				

PROPOSED COMMERCIAL BUILDING
ORAN PARK DRIVE, ORAN PARK, NSW

OSD PLAN, SECTIONS AND DETAILS

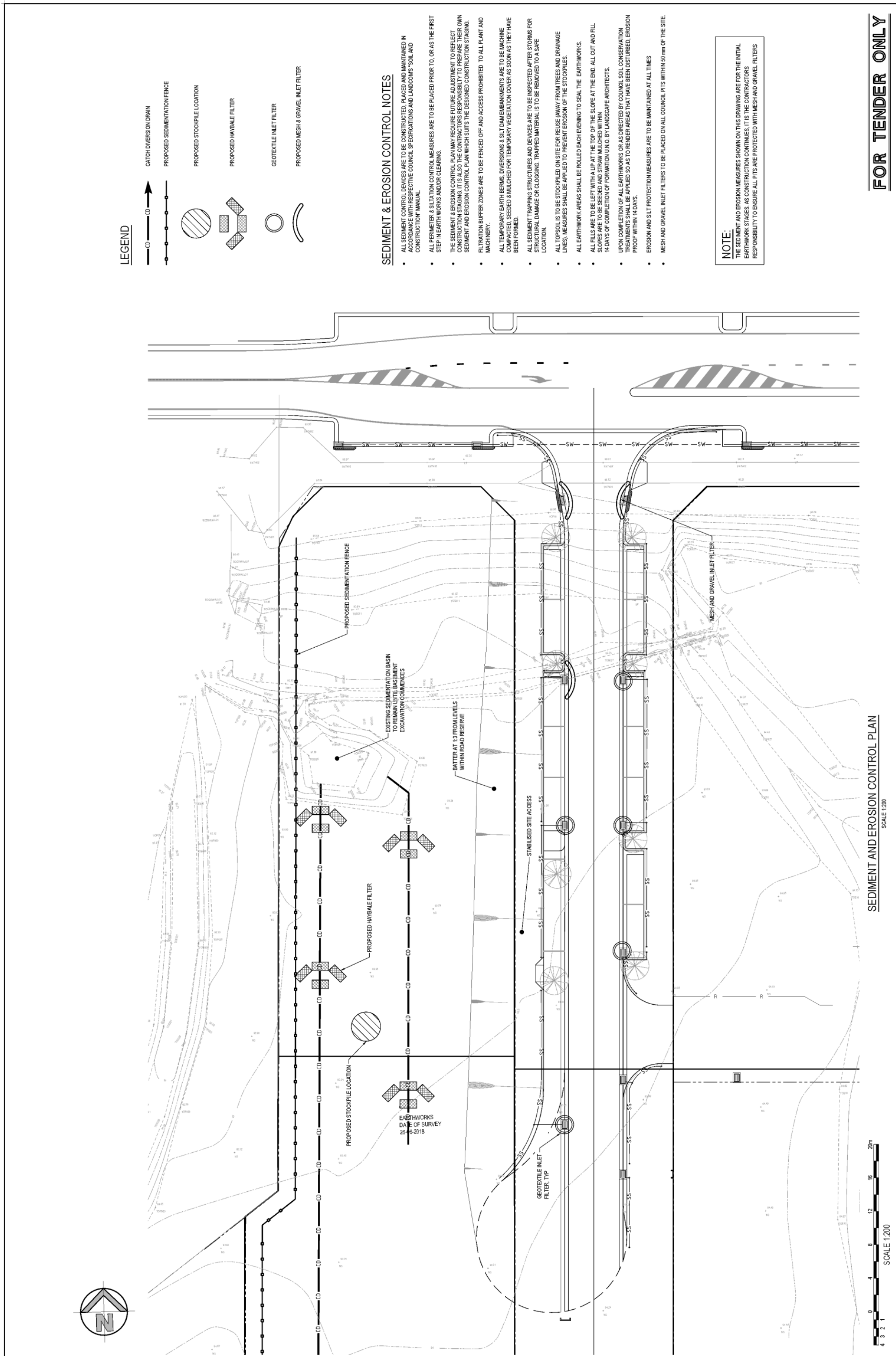
henry&hymas

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GREENFIELDS DEVELOPMENT COMPANY
ALLEN JACK + COTTIER

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REV	DATE	BY	CHKD	REVISION



SEDIMENT & EROSION CONTROL NOTES

- ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH RESPECTIVE COUNCIL SPECIFICATIONS AND LANDCOM'S SOIL AND CONSTRUCTION MANUAL.
- ALL PERIMETER & SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN EARTHWORKS AND/OR CLEARING.
- THE SEDIMENT & EROSION CONTROL PLAN MAY REQUIRE FUTURE ADJUSTMENT TO REFLECT CHANGES TO THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THEIR OWN SEDIMENT AND EROSION CONTROL PLAN WHICH SUITS THE DESIGNED CONSTRUCTION STAGES.
- FILTRATION BUFFER ZONES ARE TO BE FENCED OFF AND ACCESS PROHIBITED TO ALL PLANT AND MACHINERY.
- ALL TEMPORARY EARTH BERM, DIVERSIONS & SILT DAMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED & MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
- ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING. TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE LOCATION.
- ALL TOPSOIL IS TO BE STOCKPILED ON SITE FOR REUSE (AWAY FROM TREES AND DRAINAGE LINES). MEASURES SHALL BE APPLIED TO PREVENT EROSION OF THE STOCKPILES.
- ALL EARTHWORK AREAS SHALL BE ROLLED EACH EVENING TO SEAL THE EARTHWORKS.
- ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END. ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND STRAW MULCHED WITHIN 14 DAYS OF COMPLETION OF FORMATION U.N.O. BY LANDSCAPE ARCHITECTS.
- UPON COMPLETION OF ALL EARTHWORKS OR AS DIRECTED BY COUNCIL SOIL CONSERVATION TREATMENTS SHALL BE APPLIED SO AS TO RENDER AREAS THAT HAVE BEEN DISTURBED, EROSION PROOF WITHIN 14 DAYS.
- EROSION AND SILT PROTECTION MEASURES ARE TO BE MAINTAINED AT ALL TIMES
- MESH AND GRAVEL INLET FILTERS TO BE PLACED ON ALL COUNCIL PITS WITHIN 50mm OF THE SITE.

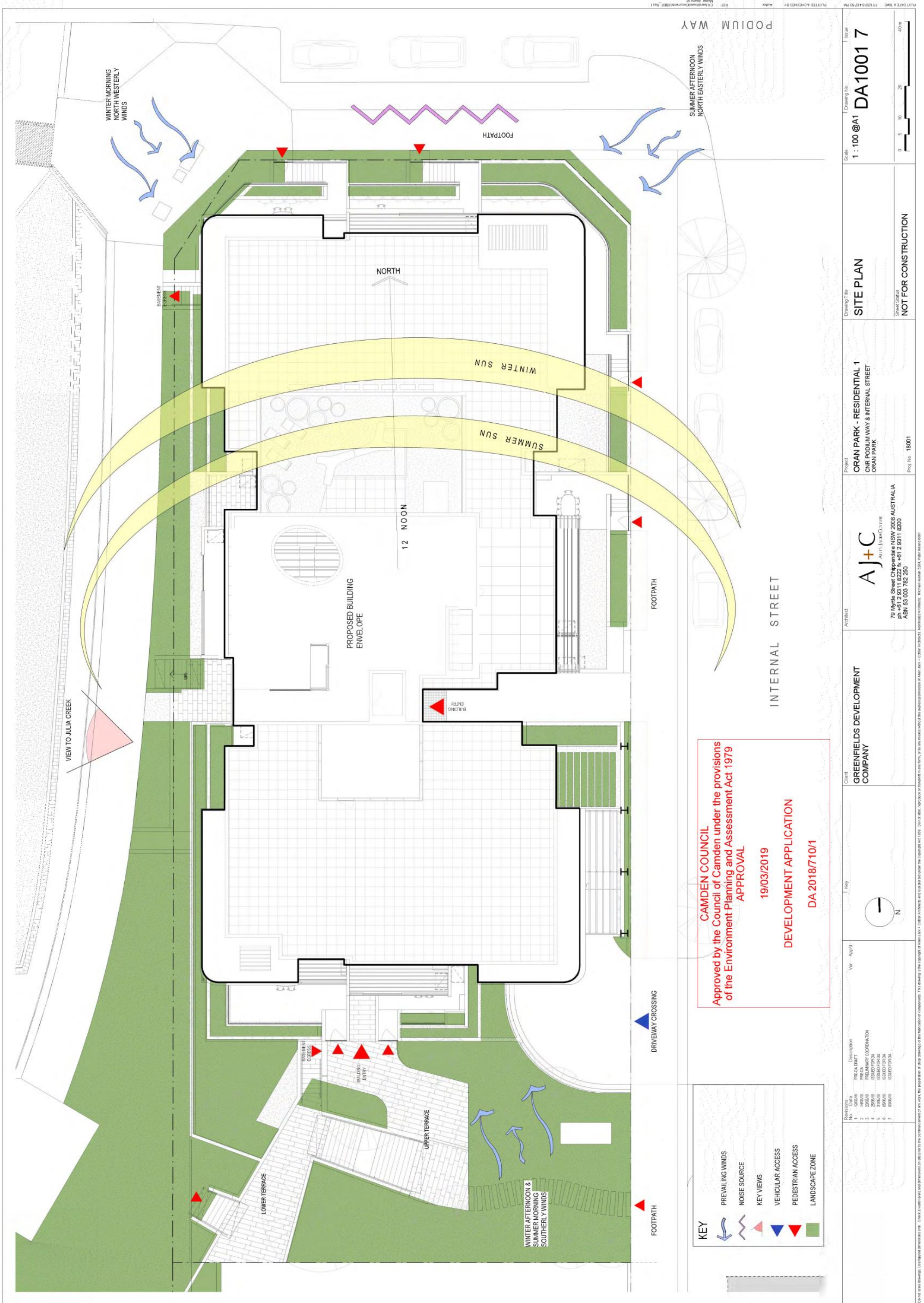
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 THE SEDIMENT AND EROSION MEASURES SHOWN ON THIS DRAWING ARE FOR THE INITIAL EARTHWORK STAGES. AS CONSTRUCTION CONTINUES, IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL PITS ARE PROTECTED WITH MESH AND GRAVEL FILTERS

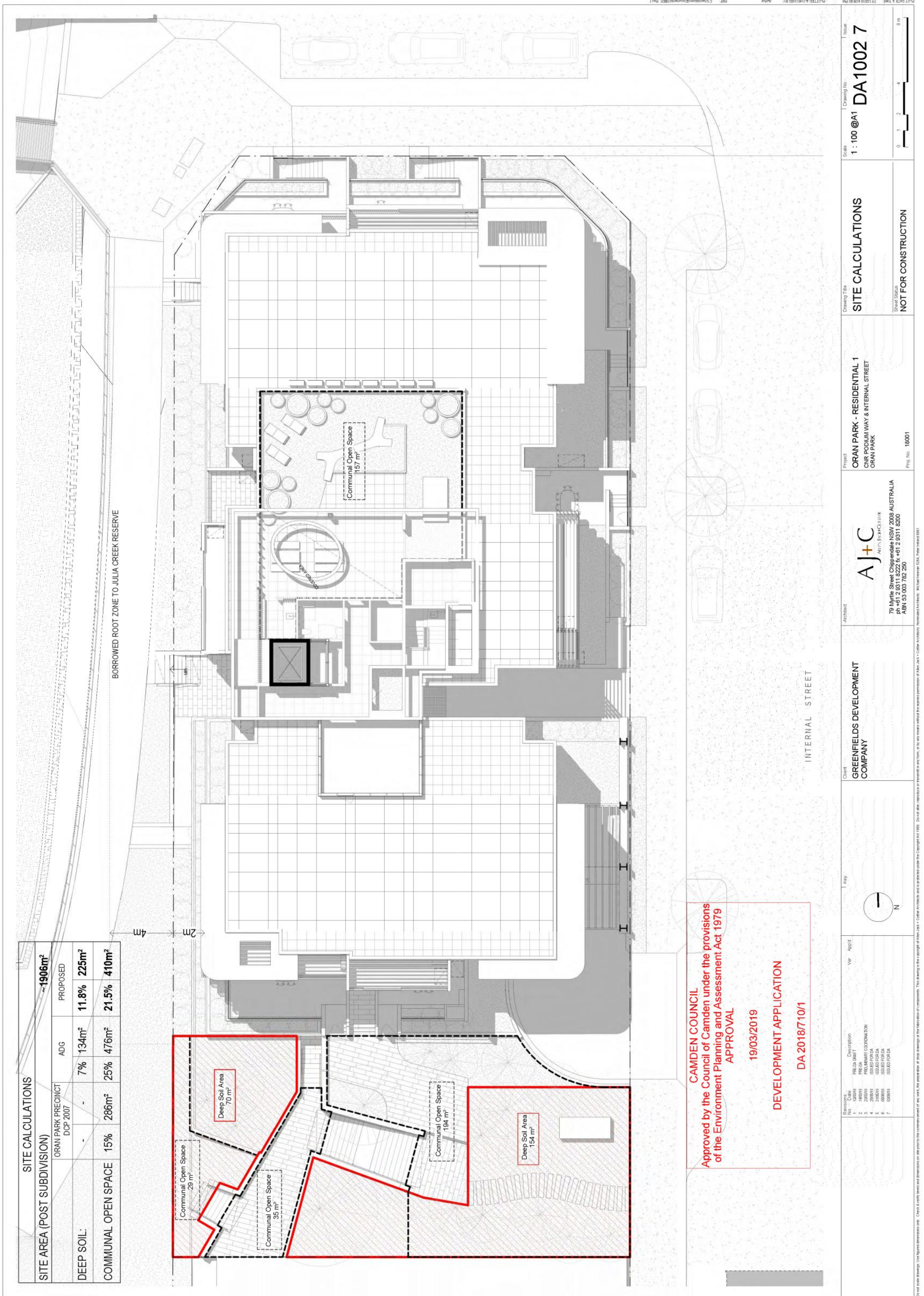
SEDIMENT AND EROSION CONTROL PLAN
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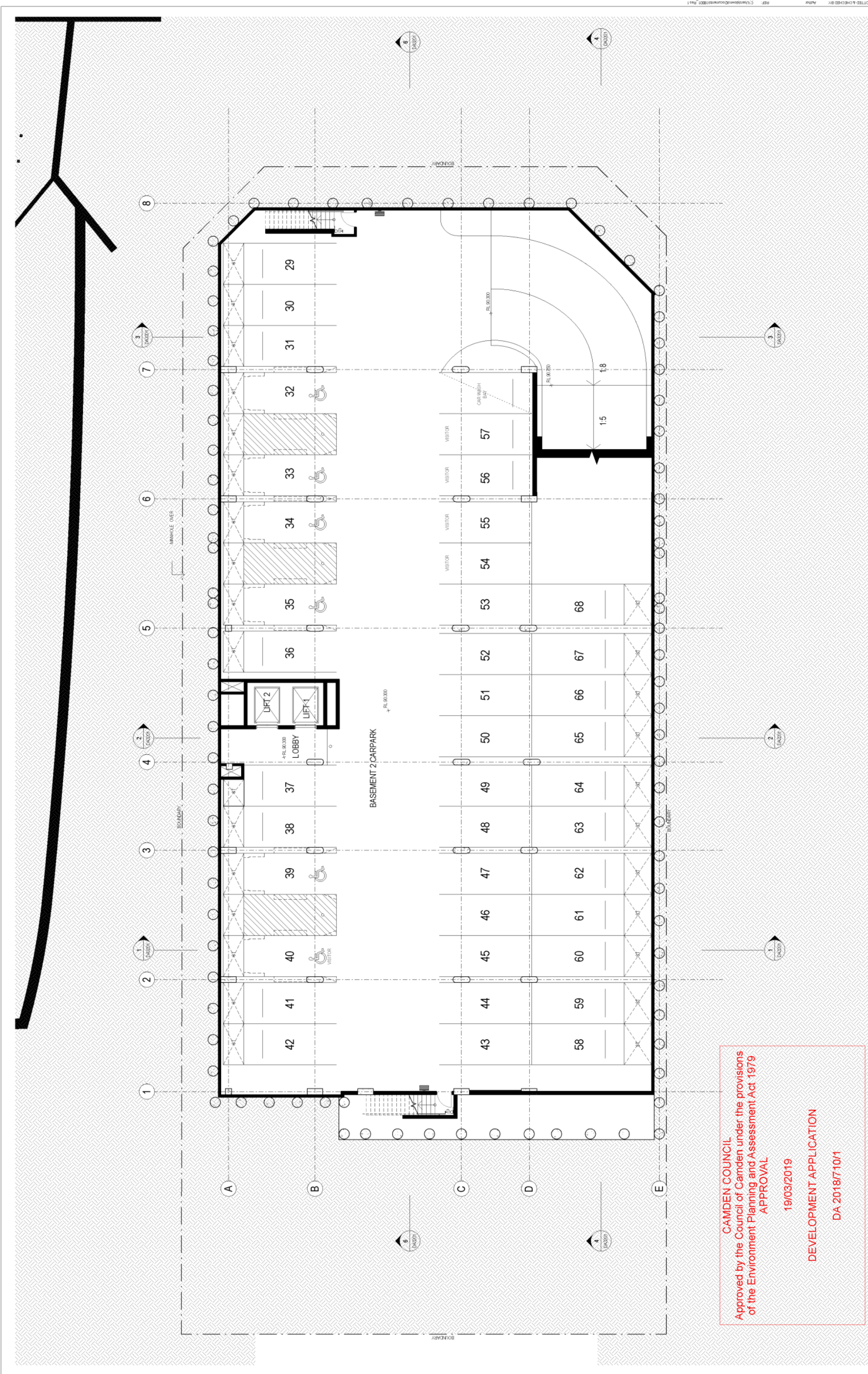


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<p>Project: PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW</p>		<p>Client: GREENFIELDS DEVELOPMENT COMPANY ALLEN JACK + COTTIER</p>	
<p>Design: M. Carr Drawn: A. Francis Date: NOV 2019 Scale: 1:200 @A1</p>		<p>Level 5, 100 Victoria Avenue Chalmers NSW 2007</p>	
<p>Drawn: A. Francis Date: 23.02.2018</p>		<p>Drawn: J.K. Date: 23.02.2018</p>	
<p>Revision: 04</p>		<p>Revision: 01</p>	
<p>Drawing Number: 18188_CC_SE01</p>		<p>Attachment: 04</p>	

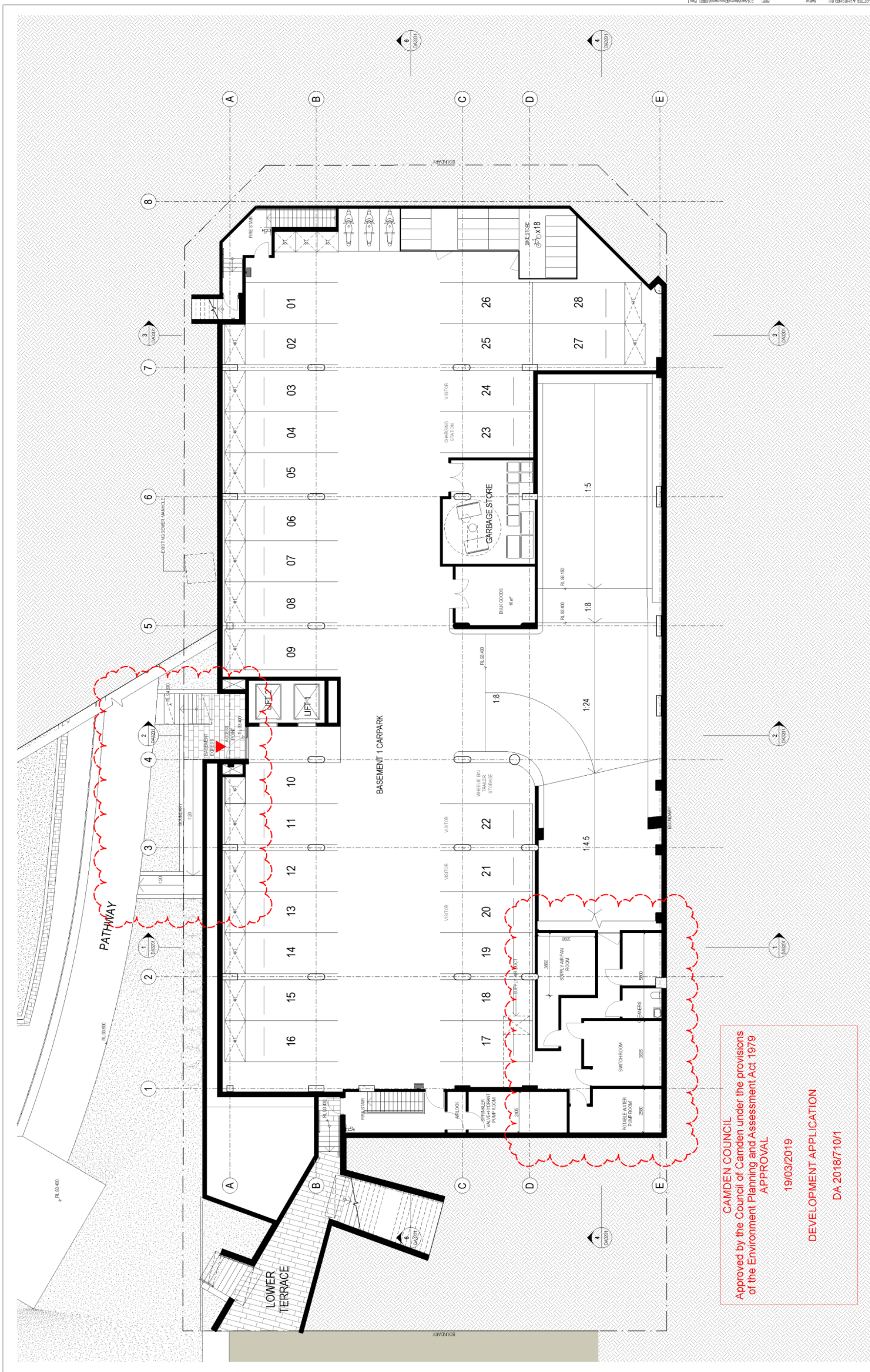






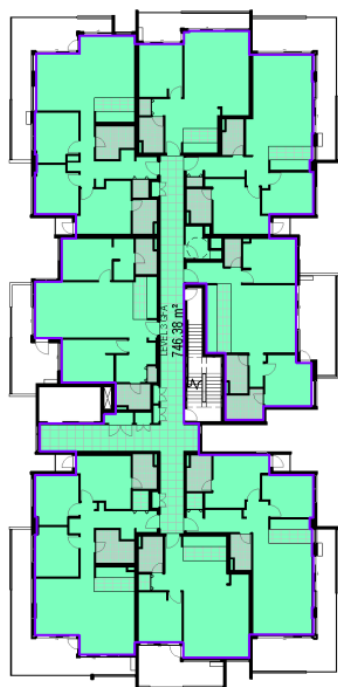
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<p>Revisions</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>18/03/19</td> <td>PRELIMINARY</td> </tr> <tr> <td>2</td> <td>18/03/19</td> <td>PRELIMINARY COORDINATION</td> </tr> <tr> <td>3</td> <td>20/03/19</td> <td>PRELIMINARY COORDINATION</td> </tr> <tr> <td>4</td> <td>04/04/19</td> <td>ISSUED FOR COORDINATION</td> </tr> <tr> <td>5</td> <td>11/04/19</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>6</td> <td>11/04/19</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>7</td> <td>09/05/19</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>8</td> <td>09/05/19</td> <td>ISSUED FOR PERMITS</td> </tr> </tbody> </table>	No.	Date	Description	1	18/03/19	PRELIMINARY	2	18/03/19	PRELIMINARY COORDINATION	3	20/03/19	PRELIMINARY COORDINATION	4	04/04/19	ISSUED FOR COORDINATION	5	11/04/19	ISSUED FOR PERMITS	6	11/04/19	ISSUED FOR PERMITS	7	09/05/19	ISSUED FOR PERMITS	8	09/05/19	ISSUED FOR PERMITS	<p>Scale</p> <p>1 : 100 @A1</p> <p>Drawing No</p> <p>DA2001 8</p> <p>Issue</p> <p>8</p>	<p>Drawing Title</p> <p>BASEMENT 2 PLAN</p> <p>Project</p> <p>ORAN PARK - RESIDENTIAL 1 CNR PODIUM WAY & INTERNAL STREET ORAN PARK</p>	<p>Architect</p> <p>AJ+C AJ+ CONSULTANTS 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 9311 8222 fx +61 2 9311 8200 ABN 53 003 782 250</p>	<p>Client</p> <p>GREENFIELDS DEVELOPMENT COMPANY</p>	<p>1 Day</p> <p>Ver</p> <p>App'd</p>	<p>Sheet Status</p> <p>NOT FOR CONSTRUCTION</p> <p>Prog. No. 18001</p>
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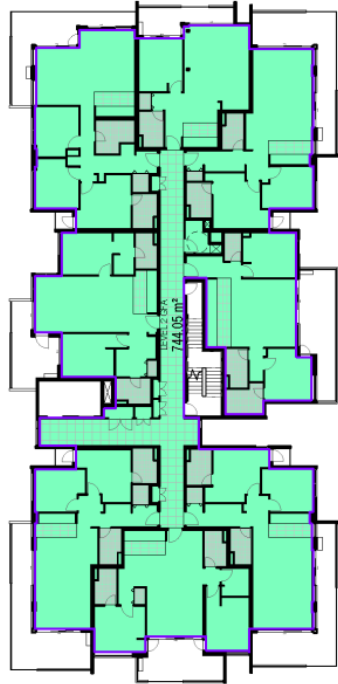


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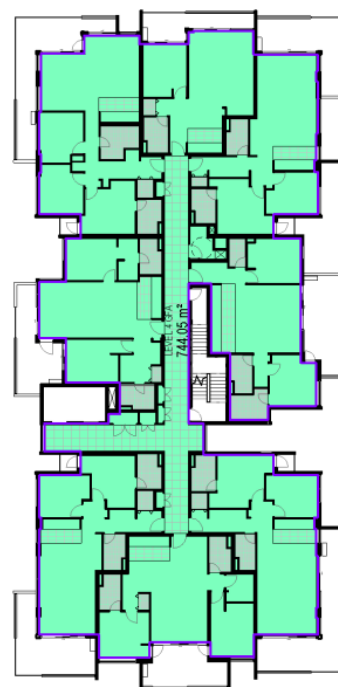
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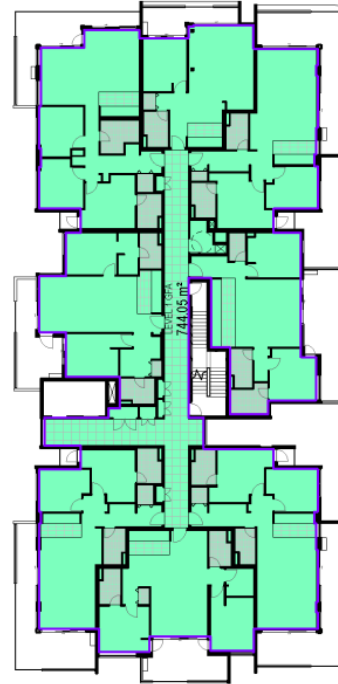
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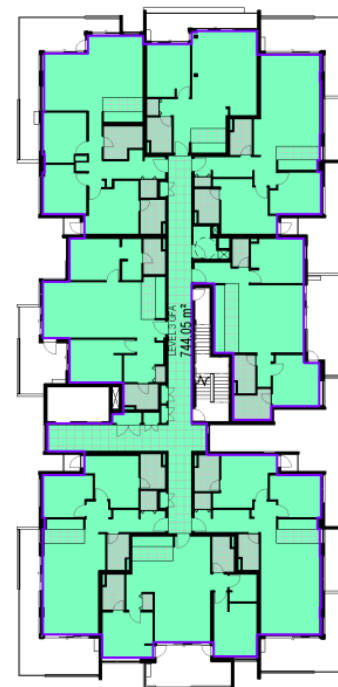
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5 LEVEL 4 GFA
1:250



2 LEVEL 1 GFA
1:250



4 LEVEL 3 GFA
1:250



1 GROUND LEVEL GFA
1:250

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LEVEL	AREA
GROUND GFA	707 m ²
LEVEL 1 GFA	744 m ²
LEVEL 2 GFA	744 m ²
LEVEL 3 GFA	744 m ²
LEVEL 4 GFA	746 m ²
LEVEL 5 GFA	744 m ²
Grand total	4429 m ²

<p>Revisions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>25/05/18</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>2</td> <td>25/05/18</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>3</td> <td>21/06/18</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>4</td> <td>09/08/18</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>5</td> <td>02/09/18</td> <td>ISSUED FOR DA</td> </tr> </tbody> </table>	No.	Date	Description	1	25/05/18	ISSUED FOR DA	2	25/05/18	ISSUED FOR DA	3	21/06/18	ISSUED FOR DA	4	09/08/18	ISSUED FOR DA	5	02/09/18	ISSUED FOR DA	<p>Client GREENFIELDS DEVELOPMENT COMPANY</p>	<p>Architect AJ+C AJ+C ARCHITECTS 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 8311 8222 fx +61 2 8311 8200 ABN 53 003 782 250</p>	<p>Project ORAN PARK - RESIDENTIAL 1 CNR PODIUM WAY & INTERNAL STREET ORAN PARK Prog. No. 18001</p>	<p>Drawing Title AREA CALCULATIONS - GFA</p>	<p>Scale 1:250 @A1</p> <p>Drawing No. DA2801 5</p> <p>Issue NOT FOR CONSTRUCTION</p>
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4	09/08/18	ISSUED FOR DA																					
5	02/09/18	ISSUED FOR DA																					

2 ELEVATION WEST

1 ELEVATION EAST

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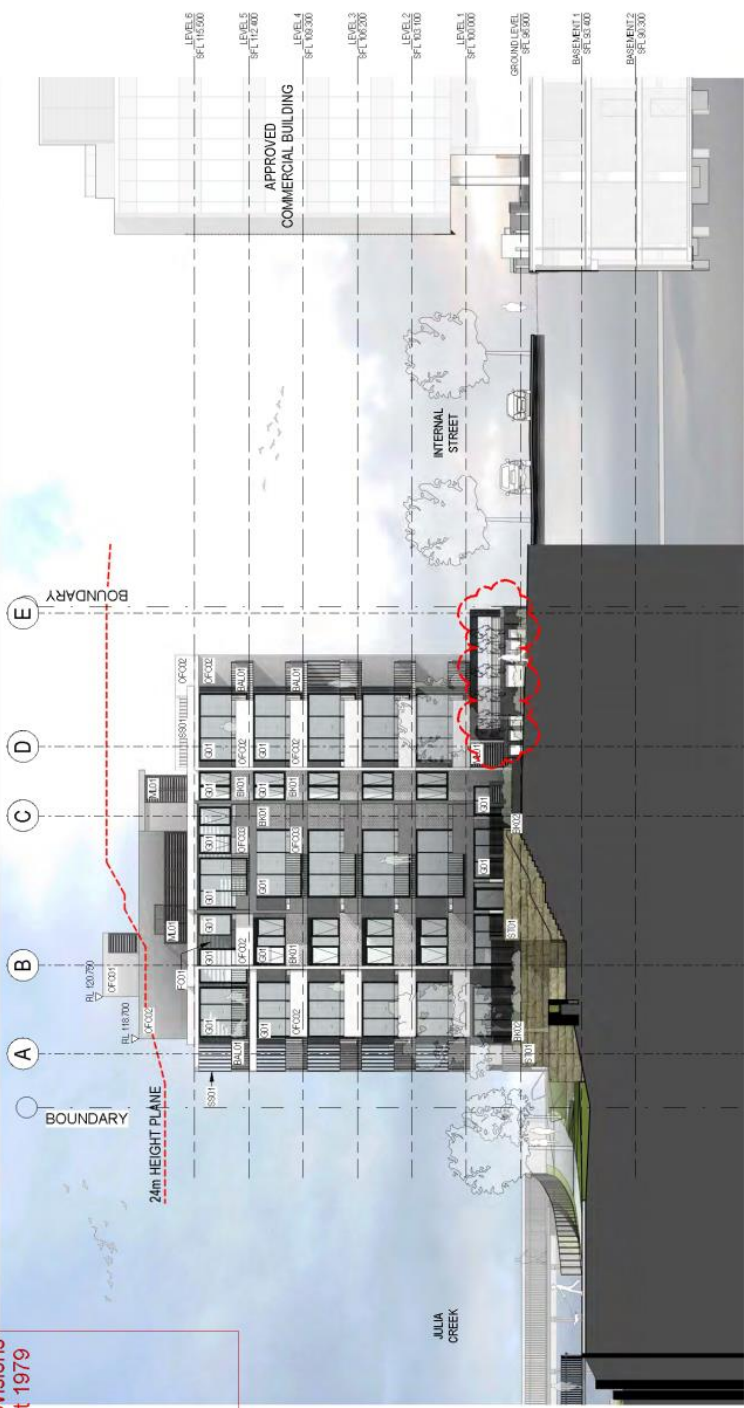
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	OF002	PAINTED CONCRETE (LIGHT)
	OF003	PAINTED CONCRETE (DARK)
	BK001	BRICK (LIGHT)
	BK002	BRICK (DARK)
	ST001	SANDSTONE
	BAL001	METAL BALUSTRATE
	G001	ALUMINUM FRAMED GLASS (DARK)
	ML001	METAL LOUVRE
	SS001	ALUMINUM SCREEN
	FC001	FIBRE CEMENT (DARK)

REVISION NO.	DATE	DESCRIPTION
1	02/05/18	RE: DA SUBMIT
2	14/05/18	RE: DA REVISIONS
3	14/05/18	RE: DA REVISIONS
4	14/05/18	RE: DA REVISIONS
5	25/05/18	ISSUED FOR DA
6	31/05/18	ISSUED FOR DA
7	05/06/18	ISSUED FOR DA
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10	11/02/19	ISSUED FOR DA (UPDATES)

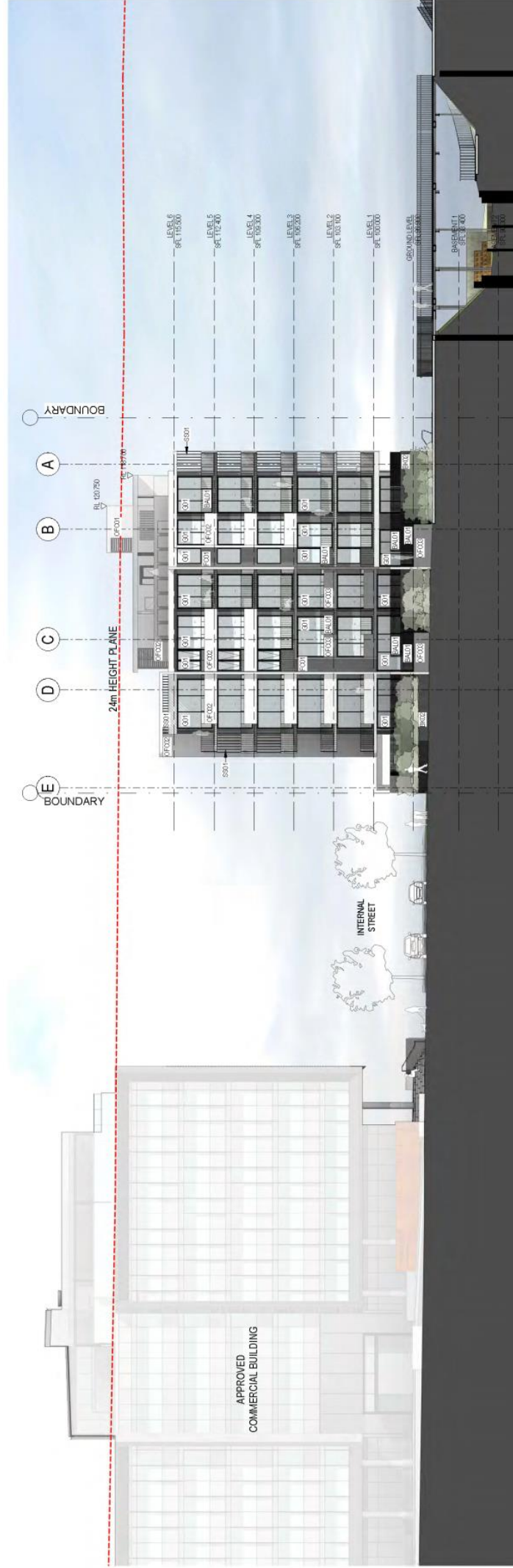
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Architect	AJ+C AJ+C ARCHITECTS 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 8511 5222 fx +61 2 8511 8200 ADR 23 03 752 250
Client	GREENFIELDS DEVELOPMENT COMPANY
Drawing Title	ELEVATIONS - SHEET 1
Scale	As Indicated @A1
Drawing No.	DA3101 10
Issue	Issue
Sheet Status	NOT FOR CONSTRUCTION
Prog. No.	18001

Drawn: [Name], Checked: [Name], Plotted & Checked: [Name], Date: [Date]

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1 ELEVATION SOUTH 1:200

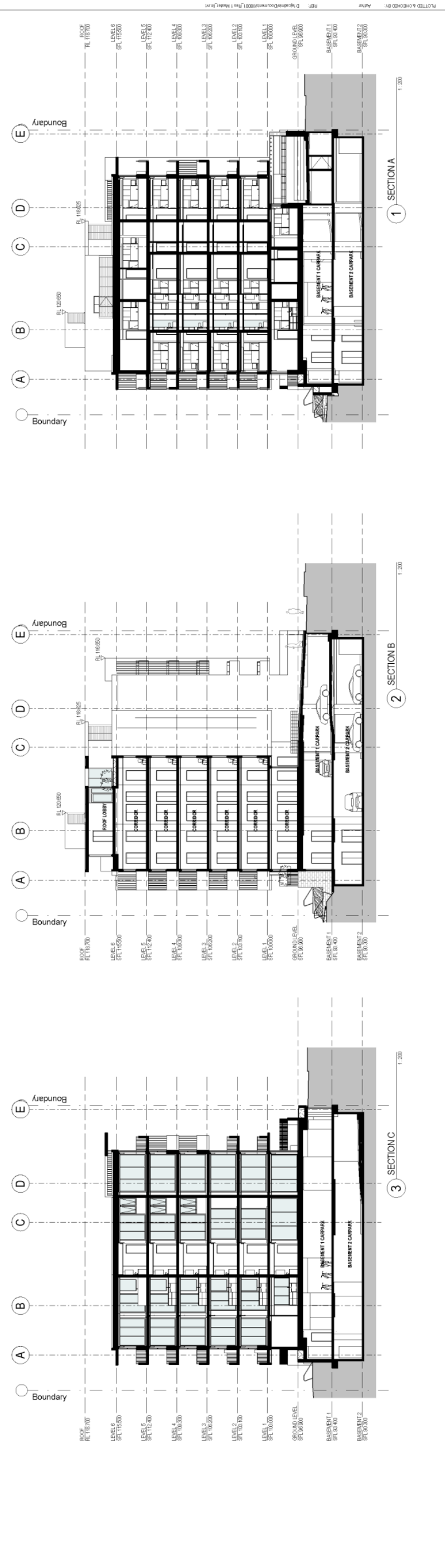
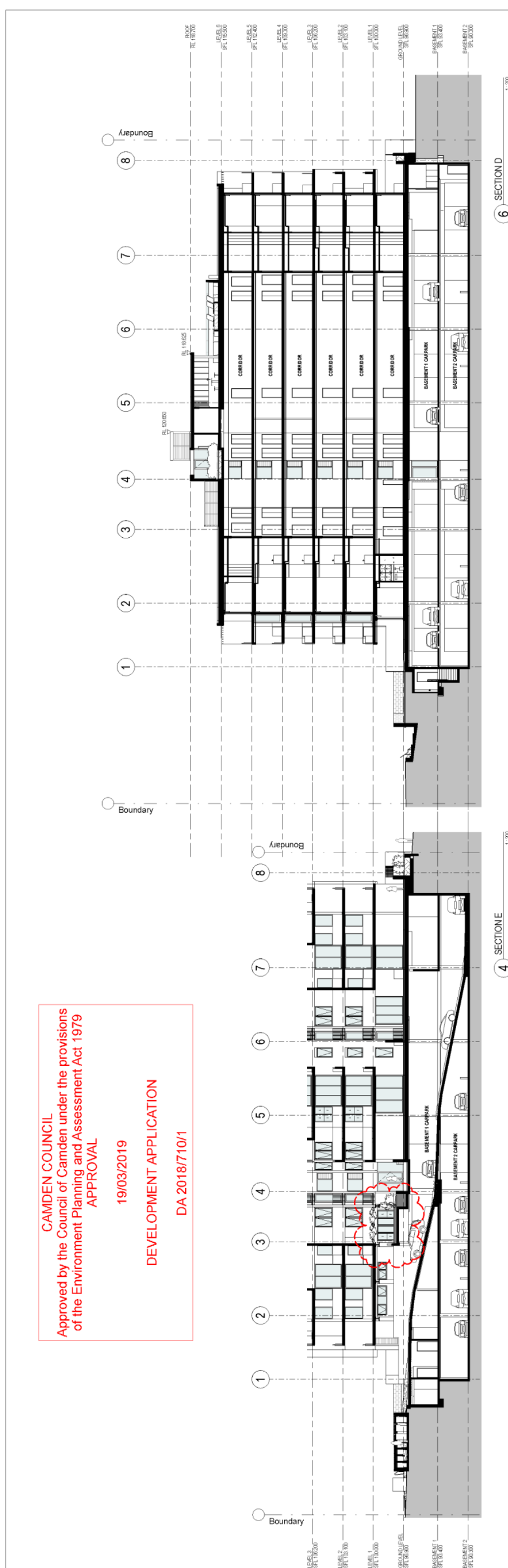


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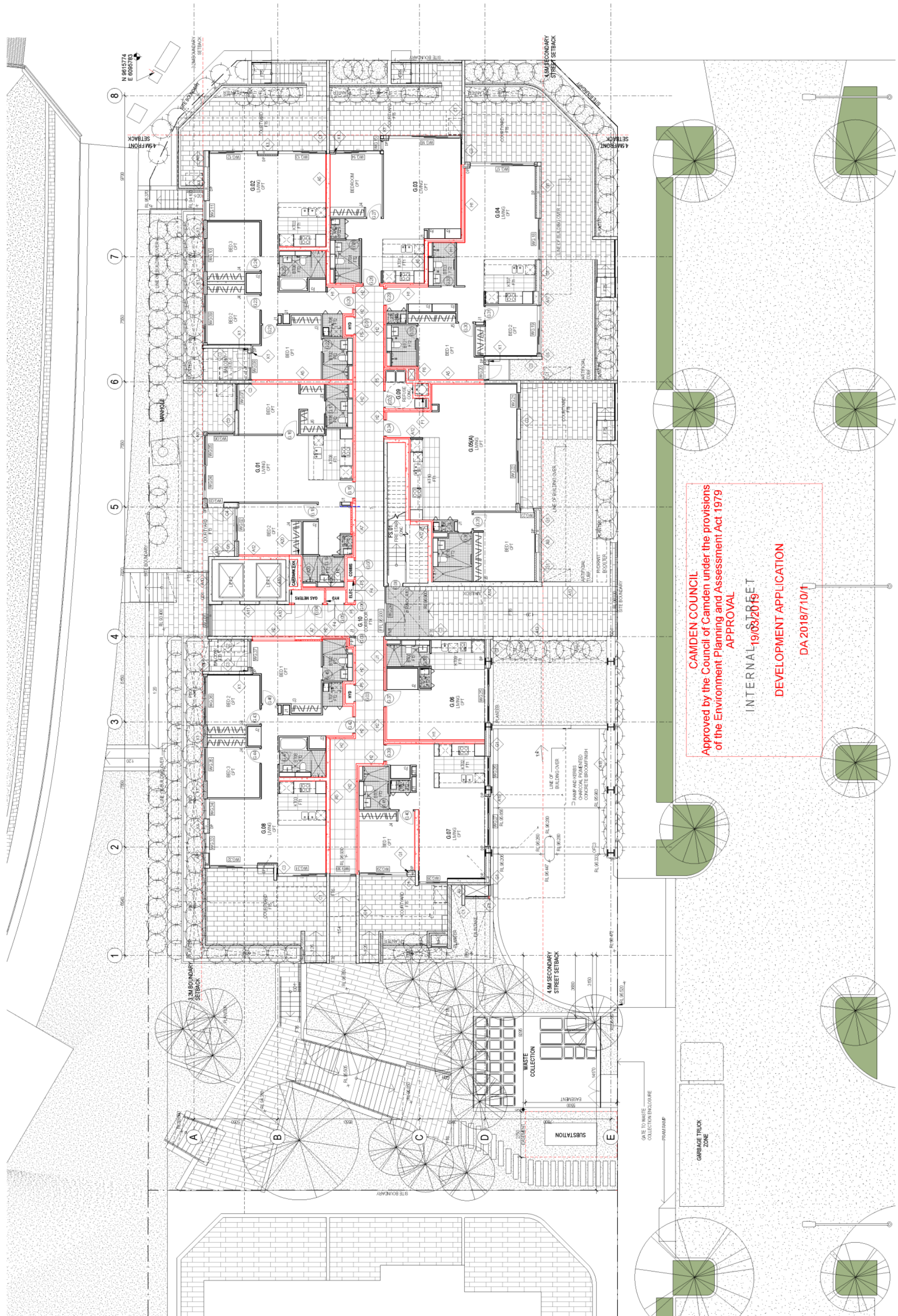
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		OFC02	PAINTED CONCRETE (LIGHT)
		OFC03	PAINTED CONCRETE (DARK)
		BK01	BRICK (LIGHT)
		BK02	BRICK (DARK)
		ST01	SANDSTONE
		BAL01	METAL BALUSTRATE
		G01	ALUMINUM FRAMED GLASS (DARK)
		ML01	METAL LOUVRE
		SS01	ALUMINUM SCREEN
		FC01	FIBRE CEMENT (DARK)

Revisions No. Date Description 1 14/03/19 PRELIM 2 22/03/19 PRELIM COORDINATION 3 29/03/19 PRELIM COORDINATION 4 04/04/19 ISSUED FOR COORDINATION 5 11/04/19 ISSUED FOR PERMITS 6 21/04/19 ISSUED FOR PERMITS 7 05/05/19 ISSUED FOR PERMITS 8 05/05/19 ISSUED FOR PERMITS 9 05/05/19 ISSUED FOR PERMITS 10 11/05/19 ISSUED FOR PERMITS	Ver. App'd JS JL	Client GREENFIELDS DEVELOPMENT COMPANY	Architect AJ+C ALMA PARK COLLEGE 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA ph +61 2 9311 8222 fx +61 2 9311 8200 ABN 53 003 782 250	Project ORAN PARK - RESIDENTIAL 1 CNR PODIUM WAY & INTERNAL STREET ORAN PARK Prog. No. 18001	Drawing Title ELEVATIONS - SHEET 2	Scale As indicated @A1	Drawing No. DA3102 10	Issue DA3102 10
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 DA 2018/710/1

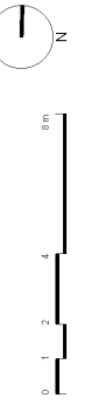


Revision No. 1 02019 2 22019 3 23019 4 24019 5 05019 6 06019 7 11019	Description REVISION PRELIMINARY COORDINATION PRELIMINARY COORDINATION ISSUED FOR I.A. ISSUED FOR I.A. ISSUED FOR I.A. ISSUED FOR I.A.	Ver App'd JS JS	Date 19/03/2019	Scale 1:200 @A1	Drawing Title SECTIONS	Project ORAN PARK - RESIDENTIAL 1 ORAN PARKWAY & INTERNAL STREET ORAN PARK	Client GREENFIELDS DEVELOPMENT COMPANY	Architect AJ+C ARCHITECTS 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA PH +61 2 9511 5222 FX +61 2 9511 8200 ADR 23 003 752 230	Issue No. DA3201 7	Sheet Status NOT FOR CONSTRUCTION	Project No. 18001	Scale 0 2 4 8 16m	Drawing No. DA3201 7	Issue 1
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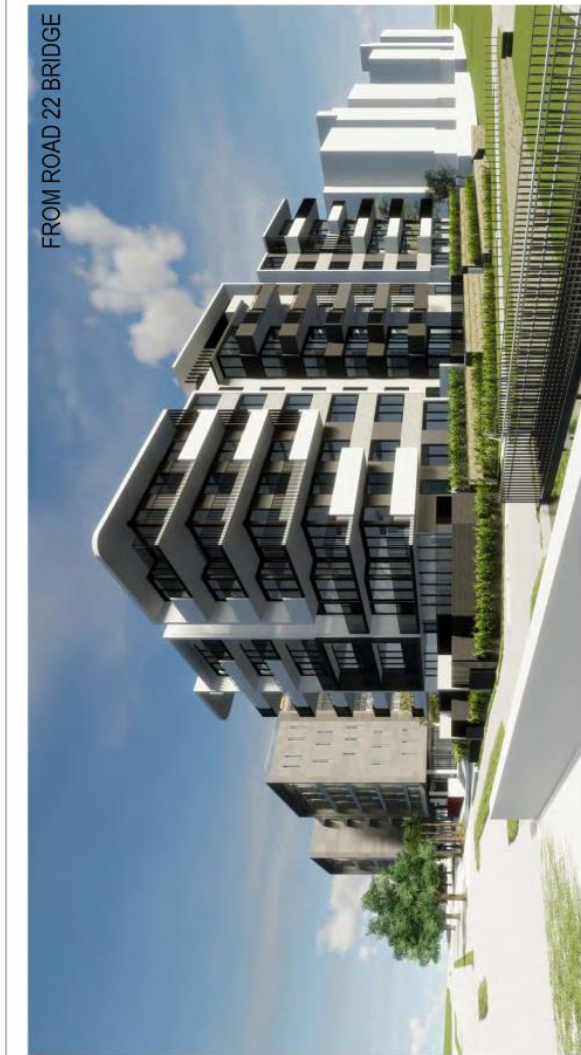


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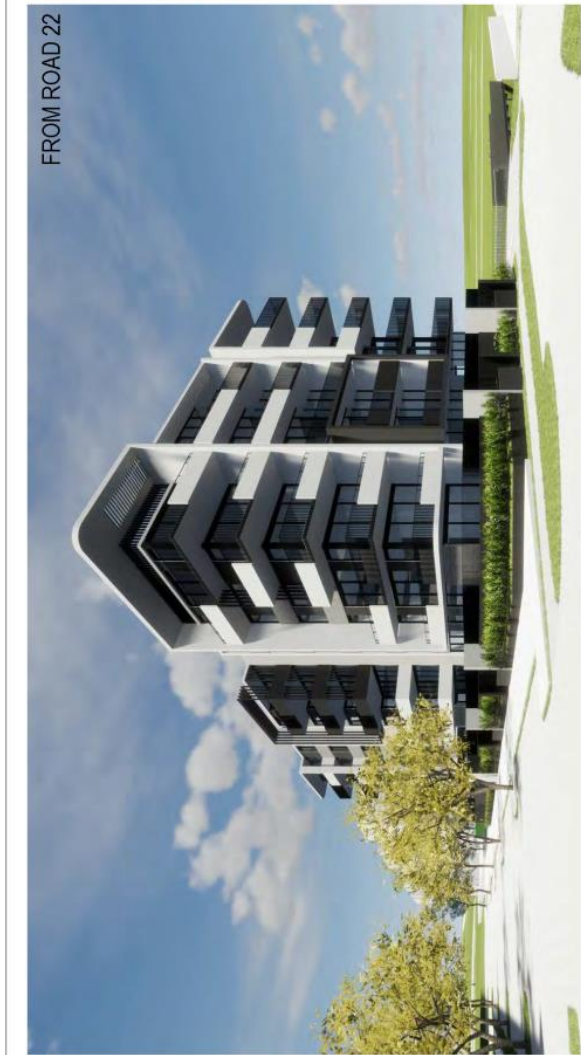
INTERNAL STREET
 DEVELOPMENT APPLICATION
 DA 2018/710/1



18001
WASTE COLLECTION SKETCH
Attachment 6



FROM ROAD 22 BRIDGE



FROM ROAD 22



FROM SOUTHERN BRIDGE AT JULIA CREEK



ELEVATED FROM INTERNAL ROAD



ELEVATED FROM JULIA CREEK



FROM INTERNAL ROAD

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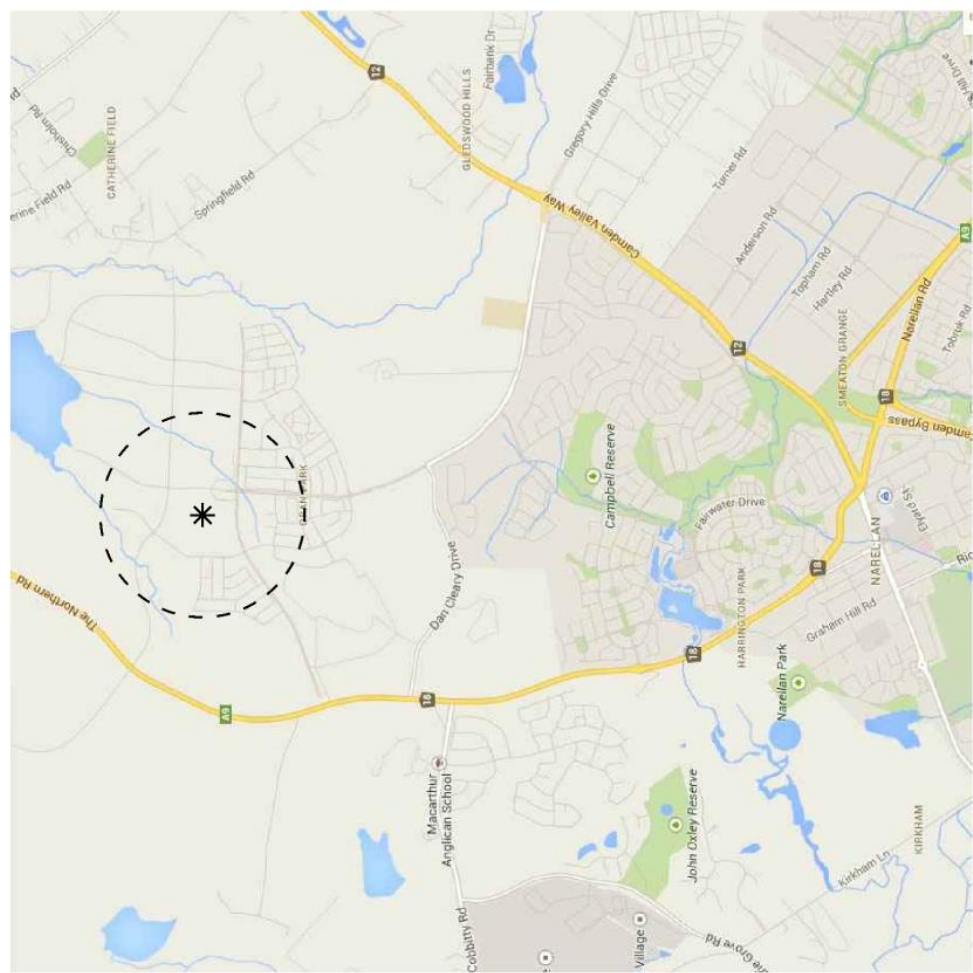
<p>LOT 6 SITE 6 TIME 2/10/2019 4:21:28 PM PLOTTED & CHECKED BY: ANNA REF: C:\Users\annc\Documents\18001_Plan 1</p>	<p>Scale: 1:1 @A1 Drawing No: DA3901 7 Issue:</p>
<p>Project: ORAN PARK - RESIDENTIAL 1 6/85 POGGIWAY & INTERNAL STREET ORAN PARK Proj. No: 18001</p>	<p>Drawing Title: PERSPECTIVES - SHEET 1 Sheet Status: NOT FOR CONSTRUCTION</p>
<p>Client: GREENFIELDS DEVELOPMENT COMPANY</p>	<p>Architect: AJ+C AJ+C ARCHITECTS 79 Myrtle Street Chippendale NSW 2008 AUSTRALIA Ph +61 2 9511 5222, Fr +61 2 9511 8200 ADR 23 003 752 250</p>
<p>Revision No. Description 1. RECD INSET 2. 14/03/19 RECD REVISION COORDINATION 3. 15/03/19 ISSUED FOR DA 4. 20/03/19 ISSUED FOR DA 5. 21/03/19 ISSUED FOR DA 6. 05/04/19 ISSUED FOR DA 7. 05/04/19</p>	<p>Ver. App'd: Key:</p>

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ORAN PARK TOWN TRANCHE 8 RESI 1 TENDER ISSUE

NO.	DRAWING TITLE	SCALE	ISSUE
LT01	TITLE SHEET	1:2000	B
LL01	LEVELS & SETOUT PLAN GROUND FLOOR	1:100	B
LL02	LEVELS & SETOUT PLAN ROOFTOP	1:50	A
LF01	FINISHES PLAN GROUND FLOOR	1:100	A
LF02	FINISHES PLAN ROOFTOP	1:50	A
LP01	PLANTING PLAN GROUND FLOOR	1:100	A
LP02	PLANTING PLAN ROOFTOP	1:50	A
LC01	SITE SECTIONS 01	1:100	A
LC02	SITE SECTIONS 02	1:50	A
LD01	LANDSCAPE DETAILS 01	AS SHOWN	A
LD02	LANDSCAPE DETAILS 02	AS SHOWN	A
LD03	LANDSCAPE DETAILS 03	AS SHOWN	A
LD04	LANDSCAPE DETAILS 04	AS SHOWN	A

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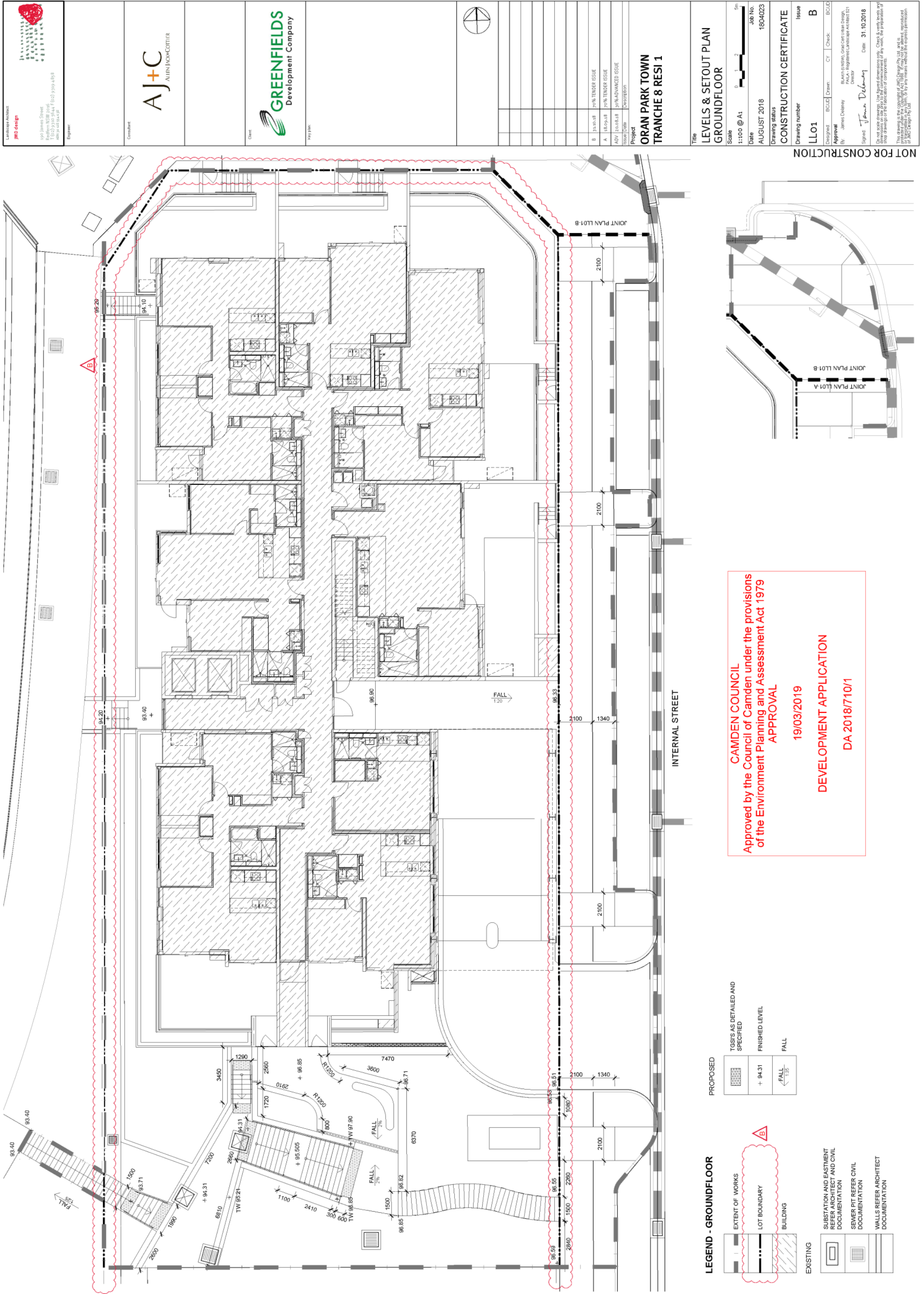
LOCALITY PLAN - NTS






CONTEXT PLAN - 1:2000 @ A1

<p>LANDSCAPE ARCHITECT JMO design 190 James Street Redfern NSW 2015 Tel: (02) 9159 4838 Fax: (02) 9159 4838 www.jmo.com.au Engineers</p>	<p>CONSULTANT AJ+C ALVIN KIM-COTTIER</p>	<p>CLIENT GREENFIELDS Development Company</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">B 31.10.18</td> <td style="width: 50%;">75% TENDER ISSUE</td> </tr> <tr> <td>A 18.09.18</td> <td>50% TENDER ISSUE</td> </tr> <tr> <td>ADV 20.08.18</td> <td>25% ADVANCED ISSUE</td> </tr> <tr> <td>Issue Date</td> <td>Description</td> </tr> </table>	B 31.10.18	75% TENDER ISSUE	A 18.09.18	50% TENDER ISSUE	ADV 20.08.18	25% ADVANCED ISSUE	Issue Date	Description	<p>Project ORAN PARK TOWN TRANCHE 8 RESI 1</p>	<p>Title TITLE SHEET</p>	<p>Scale 1:2000 @ A1</p> <p>Date AUGUST 2018</p> <p>Scale 0 100 200 500m</p> <p>Job No. 1804023</p>	<p>CONSTRUCTION CERTIFICATE Drawing number LT01</p> <p>Issue B</p>	<p>Approval By: James Delaney Director</p> <p>Approval By: James Delaney Director</p> <p>Signature James Delaney</p> <p>Date 31.10.2018</p>
B 31.10.18	75% TENDER ISSUE																
A 18.09.18	50% TENDER ISSUE																
ADV 20.08.18	25% ADVANCED ISSUE																
Issue Date	Description																

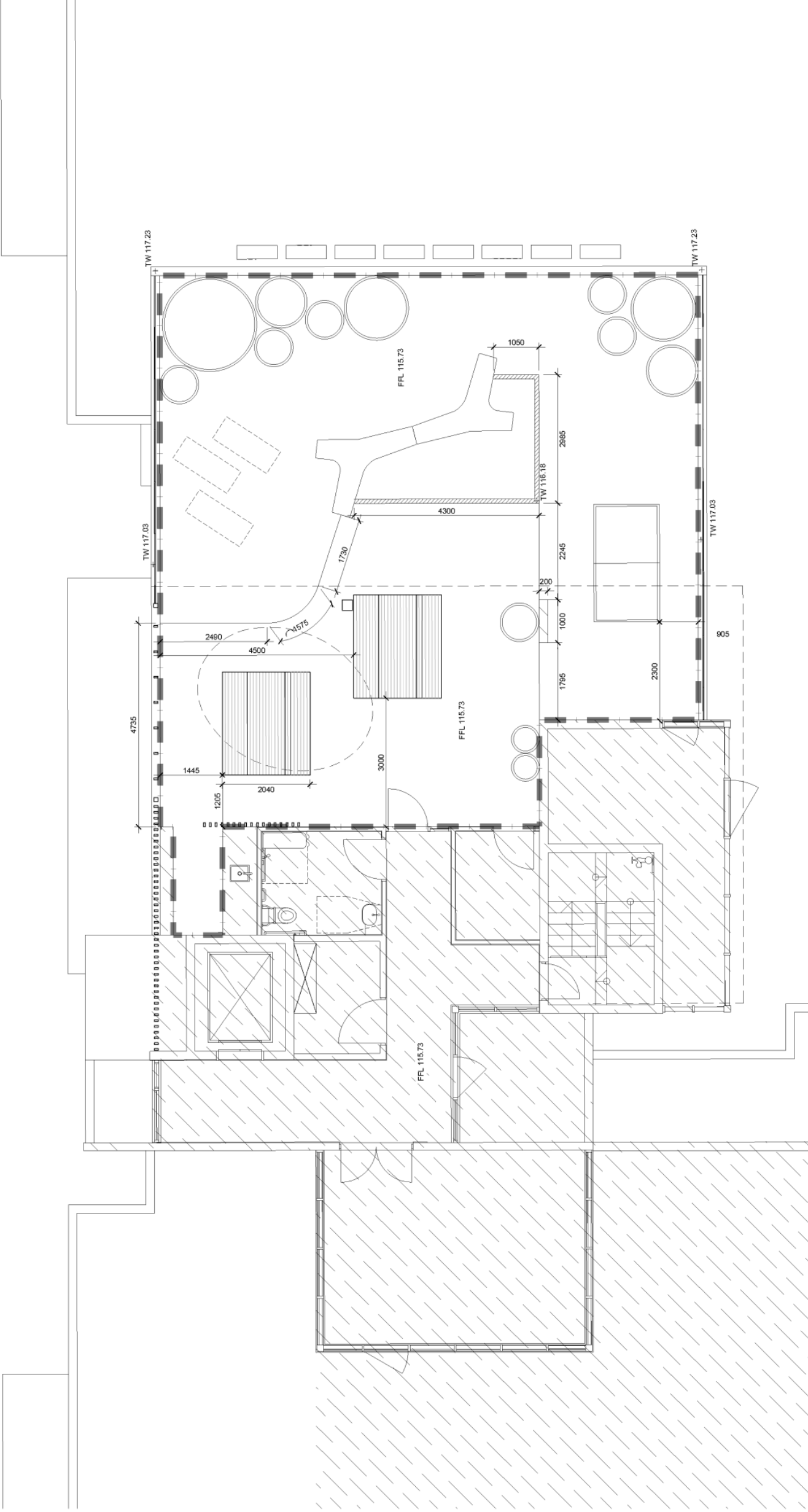
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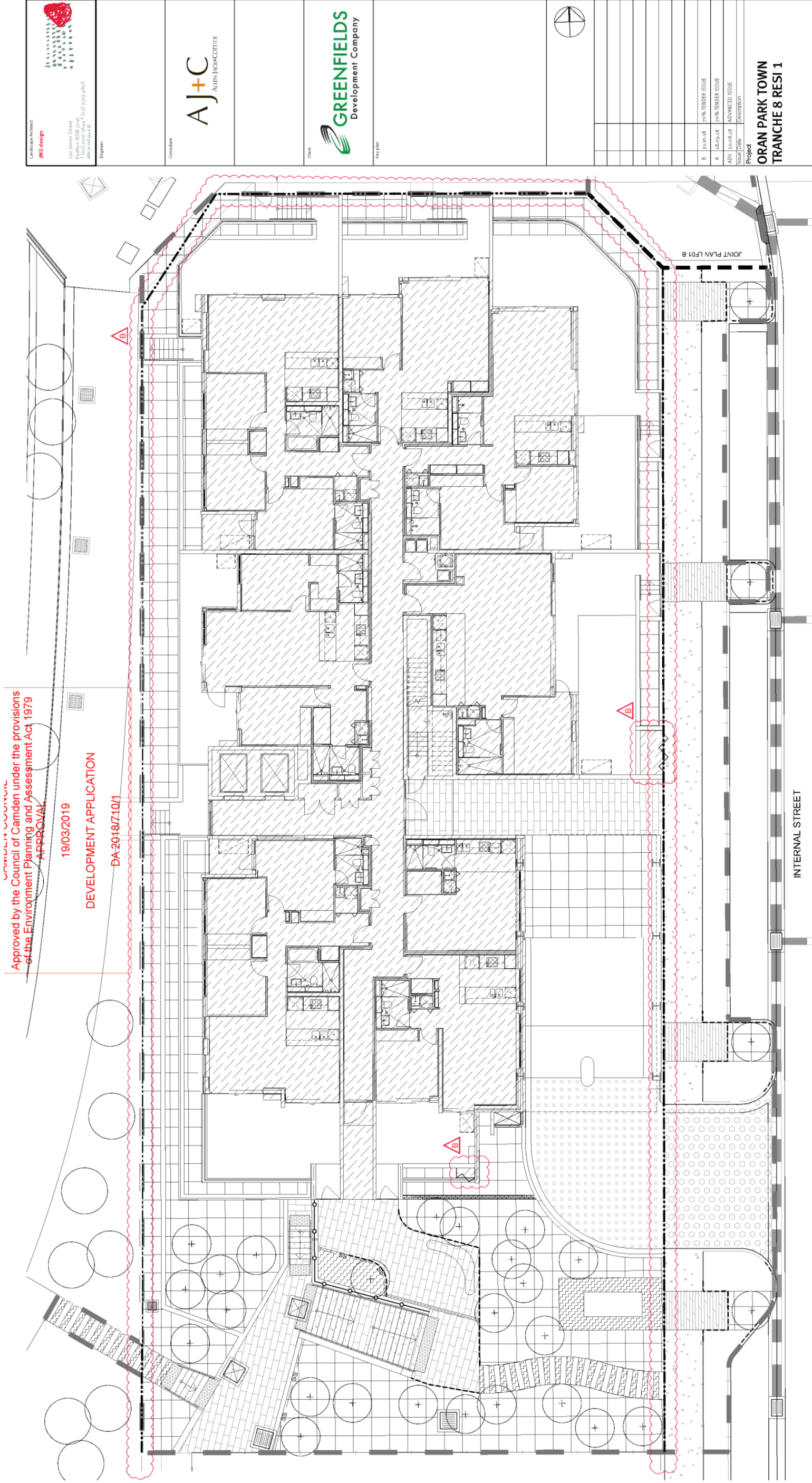
 <p>JMO Design Landscape Architect 190 James Street Redfern NSW 2046 Tel: (02) 9399 4838 jmo@jmo.com.au</p>	<p>AJ+C ALVIN KIM-COTTIER</p>	 <p>GREENFIELDS Development Company</p>		<table border="1"> <tr> <td>Issue</td> <td>Date</td> <td>Description</td> </tr> <tr> <td>A</td> <td>18/09/18</td> <td>10% TENDER ISSUE</td> </tr> <tr> <td>ADV</td> <td>20/08/18</td> <td>ADVANCED ISSUE</td> </tr> </table>	Issue	Date	Description	A	18/09/18	10% TENDER ISSUE	ADV	20/08/18	ADVANCED ISSUE	<p>Project ORAN PARK TOWN TRANCHE 8 RESI 1</p>	<p>Title LEVELS & SETOUT PLAN ROOFTOP</p> <p>Scale 1:100 @ A1 0 0.5 1 2.5m</p> <p>Date AUGUST 2018</p> <p>Drawing status CONSTRUCTION CERTIFICATE</p> <p>Drawing number LLO2</p> <p>Issue A</p>	<p>Approval By: James Delaney Director 18/09/2018 1804023</p> <p>Approval By: James Delaney Director 18/09/2018 1804023</p>
Issue	Date	Description														
A	18/09/18	10% TENDER ISSUE														
ADV	20/08/18	ADVANCED ISSUE														

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EXISTING		PROPOSED	
	EXTENT OF WORKS AT ROOFTOP LEVEL		LEVELS + 94.31
	BUILDING		STEEL RETAINING WALL TO STAIRS/CHAIRS AS DETAILED AND SPECIFIED - TBC
	ROOFTOP SURROUNDING SLAB		DECK CHAIRS INDICATIVE SETOUT
	BUILDING ROOFLINE REFER ARCHITECT DOCUMENTATION		2400L x 2040W x 440H COMMUNAL TABLE AND SEATS
	WALLS REFER ARCHITECT DOCUMENTATION		2740L x 1625W TABLE TENNIS



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19/03/2019

DA-2018/710/1

DEVELOPMENT APPLICATION

190 James Street

 Sydney NSW 1500

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 F: 02 9390 4818

 www.jmsdesign.com.au

 Email: info@jmsdesign.com.au

ALVIN JACK-COTTER

Development Company

Project	ORAN PARK TOWN TRANCHE 8 RESI 1
Issue	DESCRIPTION
Issue Date	18/09/18
Issue	ADVANCED ISSUE
Issue	70% TENDER ISSUE
Issue	10% TENDER ISSUE

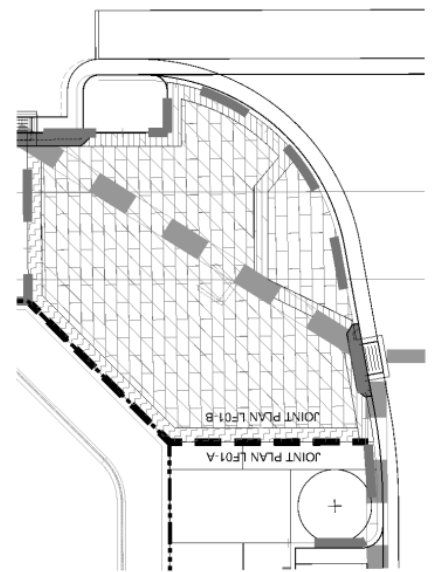
FINISHES PLAN
GROUND FLOOR

Scale: 1:100 @ A1
 Date: AUGUST 2018
 Job No.: 1804023

CONSTRUCTION CERTIFICATE
 Drawing number: LFO1
 Issue: B

Approved by: James Delaney
 Director
 Signed: James Delaney
 Date: 18.09.2018

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- TREES REFER TO PLANTING PLAN LFO1
- PRECAST CONCRETE STEPPING STONE AS DETAILED AND SPECIFIED
- CONCRETE STAIR WITH HANDRAIL REFER ARCHITECTURE'S DOCUMENTATION
- PIT REFER TO ENGINEER'S DOCUMENTATION
- PRECAST CONCRETE SEAT AS SPECIFIED

- REINFORCED LIGHTLY WASHED 'COB GOST GUM' COLOURED CONCRETE WITH 20mm BLACK BASALT AGGREGATE AND 600 x 600 DECORATIVE SAWCUTS
- REINFORCED MANGON IMAGRETE QUAMETAL COLOURED CONCRETE WITH 20mm BLACK BASALT AGGREGATE AND HEAVY SHOT BLAST FINISH
- REINFORCED MANGON IMAGRETE QUAMETAL COLOURED CONCRETE WITH 10-20mm BLACK BASALT AGGREGATE, 600 x 600 DECORATIVE SAW CUTS AND HEAVY SHOT BLAST FINISH
- EXTENT OF MASS PLANTING AREA WITH MULCH
- EXTENT OF MASS PLANTING AREA WITH PEBBLES
- EXTENT OF TURF AREA
- EXTENT OF MULCH AREA AS DETAILED AND SPECIFIED
- TG/S/S AS DETAILED AND SPECIFIED

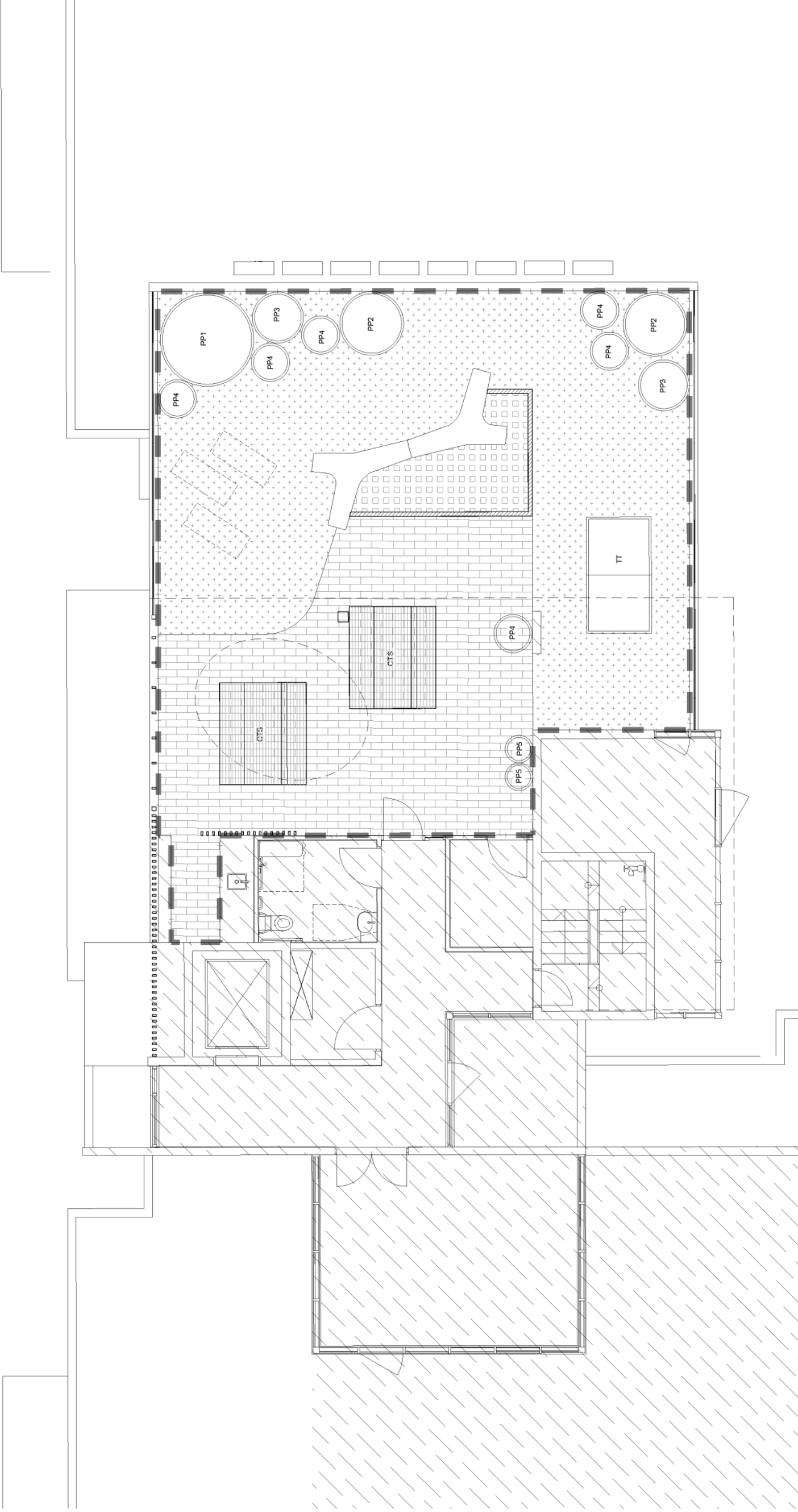
- SUBSOIL DRAINAGE AS DETAILED AND SPECIFIED
- STRIP DRAIN REFER CIVIL DOCUMENTATION
- ROOT CONTROL BARRIER AS DETAILED AND SPECIFIED
- BALLUSTRADE REFER ARCHITECT'S DOCUMENTATION
- PAVER TYPE A - ALIGNMENT 1000 x 300 x 40 GRANITE PAVERS SESAME GREY AS DETAILED AND SPECIFIED
- PAVER TYPE B - ALIGNMENT 1000 x 300 x 40 GRANITE PAVERS TYPE A 'SESAME GREY' AS DETAILED AND SPECIFIED
- PAVER TYPE C - 400 x 400 x 40 GRANITE PAVER 'RAVEN BLACK' AS DETAILED AND SPECIFIED
- PAVER TYPE D - 80 x 80 x 40 RAVEN BLACK NATURAL SPLIT GRANITE SET PAVING AS DETAILED AND SPECIFIED
- PORTLAND JOINT AS DETAILED AND SPECIFIED

- EXTENT OF WORKS
- LOT BOUNDARY
- BUILDING
- EXISTING
- SUBSTATION AND EASTMENT REFER ARCHITECT AND CIVIL DOCUMENTATION
- PIT REFER CIVIL DOCUMENTATION
- WALLS REFER ARCHITECT DOCUMENTATION
- LOUVER REFER ARCHITECT DOCUMENTATION

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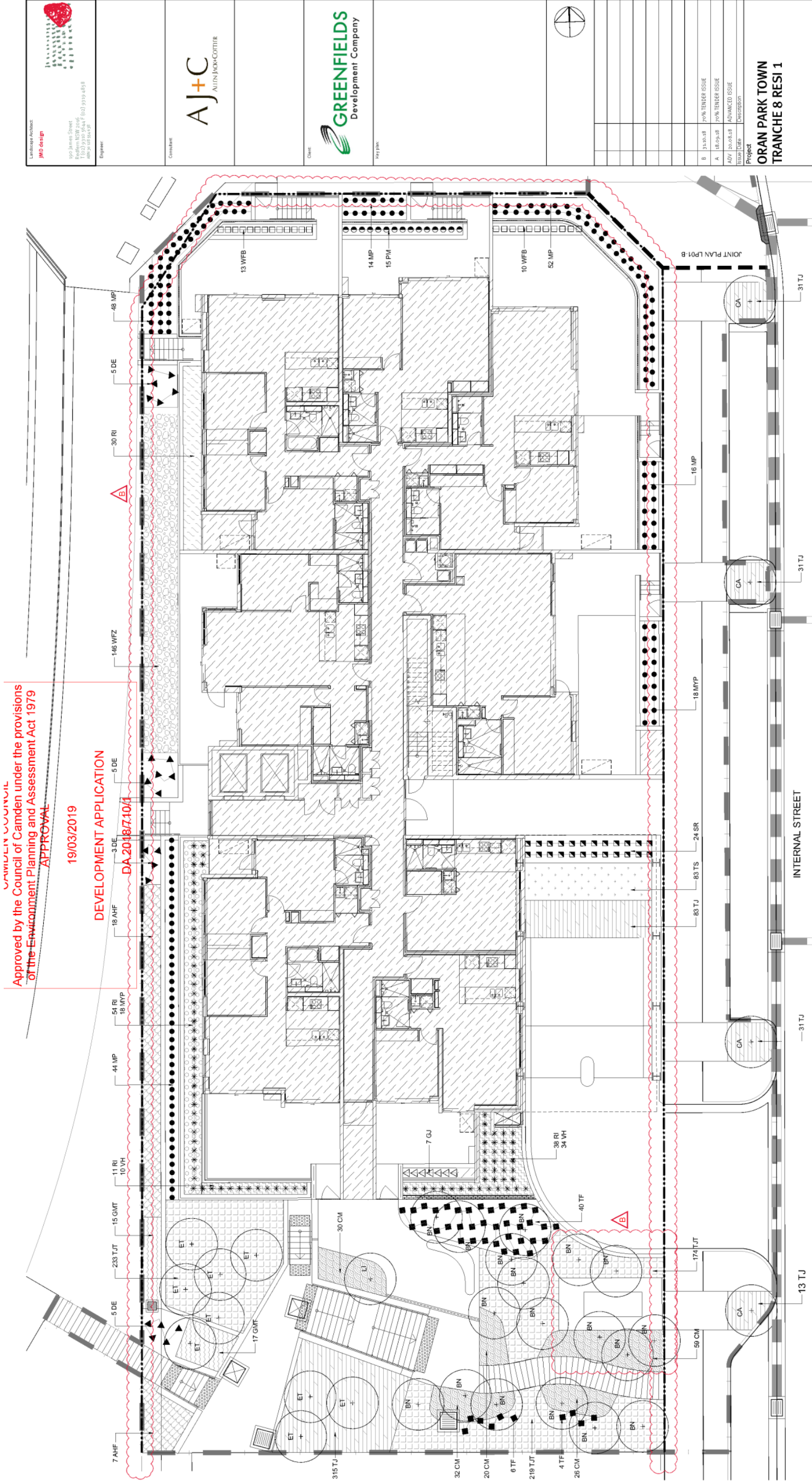
 <p>JMO Design Landscape Architect 190 James Street Redfern NSW 2046 Tel: (02) 9119 4518 www.jmo.com.au</p>	<p>AJ+C ALVIN KIM-COTTIER</p>	 <p>GREENFIELDS Development Company</p>		<table border="1"> <tr> <th>Issue No</th> <th>Issue Date</th> <th>Description</th> </tr> <tr> <td>A</td> <td>18.09.18</td> <td>10% TENDER ISSUE</td> </tr> <tr> <td>ADV</td> <td>20.03.18</td> <td>ADVANCED ISSUE</td> </tr> </table>	Issue No	Issue Date	Description	A	18.09.18	10% TENDER ISSUE	ADV	20.03.18	ADVANCED ISSUE	<p>Project ORAN PARK TOWN TRANCHE 8 RESI 1</p>	<p>Title FINISHES PLAN ROOFTOP</p> <p>Scale 1:50 @ A1</p> <p>Date AUGUST 2018</p> <p>Job No 1804023</p>	<p>CONSTRUCTION CERTIFICATE</p> <p>Drawing number: LF02</p> <p>Issue: A</p> <p>Designed: BCCG Drawn: CY Check: BCCG</p> <p>Approval: James Delaney Director 18.09.2018</p> <p>Signed: James Delaney Date: 18.09.2018</p> <p><small>Do not scale drawings. Use figured dimensions only. Check & verify levels and shop drawings for all materials and components. This drawing is the copyright of JMO Design Pty Ltd and shall not be reproduced, stored in a retrieval system, or by any means without the express permission of JMO Design Pty Ltd.</small></p>
Issue No	Issue Date	Description														
A	18.09.18	10% TENDER ISSUE														
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DA 2018/710/1

EXISTING	PROPOSED



LANDSCAPE ARCHITECT
JMO Design
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 Adelaide SA 5000
 T: 08 8363 5644 F: 08 8363 5618
 www.jmo.com.au

CLIENT
AJ+C
 ALVIN JACK-COTTIER

DEVELOPER
GREENFIELDS
 Development Company

PROJECT
 ORAN PARK TOWN
 TRANCHE 8 RESI 1

DATE
 13.10.18 70% TENDER ISSUE
 18.09.18 70% TENDER ISSUE
 20.08.18 ADVANCED ISSUE
 18.09.18 ADVANCED ISSUE

ISSUE DATE
 18.09.18

ISSUE TYPE
 Description

Scale
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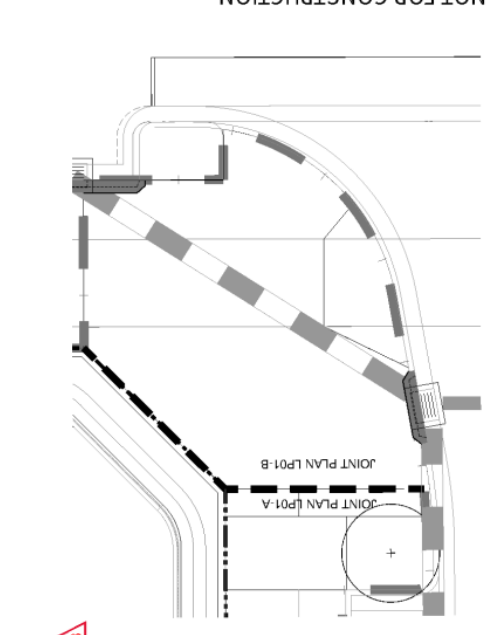
Date
 AUGUST 2018

Drawing status
 1804023

CONSTRUCTION CERTIFICATE
 Drawing number LP01 Issue B

Approval
 Approved by James Delaney
 Checked by James Delaney
 Drawn by James Delaney
 Date 31.10.2018

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PLANT SCHEDULE - LP01

SYM	BOTANIC NAME	COMMON NAME
TREES		
BN	<i>Betula nigra</i>	River Birch
CA	<i>Cupaniopsis anacardioides</i>	Tuckeroo
ET	<i>Eucalyptus tereticornis</i>	Blue Gum
LI	<i>Lagerstroemia indica 'Natchez'</i>	Crape-myrtle
SHRUBS		
AHF	<i>Acmena smithii 'Hot Flush'</i>	Small Leaved Lilly Pilly
GJ	<i>Gardenia jasminoides</i>	Gardenia
RI	<i>Rhaphiolepis indica 'Snow Maiden'</i>	Snow Maiden
MP	<i>Murraya paniculata</i>	Chinese Box
PM	<i>Pittosporum tobira 'Miss Muffet'</i>	Miss Muffet Pittosporum
TF	<i>Teucrium fruticosum</i>	Bush Germander
WFB	<i>Westringia fruticosa 'Grey Box'</i>	Dwarf Native Rosemary
WFZ	<i>Westringia fruticosa 'Zena'</i>	Coastal Rosemary
FEATURE PLANT		
DE	<i>Dorothy's excelsa</i>	Gymea Lily
SR	<i>Strelitzia reginae</i>	Brid of Paradise
GROUNDCOVERS & GRASSES		
CM	<i>Clivia miniata</i>	Natal Lily
GMI	<i>Grevillea lanigera 'M Tamboritha'</i>	Spindler Flower
MYP	<i>Myoporum parvifolium</i>	Creeping Boobialla
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine
TJS	<i>Trachelospermum jasminoides 'Tricolour'</i>	Tricolour Star Jasmine
T.S	<i>Tradescantia spathacea</i>	Boat Lily
VH	<i>Viola hederacea</i>	Ivy-leaved Violet
TURF		<i>Grand prix couch</i>

LEGEND - GROUND FLOOR

EXISTING

- Substation and Eastment Refer Architect and Civil Documentation
- PIT Refer Civil Documentation
- Walls Refer Architect Documentation

PROPOSED






- Trees Refer to Planting Plan LP01
- PIT Refer Civil Documentation

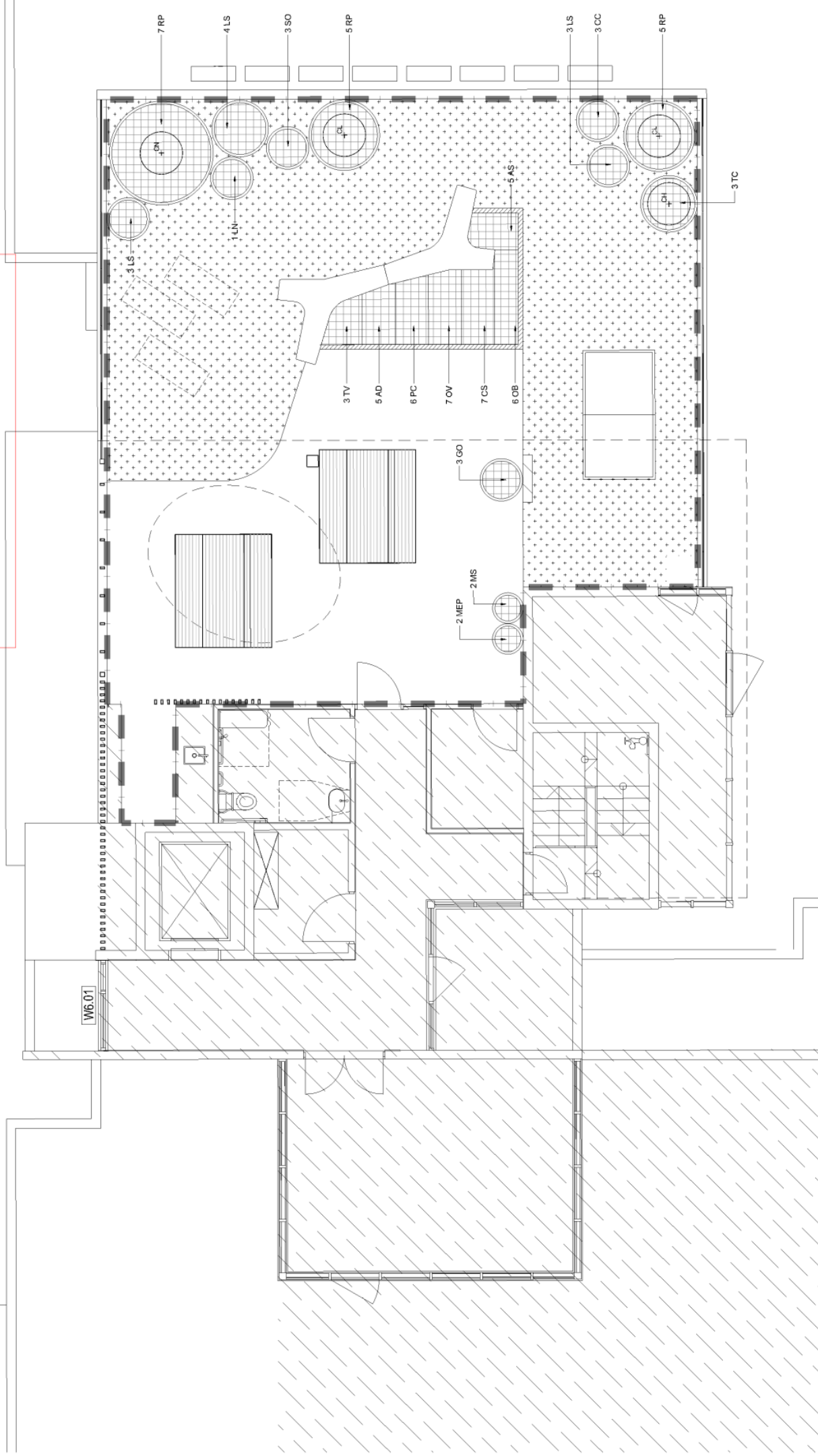
EXTENT OF WORKS LP01

LOT BOUNDARY

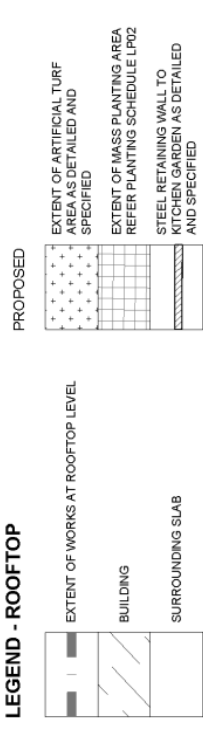
BUILDING

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 Landscape Architect 190 James Street Redfern NSW 2046 Tel: (02) 9159 4638 Fax: (02) 9159 4639 www.jmo.com.au	 ALVIN KIM-COTTIER	 Development Company		Project ORAN PARK TOWN TRANCHE 8 RESI 1	Title PLANTING PLAN ROOFTOP
Engineer:		Consultant:		Date: AUGUST 2018 Job No: 1804023	
Scale: 1:50 @ A1 		Drawing status: CONSTRUCTION CERTIFICATE		Drawing number: LP02 Issue: A	
Issue Date: 18/09/18 Description: 10% TENDER ISSUE ADVANCED ISSUE		Approved By: James Delaney Director		Checked By: James Delaney Director	
Issue Date: 18/09/18 Description: 10% TENDER ISSUE ADVANCED ISSUE		Approved By: James Delaney Director		Checked By: James Delaney Director	
Issue Date: 18/09/18 Description: 10% TENDER ISSUE ADVANCED ISSUE		Approved By: James Delaney Director		Checked By: James Delaney Director	



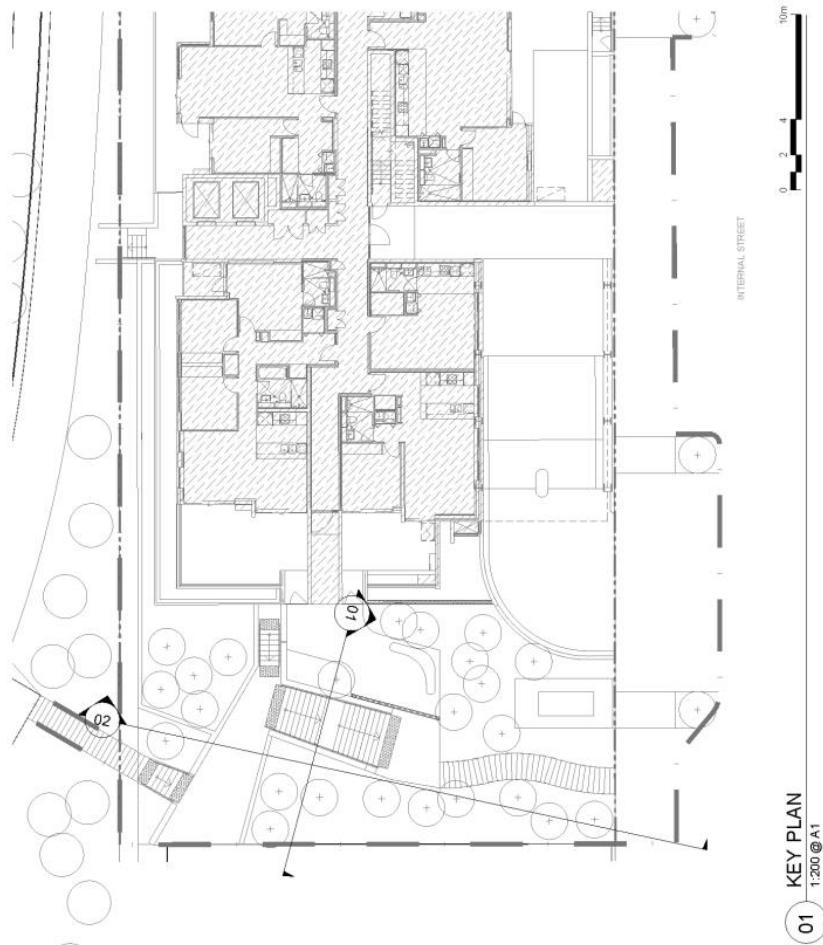
SYM	COMMO
TREES	PLANT SCHEDULE - LP02
CH	BOTANIC NAME
KL	<i>Citrus hystrix</i>
CL	<i>Citrus limon</i> 'Meyer'
CN	<i>Citrus sinensis</i> 'navel'
SHRUBS	
LN	<i>Laurus nobilis</i>
GROUNDCOVERS & AROMATIC HERBS	
AD	<i>Artemisia dracunculoides</i>
AS	<i>Allium schoenoprasum</i>
CC	<i>Cymbopogon citratus</i>
CS	<i>Coriandrum sativum</i>
GO	<i>Galium odoratum</i>
LS	<i>Lavandula stoechas</i>
MEP	<i>Mentha piperita</i>
MS	<i>Mentha spicata</i>
OB	<i>Ocimum basilicum</i>
OV	<i>Oregano vulgare</i>
PC	<i>Petroselinum crispum</i>
RP	<i>Rosmarinus officinalis</i> 'Prostratus'
SO	<i>Salvia officinalis</i>
TC	<i>Thymus citriodorus</i>
TV	<i>Thymus vulgaris</i>



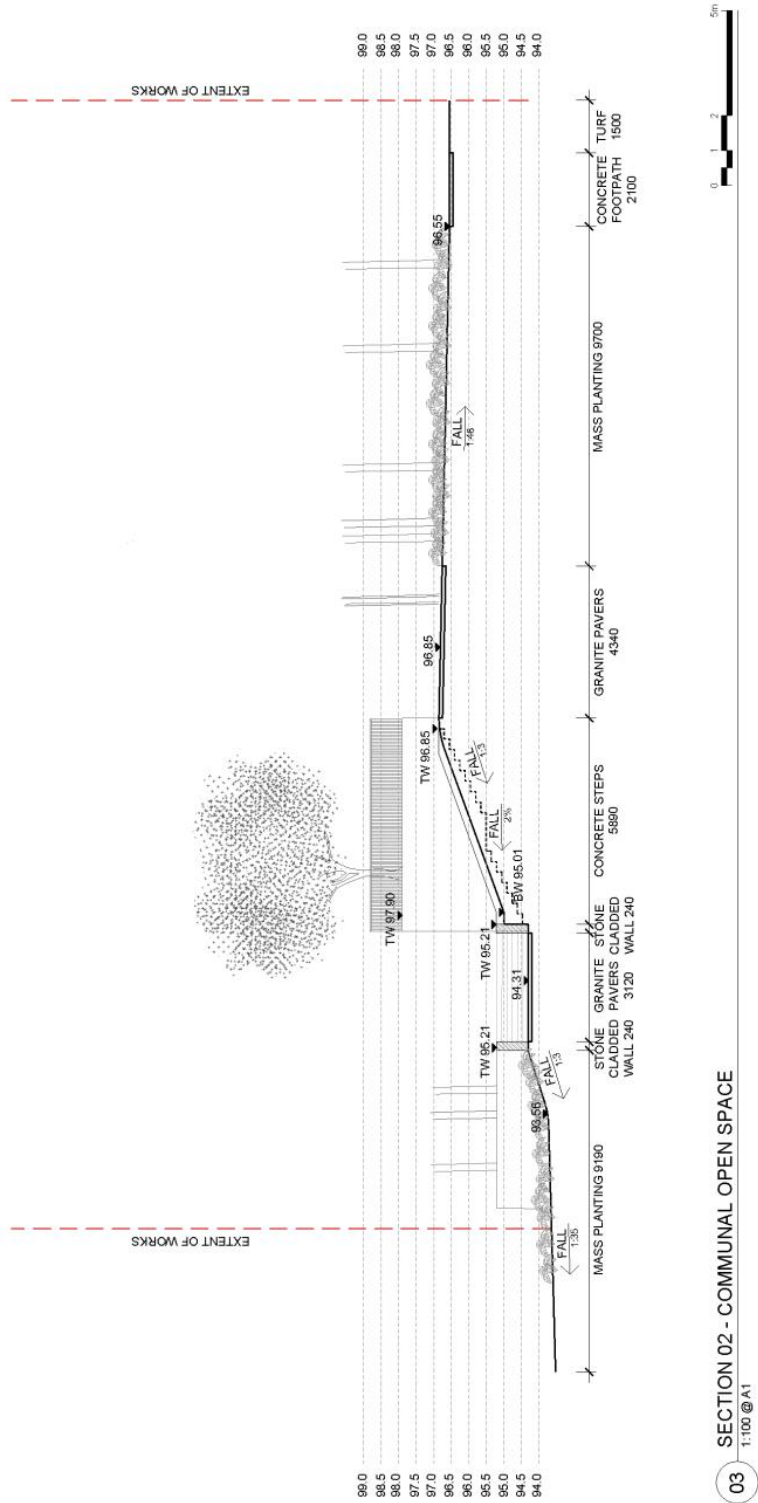
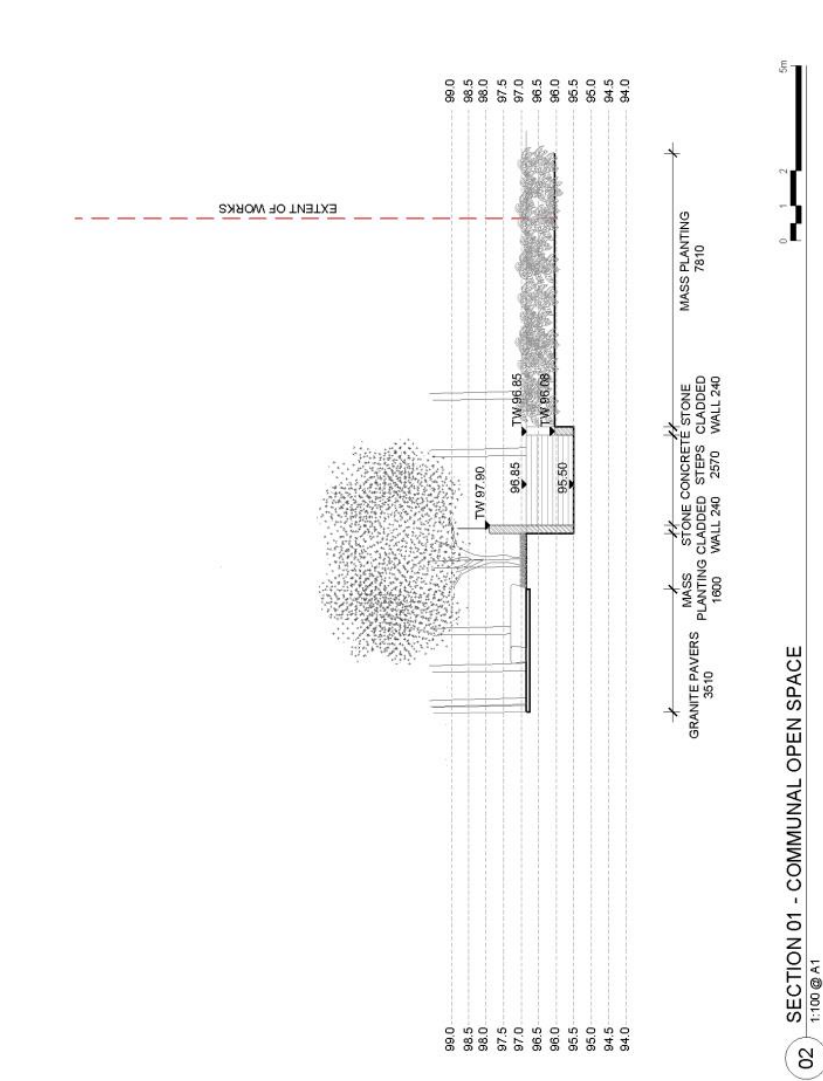
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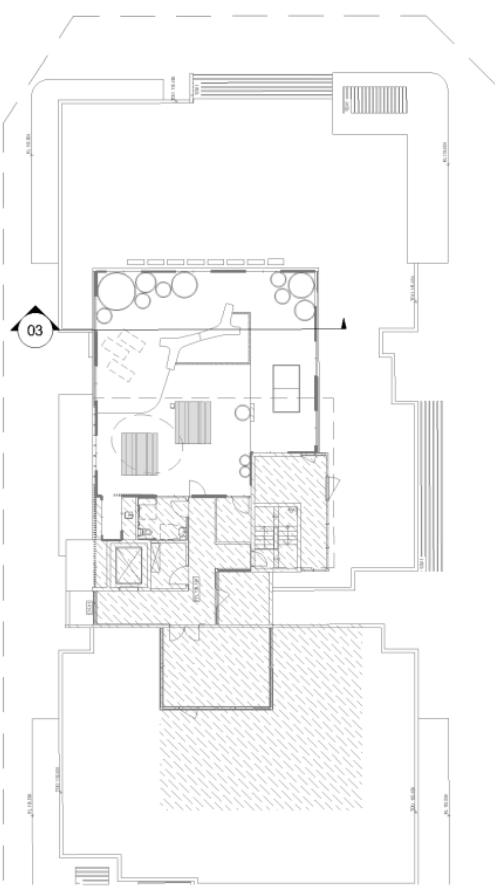


 Landscape Architect JMS Design 190 James Street Sydney NSW 1500 T: (02) 9350 5644 F: (02) 9350 4838 www.jmsdesign.com.au	Consultant AJ+C ALAIN JONCKORTIER	Client GREENFIELDS Development Company	Key plan
Project ORAN PARK TOWN TRANCHE 8 RESI 1			
Issue Date: 18/09/18 Description: PRELIMINARY			
SITE SECTIONS			
Scale: 1:100 @ A1			
Date: AUGUST 2018	Job No: 18040223		
CONSTRUCTION CERTIFICATE Drawing number: LC01 Issue: A			
Approved By: James Delaney Director	Checked By: James Delaney Director	Drawn By: James Delaney Director	Date: 18.09.2018

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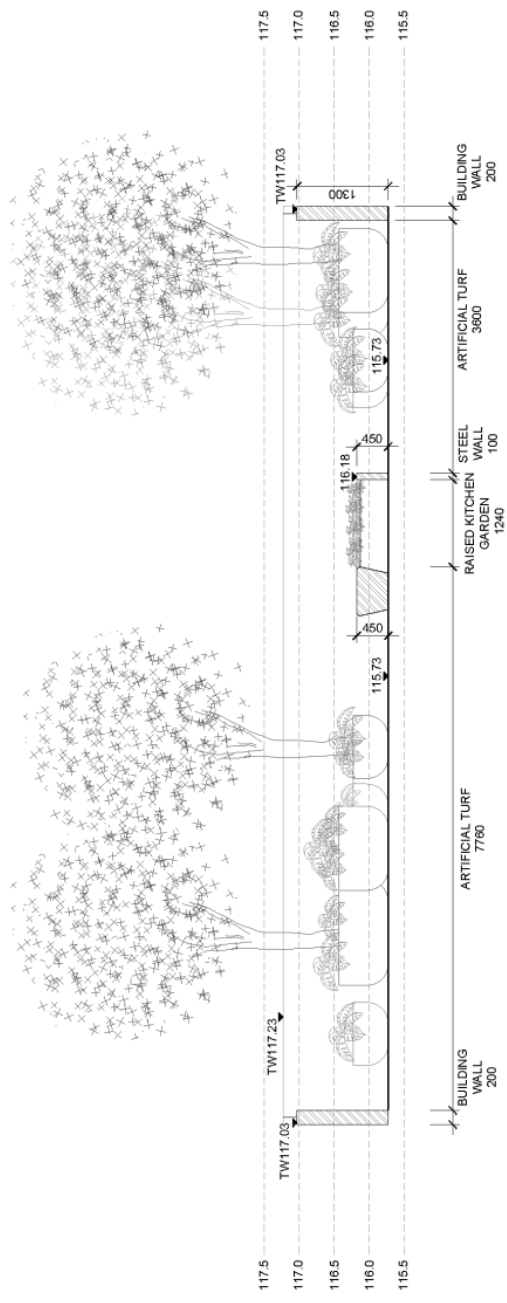
 <p>Landscape Architect JMO design 190 James Street Redfern NSW 2046 Tel: (02) 9159 4558 Fax: (02) 9159 4559 www.jmo.com.au</p>		 <p>Consultant AJ+C ALINA KOK-COTTIER</p>		 <p>Client GREENFIELDS Development Company</p>			
<p>Issue Date: 18.09.18 Description: 70% TENDER ISSUE</p>		<p>Project ORAN PARK TOWN TRANCHE 8 RESI 1</p>					
<p>Title SITE SECTIONS</p>							
<p>Scale 1:50 @ A1 </p>		<p>Date AUGUST 2018 Job No. 1804023</p>		<p>Drawing status CONSTRUCTION CERTIFICATE</p>			
<p>Designed: BOLL Drawn: CY Check: BOLL</p>		<p>Approval By: James Delaney Director Registered Landscape Architect Signature: <i>James Delaney</i> Date: 18.09.2018</p>		<p>Drawing number LC02 Issue A</p>			

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01 KEY PLAN 1:200 @ A1

0 1 2 3 4 5m





02 SECTION 03 - ROOF TOP 1:50 @ A1

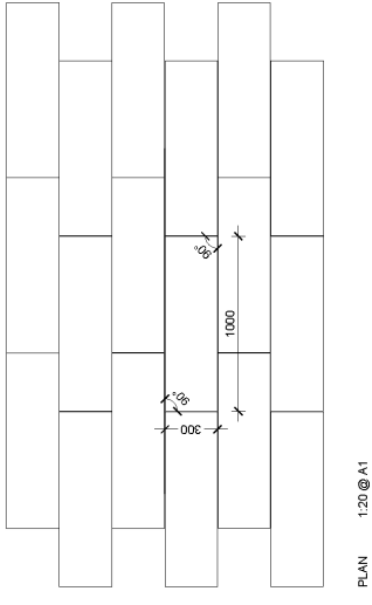
0 0.5 1 2.5m

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APPROVAL
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DEVELOPMENT APPLICATION
 DA 2018/710/1

CAMDEN COUNCIL
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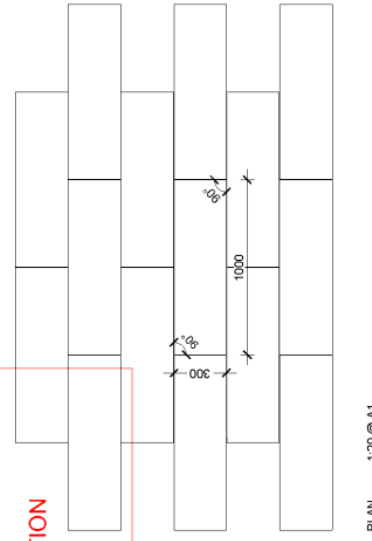
DEVELOPMENT APPLICATION
 DA 2018/710/1

 <p>190 James Street Sydney NSW 1500 T: 02 9350 8444 F: 02 9350 8318 www.jmo.com.au</p>	<p>AJ+C ALVIN JACK-COOPER</p>	
<p>Project: ORAN PARK TOWN TRANCHE 8 RESI 1</p>	<p>Scale: AS SHOWN</p>	<p>Date: AUGUST 2018</p>
<p>Job No: 1804023</p>	<p>Drawing status: CONSTRUCTION CERTIFICATE</p>	<p>Drawing number: LDO1</p>
<p>Issue: A</p>	<p>Approved By: James Delaney</p>	<p>Check: []</p>
<p>Issue Date: 18.09.2018</p>	<p>Signature: []</p>	<p>Date: 18.09.2018</p>



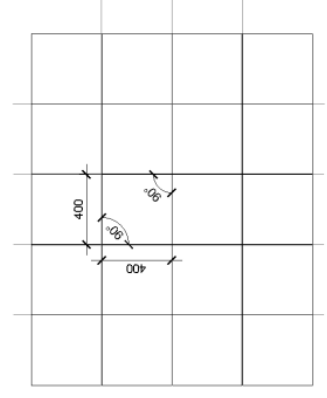
PLAN 1:20 @ A1
 PAVER UNIT TYPE 'A': UNIT PAVING LAID BUTT JOINTED WITH 2mm GAP. PAVERS LAID AS SHOWN ON PLANS & AS SPECIFIED. PAVERS TO BE SEALED AS SPECIFIED.
 PEDESTRIAN GRADE PAVING
 TYPE 'A': 1000 x 300 x 40mm THICK BUTT JOINTED WITH 2mm GAP ON 6:1 MORTAR BED
 FINISH: EXFOLIATED

03 PAVING 'A' - 1/3 ALIGNMENT DETAIL PLAN
 LDO1 1:20 @ A1



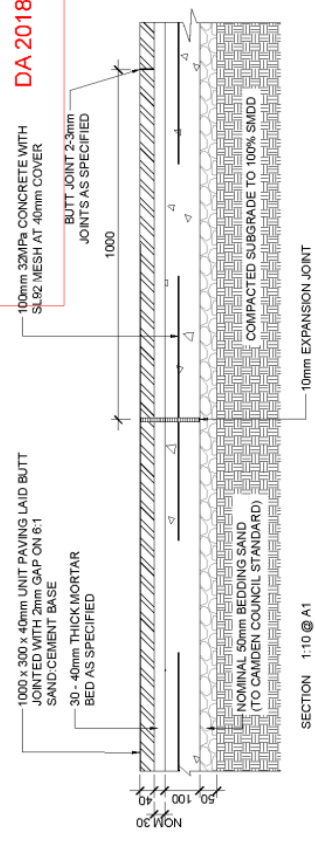
PLAN 1:20 @ A1
 PAVER UNIT TYPE 'A': UNIT PAVING LAID BUTT JOINTED WITH 2mm GAP. PAVERS LAID AS SHOWN ON PLANS & AS SPECIFIED. PAVERS TO BE SEALED AS SPECIFIED.
 PEDESTRIAN GRADE PAVING
 TYPE 'A': 1000 x 300 x 40mm THICK BUTT JOINTED WITH 2mm GAP ON 6:1 MORTAR BED
 FINISH: EXFOLIATED

02 PAVING 'A' - 1/2 ALIGNMENT DETAIL PLAN
 LDO1 1:20 @ A1

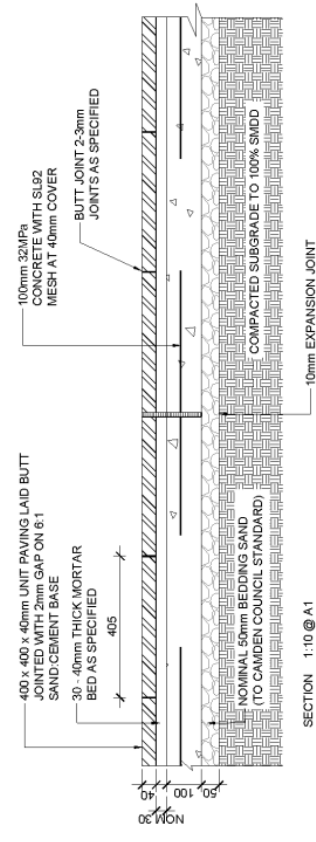


PLAN 1:20 @ A1
 PAVERS LAID AS SHOWN ON PLANS & AS SPECIFIED. PAVERS TO BE SEALED AS SPECIFIED.
 PEDESTRIAN GRADE PAVING
 TYPE 'B': 400 x 400 x 40mm THICK BUTT JOINTED WITH 2mm GAP ON 6:1 MORTAR BED
 FINISH: EXFOLIATED

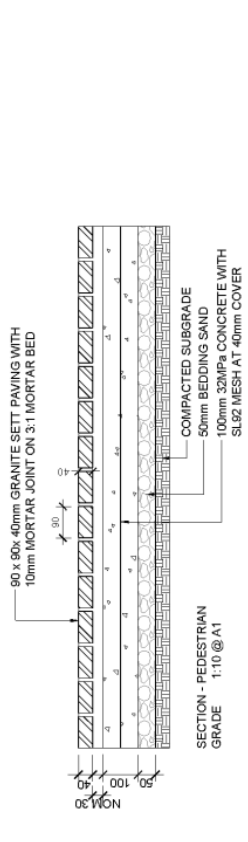
05 PAVING 'B' - TYPICAL DETAIL PLAN
 LDO1 1:20 @ A1



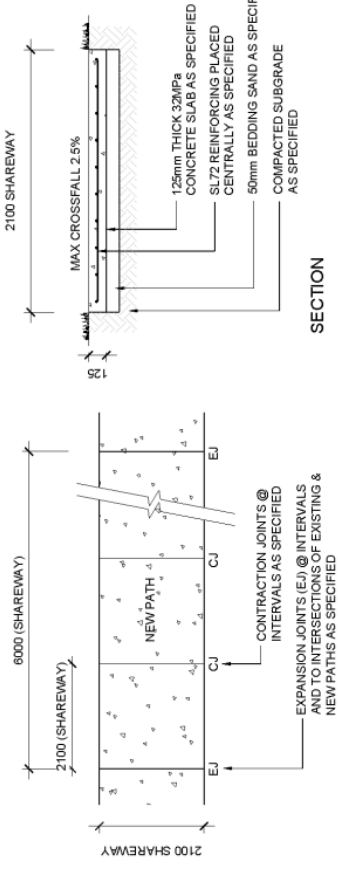
01 PAVING 'A' - TYPICAL DETAIL SECTION
 LDO1 1:10 @ A1



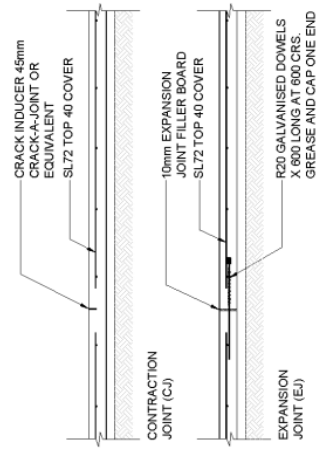
04 PAVING 'B' - TYPICAL DETAIL SECTION
 LDO1 1:10 @ A1



07 PAVING 'C' - TYPICAL DETAIL SECTION
 LDO1 1:10 @ A1



06 PEDESTRAIN GRADE CONCRETE PAVING
 LDO1 1:20 @ A1







09 PEDESTRAIN GRADE CONCRETE JOINTS
 LDO1 1:20 @ A1

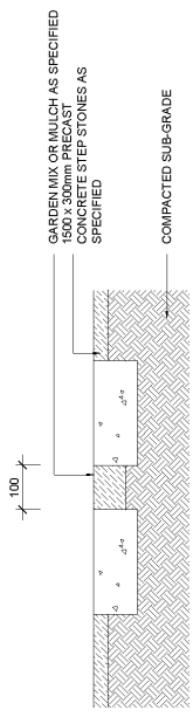
NOT FOR CONSTRUCTION

CONSTRUCTION CERTIFICATE
 Drawing number: LDO1
 Issue: A

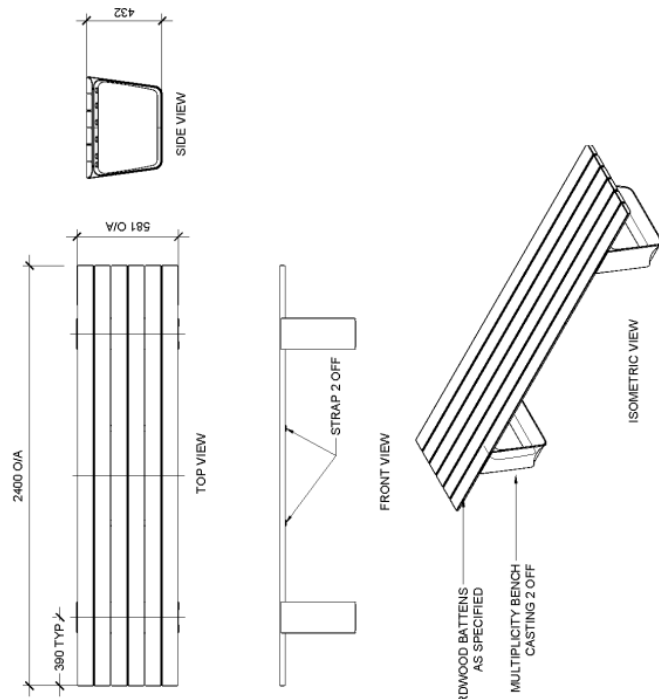
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DEVELOPMENT APPLICATION
 DA 2018/710/1

 Landscape Architect JMO design 190 James Street Redfern NSW 2015 Tel: (02) 9159 4538 Fax: (02) 9159 4539 www.jmo.com.au	Consultant  AJ+C ALVIN KICK-COTTEER	Client  GREENFIELDS Development Company	Key plan 	Issue Date 18.09.18 Description 70% TENDER ISSUE	Project ORAN PARK TOWN TRANCHE 8 RESI 1	Title LANDSCAPE DETAILS	Scale AS SHOWN	Job No. 1804023	Date AUGUST 2018	Drawing status CONSTRUCTION CERTIFICATE	Drawing number LD02	Issue A	Designed BOLL Drawn CY Check BOLL	Approved By James Delaney Director 18.09.18 Date 18.09.2018
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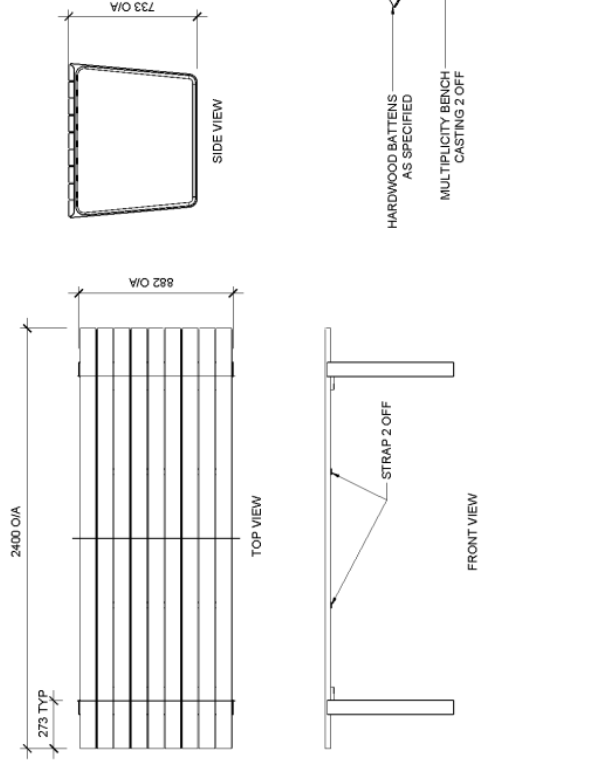
NOT FOR CONSTRUCTION






01
 PRECAST CONCRETE STEPPING STONE
 LD02 1:10 @ A1



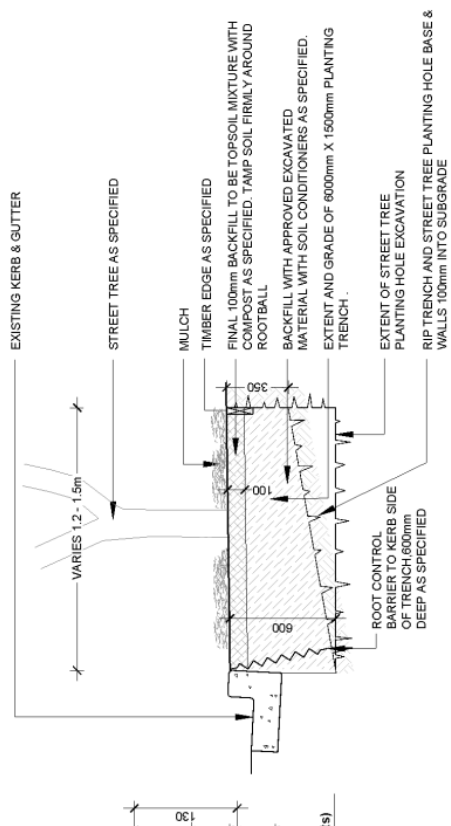
02
 COMMUNAL BENCH DETAIL
 LD02 1:20 @ A1



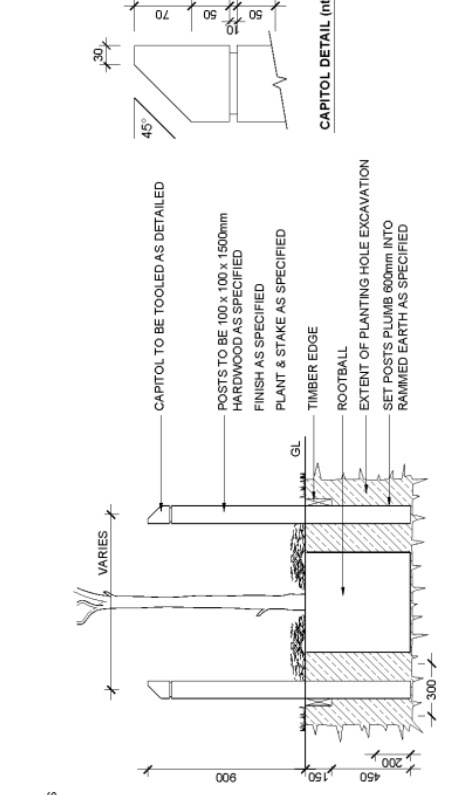
03
 COMMUNAL TABLE DETAIL
 LD02 1:20 @ A1

 <p>180 James Street Sydney NSW 2009 Tel: 02 9550 6666 Fax: 02 9550 6667 www.jmogr.com.au</p>		 <p>ALAN JACK-COOPER</p>			
<p>Project: ORAN PARK TOWN TRANCHE 8 RESI 1</p>		<p>Scale: AS SHOWN</p>		<p>Title: LANDSCAPE DETAILS</p>	
<p>Date: AUGUST 2018</p>		<p>Job No: 1804023</p>		<p>Drawing status: CONSTRUCTION CERTIFICATE</p>	
<p>Issue: A</p>		<p>Drawing number: LDO3</p>		<p>Issue: A</p>	
<p>Designed: JMO Group</p>		<p>Drawn: JMO Group</p>		<p>Check: JMO Group</p>	
<p>Approved: JMO Group</p>		<p>By: James Delaney</p>		<p>Date: 18.09.2018</p>	

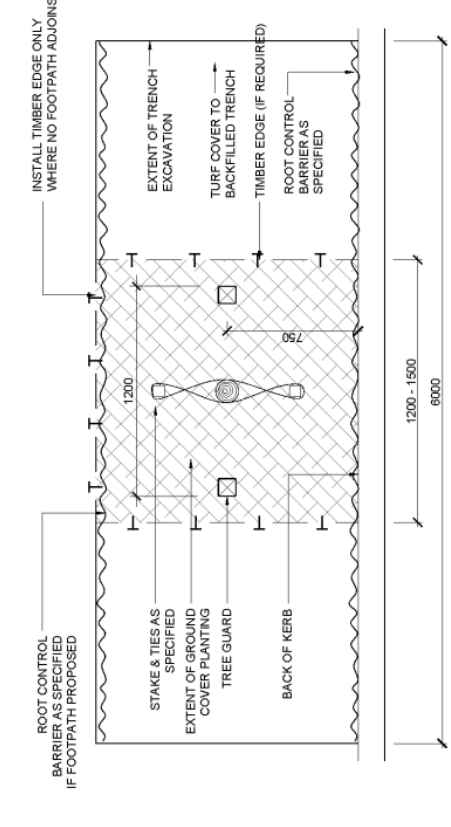
NOT FOR CONSTRUCTION



01 STREET TREE GUARDS SETUP IN PLANTING TRENCH 1:20 @ A1

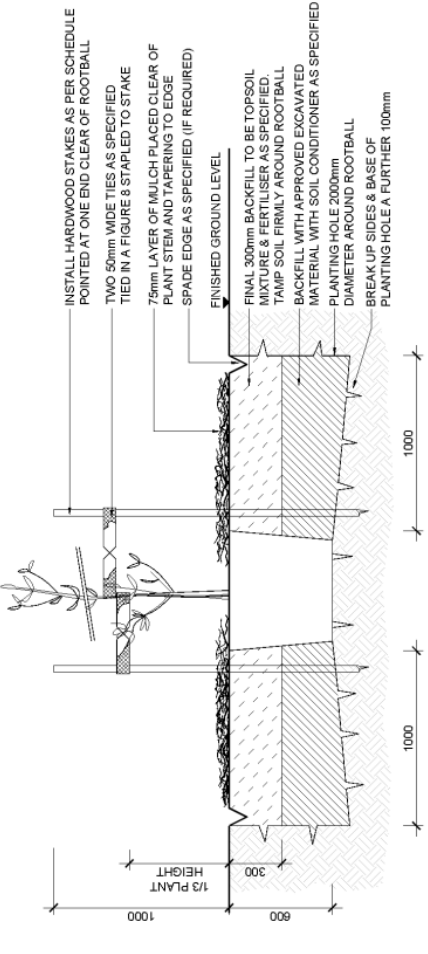


02 STREET TREE GUARDS 1:20 @ A1



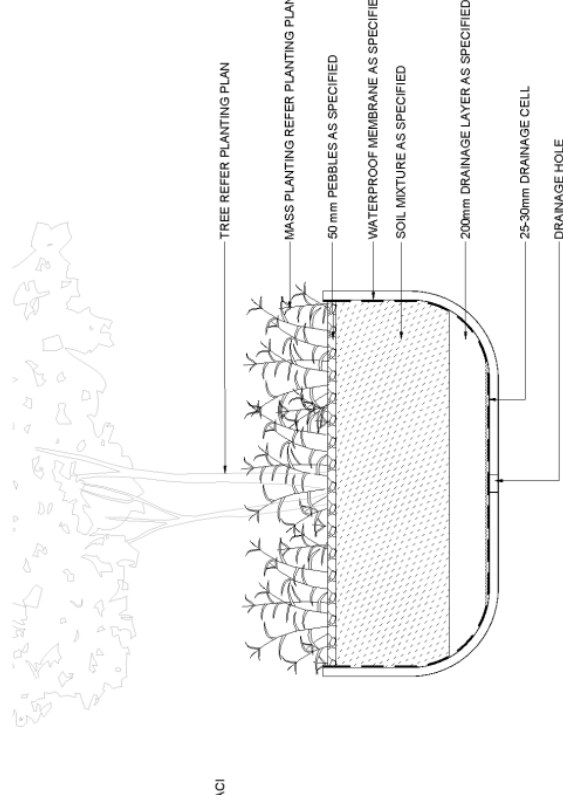
03 STREET TREE PLANTING IN TRENCH 1:20 @ A1

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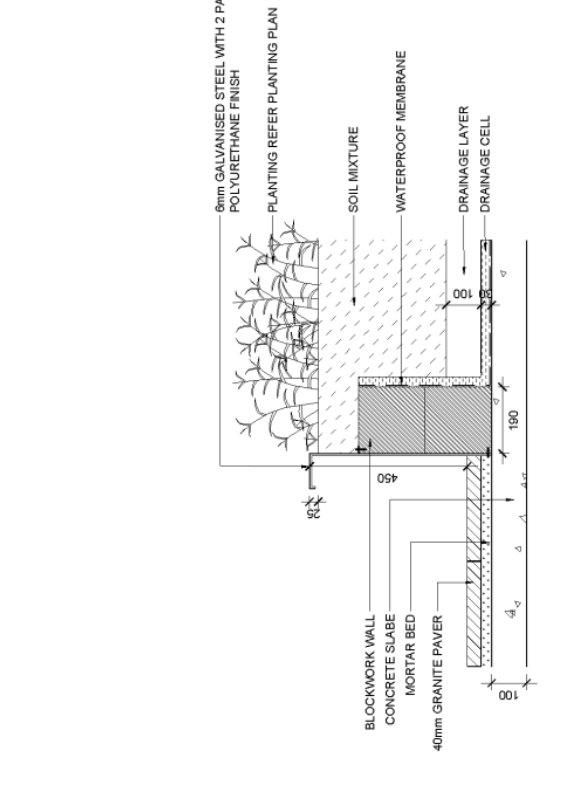
04 75 - 200 LITRE TREE 1:10 @ A1

05 MASS PLANTING 1:10 @ A1

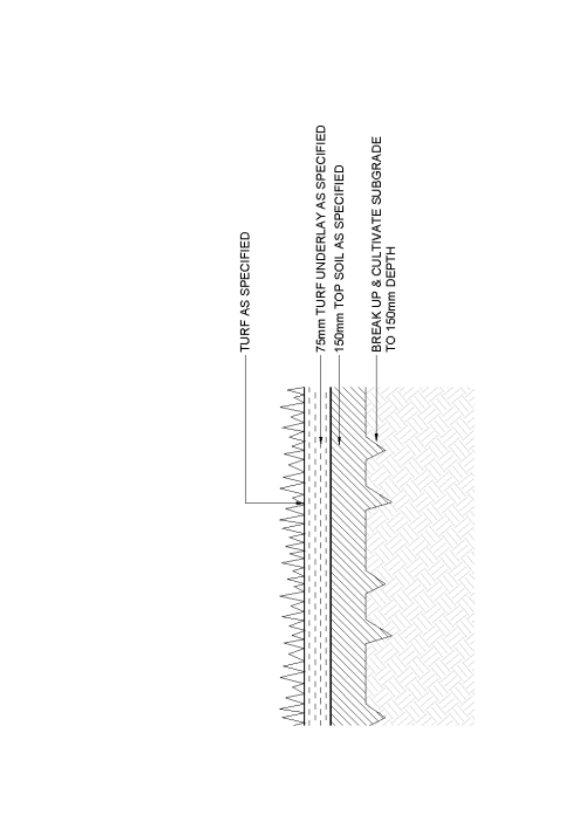


05 MASS PLANTING 1:10 @ A1

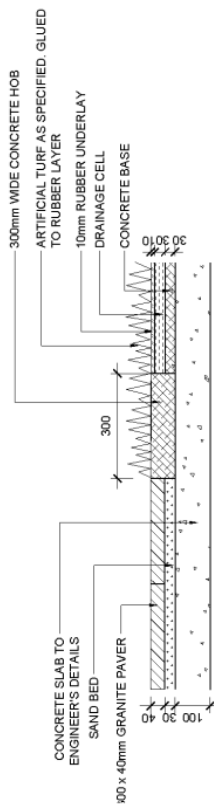
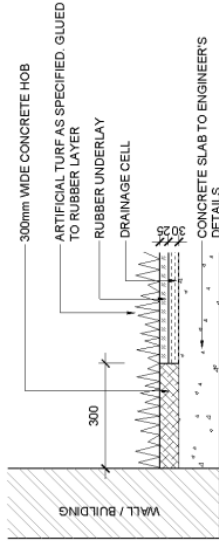
08 PLANTING POT 1:20 @ A1



06 TURF 1:10 @ A1



07 KITCHEN GARDEN WITH STEEL WALL 1:10 @ A1



01
LD04 1:10 @ A1
TRANSITION BETWEEN PAVER & ARTIFICIAL TURF

02
LD04 1:10 @ A1
TRANSITION BETWEEN WALL/BUILDING & ARTIFICIAL TURF

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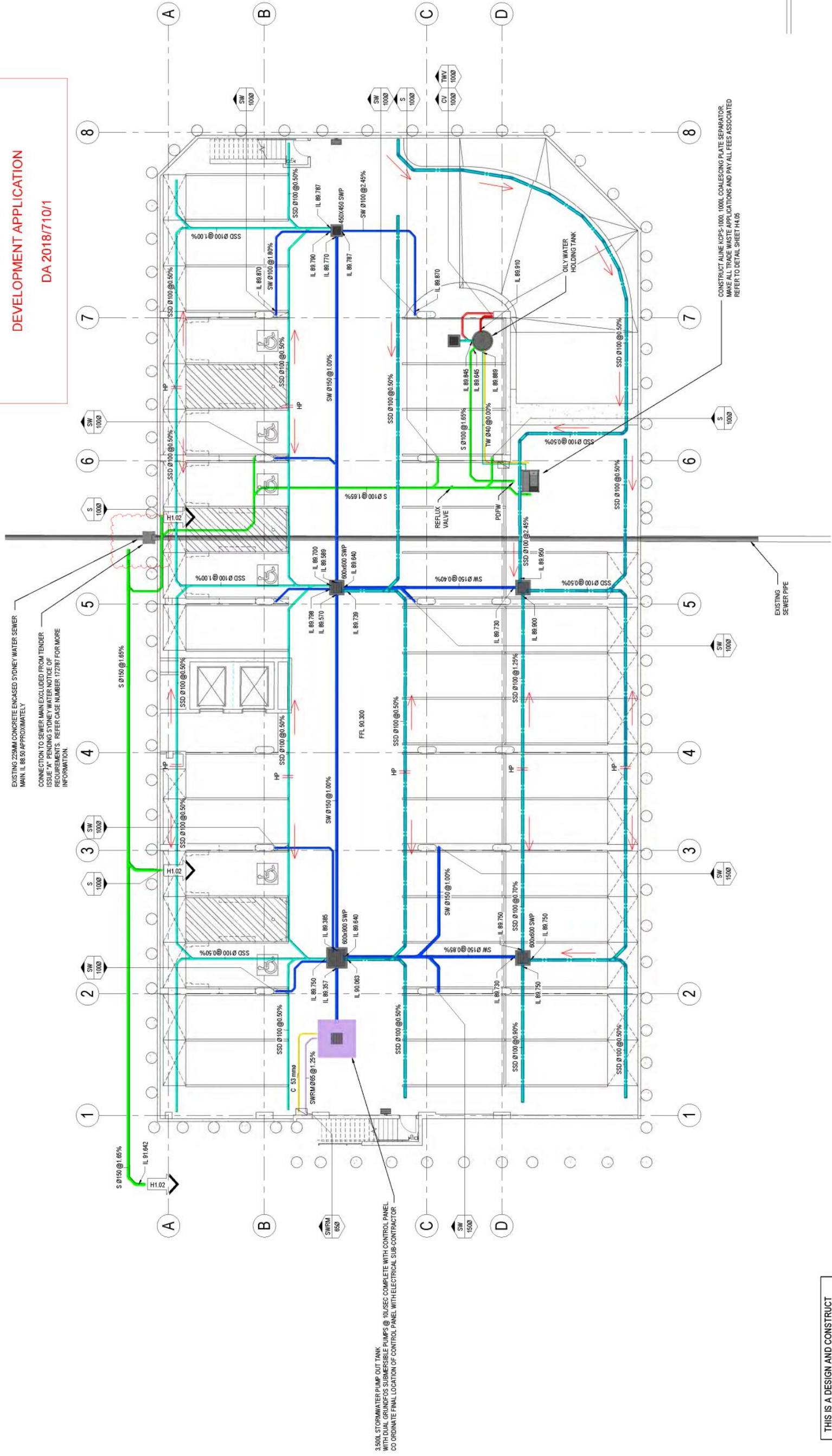
<p style="font-size: small;">Landscape Architect JMO design 190 James Street Redfern NSW 2046 Tel: (02) 9159 4538 www.jmo.com.au</p>	<p style="font-size: x-large; font-weight: bold;">AJ+C</p> <p style="font-size: small;">ALVIN KIM-COTTIER</p>	<p style="font-size: small;">Client: GREENFIELDS Development Company</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; font-size: x-small;">Issue Date</td> <td style="width: 50%; font-size: x-small;">7% TENDER ISSUE</td> </tr> <tr> <td style="font-size: x-small;">Description</td> <td></td> </tr> </table>	Issue Date	7% TENDER ISSUE	Description		<p style="font-weight: bold;">Project</p> <p style="font-weight: bold;">ORAN PARK TOWN TRANCHE 8 RESI 1</p>	<p style="font-weight: bold;">Title</p> <p style="font-weight: bold;">LANDSCAPE DETAILS</p>	<p style="font-size: small;">Scale</p> <p style="font-weight: bold;">AS SHOWN</p>	<p style="font-size: small;">Job No.</p> <p style="font-weight: bold;">1804023</p>	<p style="font-size: small;">Date</p> <p style="font-weight: bold;">AUGUST 2018</p>	<p style="font-size: small;">Drawing status</p> <p style="font-weight: bold;">CONSTRUCTION CERTIFICATE</p>	<p style="font-size: small;">Drawing number</p> <p style="font-weight: bold;">LD04</p>	<p style="font-size: small;">Issue</p> <p style="font-weight: bold;">A</p>	<p style="font-size: x-small;">Designed: BOLL Drawn: CY Check: BOLL</p> <p style="font-size: x-small;">Approval By: James Delaney Director 18/08/2018 PAWA Registered Landscape Architect</p> <p style="font-size: x-small;">Signed: <i>James Delaney</i> Date: 18.08.2018</p> <p style="font-size: x-small;">Do not scale drawings. Use figured dimensions only. Check & verify levels and slopes of all works. Do not construct any work without the express permission of JMO Design Pty Ltd.</p> <p style="font-size: x-small;">This drawing is the copyright of JMO Design Pty Ltd. It may not be reproduced, stored in a retrieval system, or by any means without the express permission of JMO Design Pty Ltd.</p>
Issue Date	7% TENDER ISSUE																
Description																	

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Attachment 6

CLPP01

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EXISTING 225MM CONCRETE ENCASED SYDNEY WATER SEWER MAIN IL 88.50 APPROXIMATELY
 CONNECTION TO SEWER MAIN EXCLUDED FROM TENDER ISSUE "A" PENDING SYDNEY WATER NOTICE OF REQUIREMENTS. REFER CASE NUMBER 172787 FOR MORE INFORMATION.

3.500L STORMWATER PUMP OUT TANK WITH DUAL GRINDERS SUBMERSIBLE PUMPS @ 10/SEC COMPLETE WITH CONTROL PANEL CO-ORDINATE FINAL LOCATION OF CONTROL PANEL WITH ELECTRICAL SUB-CONTRACTOR

CONSTRUCT ALUMI KCPSS-1000 1000L COALESCING PLATE SEPARATOR BEFORE ALL TRADE WASTE APPLICATIONS AND PAY ALL FEES ASSOCIATED REFER TO DETAIL SHEET 14/16

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Issue	Date	Drawn	Checked	Approved
A	21.03.2019	RB	GP	
B	07.02.2019	RB	GP	
C				
D				

GREENFIELDS DEVELOPMENT COMPANY

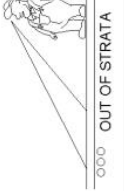
ALLEN JACK & COTTIER
 79 Myrtle Street
 Chippingdale NSW 2008 Australia
 ph +61 2 9311 8222 fax +61 2 9311 8200

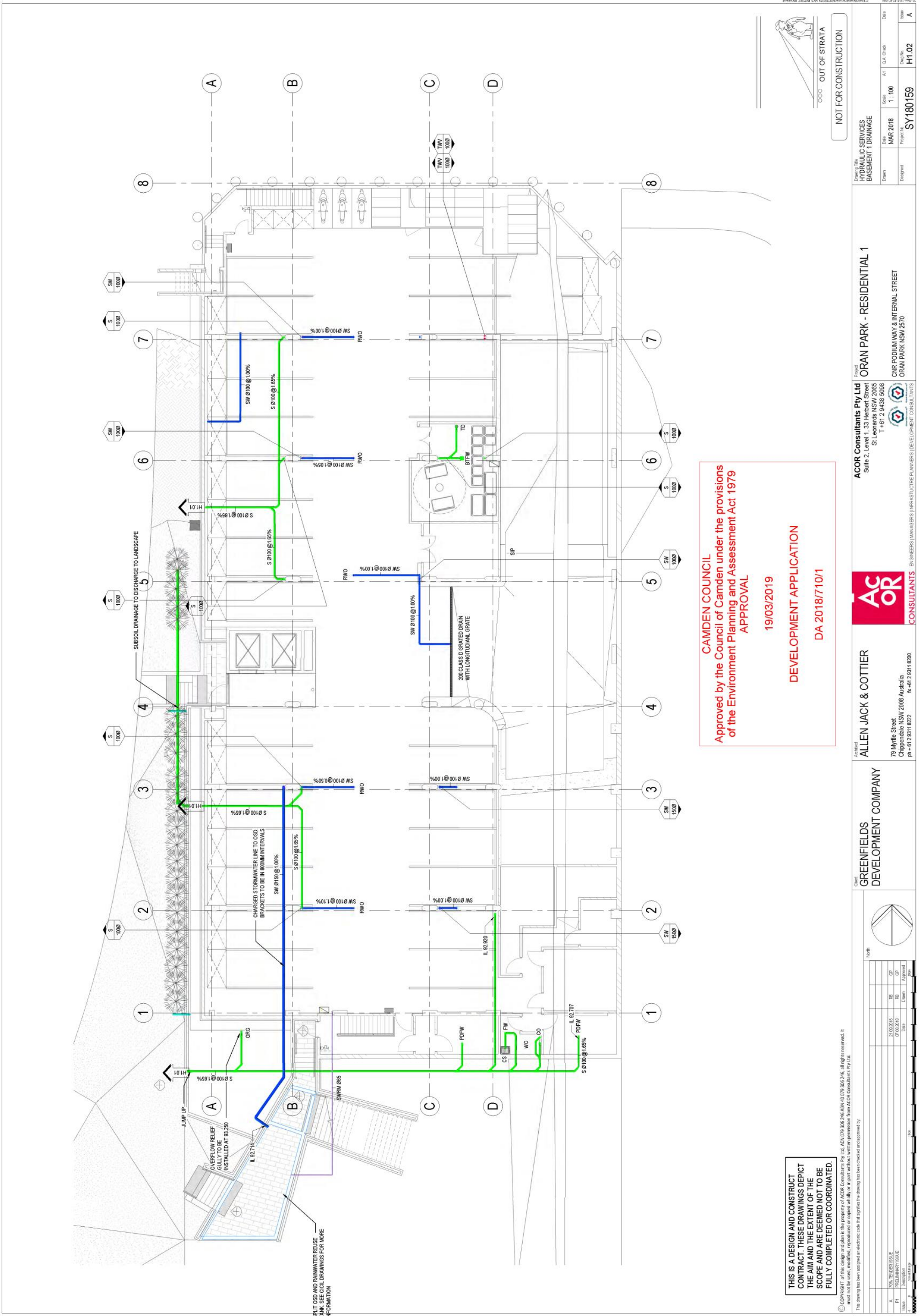


ACOR Consultants Pty Ltd
 Suite 2, Level 1, 33 Herbert Street
 St Leonards NSW 2065
 T +61 2 9438 5098

ORAN PARK - RESIDENTIAL 1
 CHR PODUMAWAY & INTERNAL STREET
 ORAN PARK NSW 2570

Drawn: MAR 2018
 Scale: 1:100
 Date: MAR 2018
 Project No: SY180159
 Check No: H1.01





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 This drawing has been prepared in electronic code that applies the drawing has been checked and approved by:

Issue	Description	Date	Drawn	Approved
A	REV TRACKER ISSUE	07/03/2019	RB	GP
PH	PRELIMINARY ISSUE	07/03/2019	RB	GP

Client
GREENFIELDS DEVELOPMENT COMPANY

Architect
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 79 Myrtle Street
 Chippendale NSW 2006 Australia
 ph +61 2 9311 8222 fax +61 2 9311 8200



Project
ACOR Consultants Pty Ltd
 Suite 2, Level 1, 33 Herbert Street
 St Leonards NSW 2065
 T +61 2 9438 5098

Project
ORAN PARK - RESIDENTIAL 1
 CNR FODUM WAY & INTERNAL STREET
 ORAN PARK NSW 2570

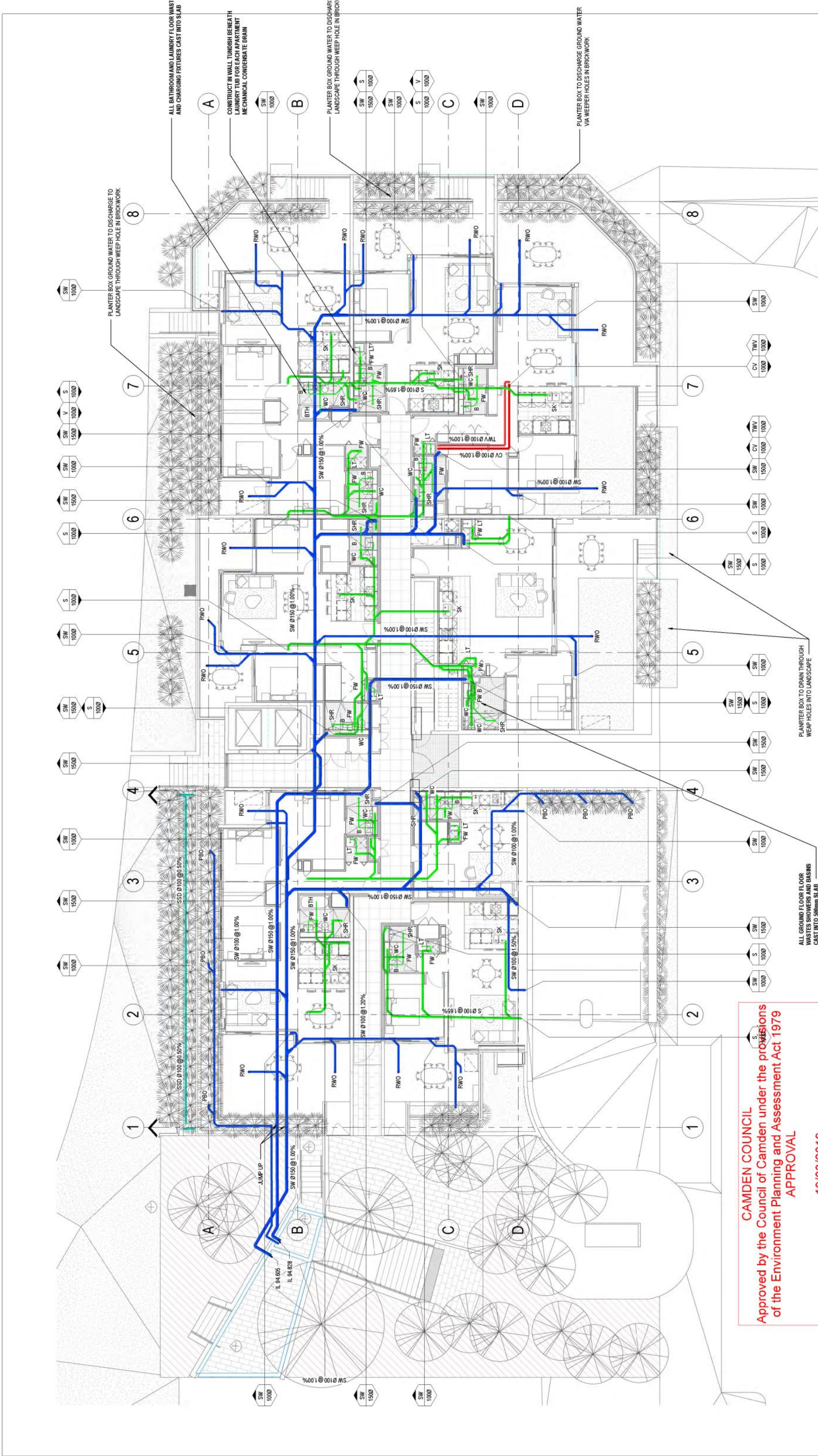
Drawing Title
HYDRAULIC SERVICES BASEMENT 1 DRAINAGE

Drawn	Scale	Sheet	AT	G.A. Check	Date
MAR 2018	1:100				
Designed		SY180159		Dep No.	H1.02
				Issue	A



CLPP01

Attachment 6



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19/03/2019

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DA 2018/710/1

Issue	Date	By	For
PT	07/02/2018	RB	GP
PT	21/02/2018	RB	GP
Issue		Drawn	Approved

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 ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

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 T +61 2 9438 5098

ORAN PARK - RESIDENTIAL 1

79 Myrtle Street
 Chippingdale NSW 2008 Australia
 ph +61 2 9311 8222 fx +61 2 9311 8200

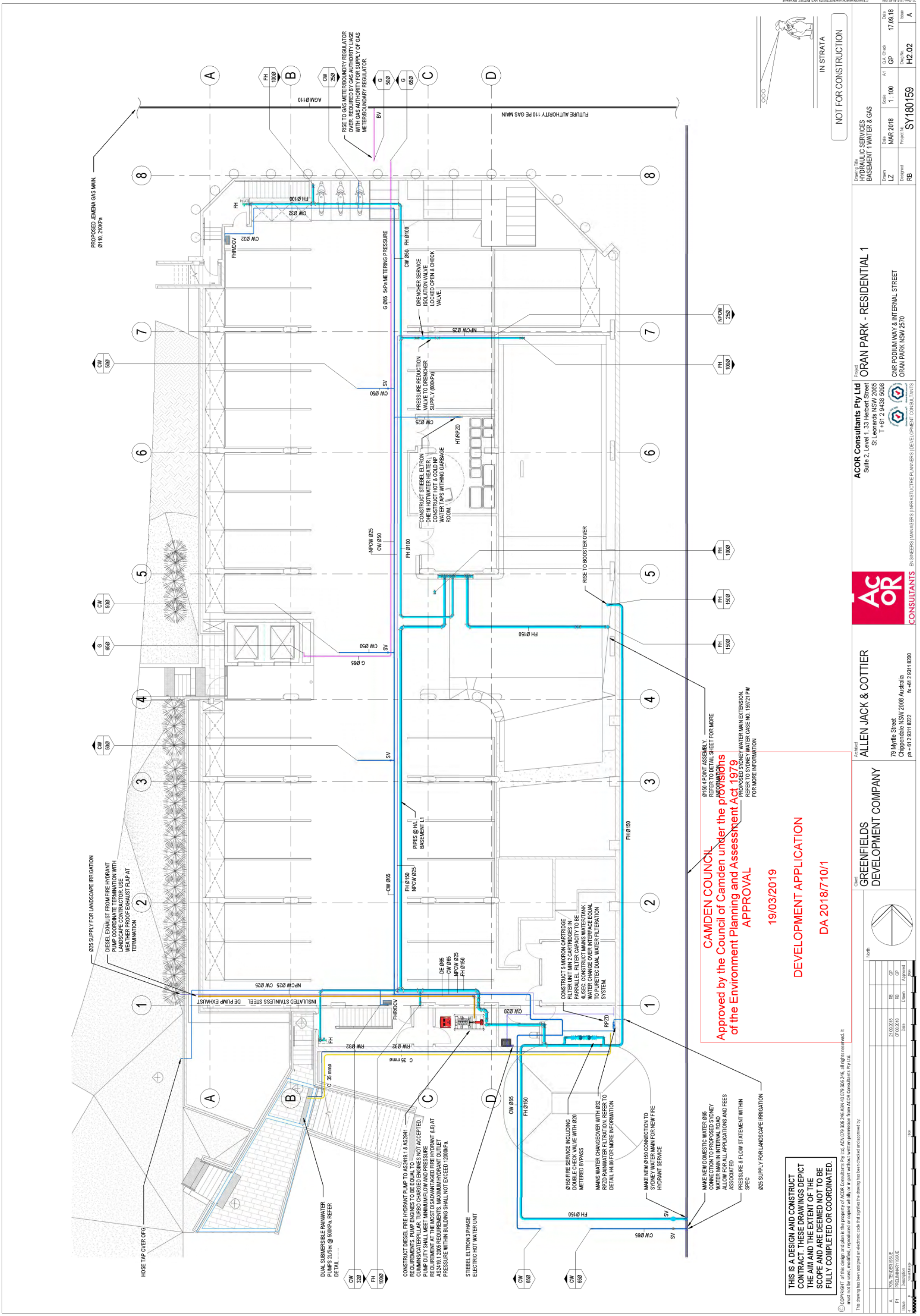
DRAWING UNDER REVISION

NOT FOR CONSTRUCTION

OUT OF STRATA

Drawn	Scale	Date	Check	Date
RB	1:100	MAR 2018	GP	20.08.18
RB	1:100	MAR 2018	GP	20.08.18

Project No.	Sheet No.
SY180159	H1.03



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IN STRATA

NOT FOR CONSTRUCTION

Project: **ORAN PARK - RESIDENTIAL 1**

Client: **GREENFIELDS DEVELOPMENT COMPANY**

Architect: **ALLEN JACK & COTTIER**

Drawn: **LZ** Date: **MAR 2018** Scale: **1:100** Check: **GP** Date: **17.03.18**

Designed: **RB** Project No: **SY180159** H2.02

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ORAN PARK - RESIDENTIAL 1

IN STRATA

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Attachment 6

CLPP01

PROPOSED RESIDENTIAL BUILDING ORAN PARK DRIVE, ORAN PARK NSW CIVIL ENGINEERING WORKS

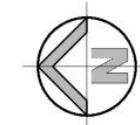
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GENERAL NOTES:

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CAMDEN COUNCIL'S CONSTRUCTION SPECIFICATION. CONTRACTOR TO OBTAIN AND RETAIN A COPY ON SITE DURING THE COURSE OF THE WORKS.
- ALL NEW WORKS ARE TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS AND MARRY IN A WORKMANLIKE MANNER.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL SERVICES WITH EACH RELEVANT AUTHORITY. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED BY THE CONTRACTOR OR THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. SERVICES SHOWN ON THESE PLANS ARE ONLY THOSE EVIDENT AT THE TIME OF SURVEY OR AS DETERMINED FROM SERVICE DIAGRAMS. HENRY AND HYMAS CONSULTING PTY. LTD. CANNOT GUARANTEE THE INFORMATION SHOWN NOR ACCEPT ANY RESPONSIBILITY FOR INACCURACIES OR INCOMPLETE DATA.
- SERVICES & ACCESSSES TO THE EXISTING PROPERTIES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
- ADJUST EXISTING SERVICE COVERS TO SUIT NEW FINISHED LEVELS TO RELEVANT AUTHORITY REQUIREMENTS WHERE NECESSARY.
- REINSTATE AND STABILISE ALL DISTURBED LANDSCAPED AREAS.
- MINIMUM GRADE OF SUBSOIL SHALL BE 0.9%(1:200) FALL TO OUTLETS.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, EROSION AND SEDIMENTATION CONTROL PLAN AND CAMDEN COUNCIL'S REQUIREMENTS WHERE APPLICABLE.
- CONTRACTOR TO CHECK AND CONFIRM SITE DRAINAGE CONNECTIONS ACROSS THE VERGE PRIOR TO COMMENCEMENT OF SITE DRAINAGE WORKS.
- PROPERTIES AFFECTED BY THE WORKS ARE TO BE NOTIFIED IN ADVANCE WHERE DISRUPTION TO EXISTING ACCESS IS LIKELY.

SITeworks NOTES

- DATUM: AHD.
- ORIGIN OF LEVELS: REFER TO BENCH OR STATE SURVEY MARKS WHERE SHOWN ON PLAN.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES UNLESS SHOWN ON THE SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. CONTRACTOR TO VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ADJUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS ACHIEVED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION IS TO BE UNDERTAKEN OVER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- CONTRACTOR TO OBTAIN AUTHORITY APPROVALS WHERE APPLICABLE.
- MAKE SMOOTH TRANSITION TO EXISTING SURFACES AND MAKE GOOD.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND ALL OTHER RELEVANT DRAWINGS AND WRITTEN INSTRUCTIONS THAT MAY BE ISSUED RELATING TO DEVELOPMENT AT THE SITE.
- TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MINIMUM OF 50mm IN BITUMINOUS PAVING.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIEWAYS AND BRICK PAVING SHALL BE LOCATED IN 900UPVC SLOTTED CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.
- GRADES TO PAVEMENTS TO BE AS IMPLIED BY RLS ON PLAN. GRADE EVENLY BETWEEN NOMINATED RLS. AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.
- ALL COVERS AND GRATES ETC TO EXISTING SERVICE UTILITIES ARE TO BE ADJUSTED TO SUIT NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.



LOCALITY SKETCH
NTS

DRAWING SCHEDULE	
18188_DA_C000	COVER SHEET, DRAWING SCHEDULE, NOTES AND LOCALITY SKETCH
18188_DA_C100	GENERAL ARRANGEMENT PLAN
18188_DA_C101	DETAIL PLAN - GROUND FLOOR
18188_DA_C200	STORMWATER MISCELLANEOUS DETAILS AND PIT LID SCHEDULE
18188_DA_C201	OSD PLAN, SECTIONS AND DETAILS
18188_DA_C250	STORMWATER ATTACHMENT PLAN
18188_DA_SE01	SEDIMENT AND EROSION CONTROL PLAN
18188_DA_SE02	SEDIMENT AND EROSION CONTROL DETAILS

DRAINAGE NOTES:

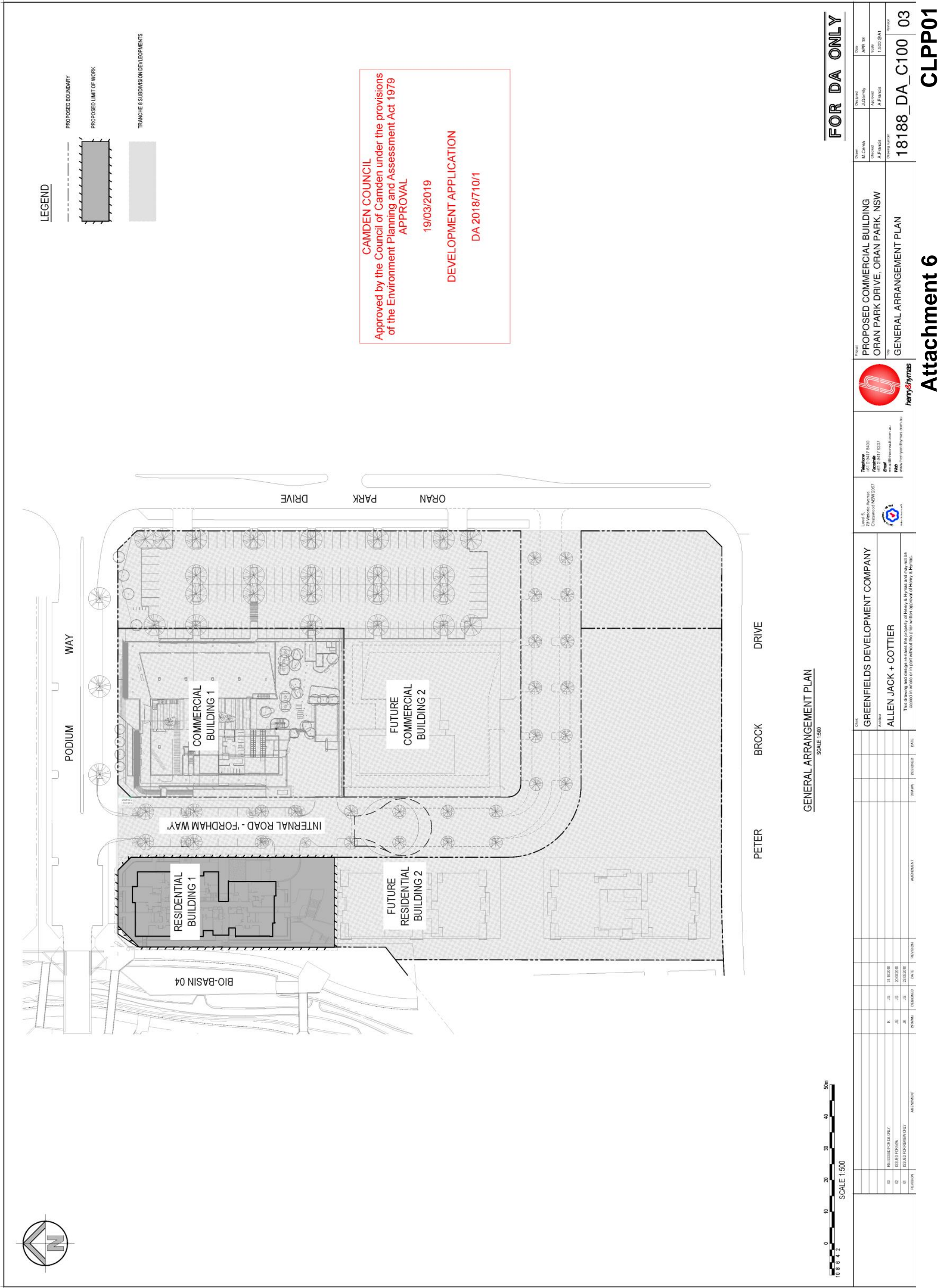
- ALL STORMWATER WORK TO COMPLY WITH AS 3500 PART 3.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 800mm ON ALL PIPES.
- PROTECTION OF PIPES DUE TO LOADS EXCEEDING W7 WHEEL LOAD SHALL BE THE CONTRACTORS RESPONSIBILITY.
- BEDDING TYPE SHALL BE TYPE 10 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
- MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
- NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
- FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRGS TAKE PRECEDENCE OVER DESIGN DRAINAGE SURFACE LEVELS.
- ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS 1200. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDSHIPS RCP PIPE MAY BE USED IN LIEU OF RCP IF DESIRED IN GROUND. ALL AERIAL PIPES TO BE PVC CLASS SH.
- ALL PITS IN NON TRAFFICABLE AREAS TO BE PRECIPITATED POLYESTER CONCRETE POLYURETE WITH LIGHT DUTY GLASS GALLY. MILD STEEL GRATING AND FRAME.
- ALL PITS IN TRAFFICABLE AREAS TO HAVE 150mm THICK CONCRETE WALLS AND BASE CAST IN SITU TO 2000. REINFORCED WITH M12/200 BOTH LONGWAYS CENTRALLY PLACE. UNO. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALVANIZED STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE. MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND TO BE IN ACCORDANCE WITH AS 3500.3 AND AS 3500.8.
- PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - DEPTH TO INVERT
 - SKEW ANGLE
- REFER TO TYPICAL PIT CHAMBER DETAILS BELOW
- IF THE PIT CHAMBER IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEEL IRONS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
- FOR PIPE SIZES GREATER THAN 300mm, PIT FLOOR IS TO BE BENCH TO FACILITATE FLOW.
- GALVANIZED STEP IRONS SHALL BE PROVIDED AT 300 OCS FOR PITS HAVING A DEPTH EXCEEDING 1000mm. SUBSOIL DRAINAGE PIPE SHALL BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES (MINIMUM LENGTH 3m).
- ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED PVC IN A FILTER SOCK, UNO. WITH 3m INSTALLED UPSTREAM OF ALL PITS.
- ALL PIPEWORK SHALL HAVE MINIMUM DIAMETER 100.
- MINIMUM GRADE FOR ROOFWATER DRAINAGE LINES SHALL BE 1%.
- ALL PIPE JOINTS AND TAPER UP TO AND INCLUDING 300 DIA. SHALL BE VIA PURPOSE MADE FITTINGS.
- ALL ROOF DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS 3500 PART 3. TESTING TO BE UNDERTAKEN AND REPORTS PROVIDED TO THE SUPERINTENDENT.
- LOCATION OF THE DIRECT DOWN PIPE CONNECTIONS MAY VARY ON SITE TO SUIT SITE CONDITIONS, WHERE CONNECTION SHOWN ON LOAD SECTIONS CHANGES ARE INDICATIVE ONLY.
- PITS IN EXCESS OF 1.5m DEEP TO HAVE WALL AND FLOOR THICKNESS INCREASED TO 200mm. REINFORCED WITH M12/200 OCS CENTRALLY PLACED BOTH WAYS THROUGHOUT UNO ON SEPARATE DESIGN DRAWINGS IN THIS SET. IF DEPTH EXCEEDS 3m CONTACT ENGINEER.
- SUBSOIL DRAINAGE LINES FOR LANDSCAPE AREA NOT SHOWN ON THESE DRAWINGS. REFER TO LANDSCAPING PLANS FOR DETAILS.
- ALL STORMWATER PITS TO HAVE 900UPVC SLOTTED SUBSOIL PIPES CONNECTED TO THEM. THESE SUBSOILS TO EXTEND 3m UPSTREAM OF THE PIT AT A MINIMUM GRADE.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY THE SURVEYOR SPECIFIED IN THE TITLE BLOCK.
THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HENRY AND HYMAS PTY. LTD. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION. THE SURVEYOR'S LIABILITY IS LIMITED TO THE SCOPE OF WORKS SHOWN ON THESE DRAWINGS. THE INFORMATION SHOWN SHOULD BE INTERPRETED IN CONJUNCTION WITH THE SURVEY DATA AND ACTUAL FIELD DATA. CONTACT HENRY AND HYMAS PTY. LTD. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

FOR DA ONLY

Client		Greenfields Development Company	
Project		PROPOSED RESIDENTIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW	
Drawn		M. Carina	
Checked		J. Gormley	
Approved		A. Francis	
Scale		NTS	
Revision		18188_DA_C000	
Drawing number		03	
Date		APR 18	



Attachment 6

Attachment 6 - Approved Stamped Plans

CLPP01

Attachment 6

Approved by the Council of Camden under the provisions of the Environment Planning and Assessment Act 1979 APPROVAL

19/03/2019
 DEVELOPMENT APPLICATION
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BIO RETENTION BASIN 04
 TOP OF FILTER - RL92.10
 (DESIGN BY CALIBRE CONSULTING)

PROPOSED RESIDENTIAL BUILDING 1
 FFL 96.925

DETAIL PLAN - GROUND FLOOR
 SCALE 1:100

LEGEND

- PROPOSED BOUNDARY
- BUILDING OUTLINE
- ROOF OVER
- EXISTING CONTOURS
- EXISTING SPOT LEVEL
- PROPOSED JUNCTION PITS
- PROPOSED SURFACE INLET PITS
- PROPOSED UNTEL ON GRADE & SMD PITS
- PROPOSED PIT TAG
- LINE LETTER
- PIT NUMBER
- SW UPSTREAM INVERT RL
- SW PIPE DIAMETER & CLASS
- SW PIPE LENGTH
- SW DOWNSTREAM INVERT RL
- PROPOSED STORMWATER PIPE
- PROPOSED CONTOURS
- PROPOSED KERB ONLY
- PROPOSED KERB & GUTTER
- PROPOSED DISH DRAIN
- PROPOSED SUBSOL LINE
- PROPOSED FALL
- PROPOSED FLUSHING POINT
- PROPOSED SPOT LEVEL

NOTES:

- FOR PODIUM BASEMENT AND ROOF DRAINAGE DESIGN DETAIL REFER TO HYDRAULIC CONSULTANT DWG'S BY A/COR
- FOR DETAIL ON ADJACENT INTERNAL ROAD INFRASTRUCTURE WORKS REFER TO HENRY & HYMAS PROJECT 17888C

<p>GREENFIELDS DEVELOPMENT COMPANY</p> <p>ALLEN JACK + COTTIER</p> <p>This drawing and design remain the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.</p>	<p>Level 5, 150 Adelaide Street, Brisbane QLD 4000</p> <p>Phone: +61 7 3417 8227</p> <p>www.henryhymas.com.au</p>	<p>henryhymas</p>	<p>PROPOSED COMMERCIAL BUILDING</p> <p>ORAN PARK DRIVE, ORAN PARK, NSW</p> <p>DETAIL PLAN</p> <p>GROUND FLOOR</p>	<p>Project: 18188_DA_C101_04</p> <p>Drawn: M. Curra</p> <p>Checked: J. Gormley</p> <p>Approved: A. Francis</p> <p>Date: APR 18</p> <p>Scale: 1:100 @A1</p>
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This is the report submitted to the Camden Local Planning Panel held on 19 May 2020 - Page 94

PIT LID SCHEDULE

PIT STRUCTURE NUMBER	DESCRIPTION
(A-1) (A-3)	JUNCTION PIT WITH HINGED 900x900 LIGHT DUTY SEALED LID CLASS 'B' IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.
(A-2) (C-1)	SURFACE INLET PIT WITH HINGED 900x900 LIGHT DUTY SEALED LID CLASS 'B' IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.
(B-1)	SURFACE INLET PIT WITH HINGED 900x900 LIGHT DUTY SEALED LID CLASS 'B' IN ACCORDANCE WITH CAMDEN CITY COUNCILS REQUIREMENTS.

DRAINAGE NOTES:

1. ALL STORMWATER WORK TO COMPLY WITH AS 3600 PART 3.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 800mm ON ALL PIPES.
3. PROTECTION OF PIPES DUE TO LOADS EXCEEDING 7T WHEEL LOAD SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. BEDDING TYPE SHALL BE TYPE H2 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
5. MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
6. NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
7. FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRIS TAKE PRECEDENCE OVER DESIGN DRAINAGE SURFACE LEVELS.
8. ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS 1280. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDIES FRG PIPE MAY BE USED IN LIEU OF RCP IF DESIRED IN GROUND. ALL AERIAL PIPES TO BE PVC CLASS SH.
9. ALL PITS IN NON TRAFFICABLE AREAS TO BE PREPARED POLYESTER CONCRETE 'POLYCRETE' WITH 'LIGHT GRADE' FINISH. ALL PITS IN TRAFFICABLE AREAS (CLASS 'A' & 'C' LANDING MAX) TO HAVE 150mm THICK CONCRETE WALLS AND BASE CAST IN-SITU (c32 MPa) REINFORCED WITH N12-200 BOTH LONGWAYS CENTRALLY PLACE. L.I.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALV. MILD STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE, MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
10. ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND BE CORROSION RESISTANT.
11. PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - PIPE SIZE
 - DEPTH TO INVERT
 - SKEW ANGLE
12. REFER TYPICAL PIT CHAMBER DETAILS BELOW
13. IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER. THE PIT LID IS TO BE INSTALLED DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
14. FOR PIPE SIZES GREATER THAN Ø300mm, PIT FLOOR IS TO BE BENCH TO FACILITATE FLOW.
15. GALVANISED STEP IRONS SHALL BE PROVIDED AT 300 CTS FOR PITS HAVING A DEPTH EXCEEDING 1200mm.
16. SUBSOIL DRAINAGE PIPE SHALL BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES. (MINIMUM LENGTH 3m).
17. ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED PVC IN A FILTER SOCK, UNO, WITH 3m INSTALLED UPSTREAM OF ALL PITS.
18. ALL PIPEWORK SHALL HAVE MINIMUM DIAMETER 100.
19. MINIMUM GRADE FOR ROOFWATER DRAINAGE LINES SHALL BE 1%.
20. ALL PIPE JOINTS AND TAPER UP TO AND INCLUDING 300 DIA. SHALL BE VIA PURPOSE MADE FITTINGS.
21. ALL ROOF DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3600, PART 3. TESTING TO BE UNDERTAKEN AND REPORTS PROVIDED TO THE SUPERINTENDENT.
22. LOCATION OF THE DIRECT DOWN PIPE CONNECTIONS MAY VARY ON SITE TO SUIT SITE CONDITIONS, WHERE CONNECTION SHOWN ON LONG SECTIONS CHANGES ARE INDICATIVE ONLY.
23. PITS IN EXCESS OF 1.5m DEEP TO HAVE WALL AND FLOOR THICKNESS INCREASED TO 200mm. REINFORCED WITH N12/200 CTS CENTRALLY PLACED BOTH WAYS THROUGHOUT UNO ON SEPARATE DESIGN DRAWINGS IN THIS SET. IF DEPTH EXCEEDS 5m CONTACT ENGINEER.
24. SUBSOIL DRAINAGE LINES FOR LANDSCAPE AREA NOT SHOWN ON THESE DRAWINGS. REFER TO LANDSCAPING PLANS FOR DETAILS.
25. ALL STORMWATER PITS TO HAVE Ø100 PVC SLOTTED SUBSOIL PIPES CONNECTED TO THEM. THESE SUBSOILS TO EXTEND 3m UPSTREAM OF THE PIT AT A MINIMUM GRADE.

TABLE 1

SEIVE SIZE (MM)	WEIGHT PASSING (%)
75.0	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

TABLE 2

SEIVE SIZE (MM)	WEIGHT PASSING (%)
19.0	100
2.36	100 TO 50
0.60	90 TO 20
0.30	80 TO 10
0.15	25 TO 0
0.075	10 TO 0

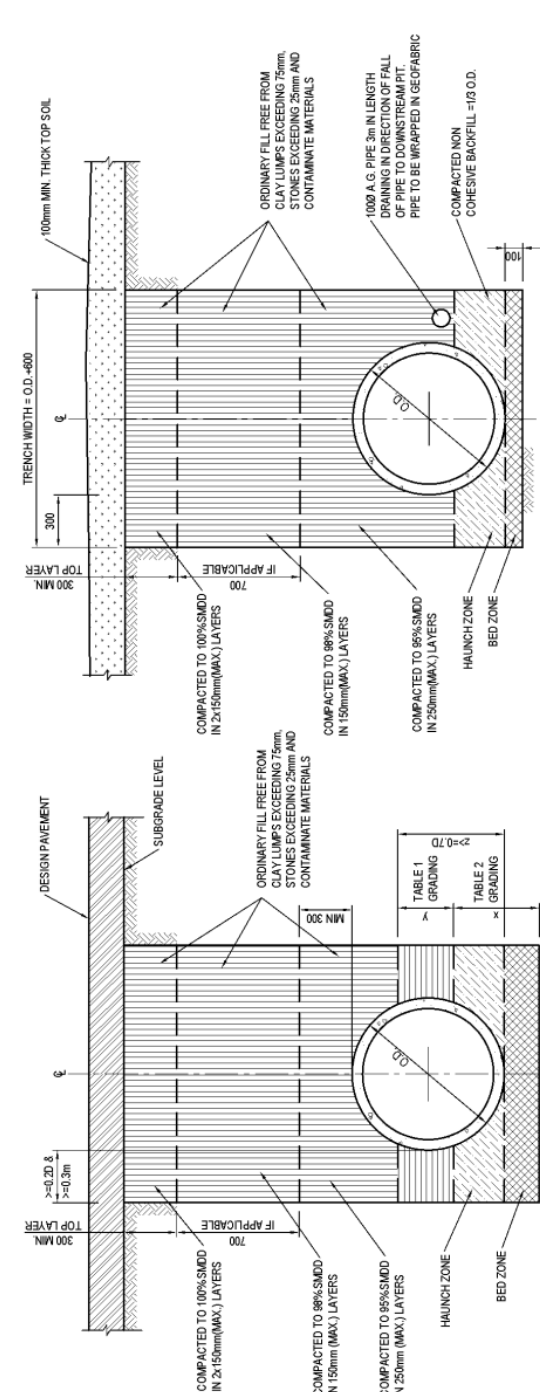
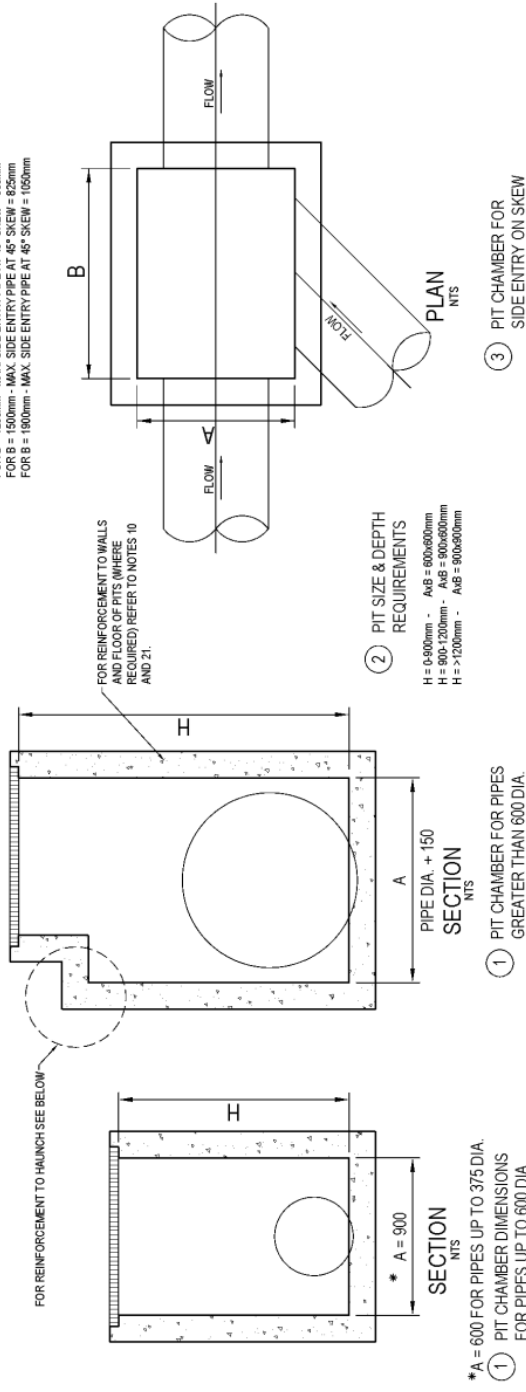
TABLE 3

SUPPORT TYPE	BED ZONE X	HAUNCH ZONE Y	BED AND HAUNCH ZONES COMPACTION FACTOR	MAX BEDDING FACTOR
HS1	100 IF D<=1500, OR 150 IF D>=1500	0.10	50	2.0
HS2		0.30	60	2.5
HS3		0.30	70	4.0

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 DA 2018/710/1

IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT PIT CHAMBER SIZE WITH REGARDS TO PIPE SIZE, DEPTH TO INVERT AND SKEW ANGLE. REFER SKETCHES BELOW.

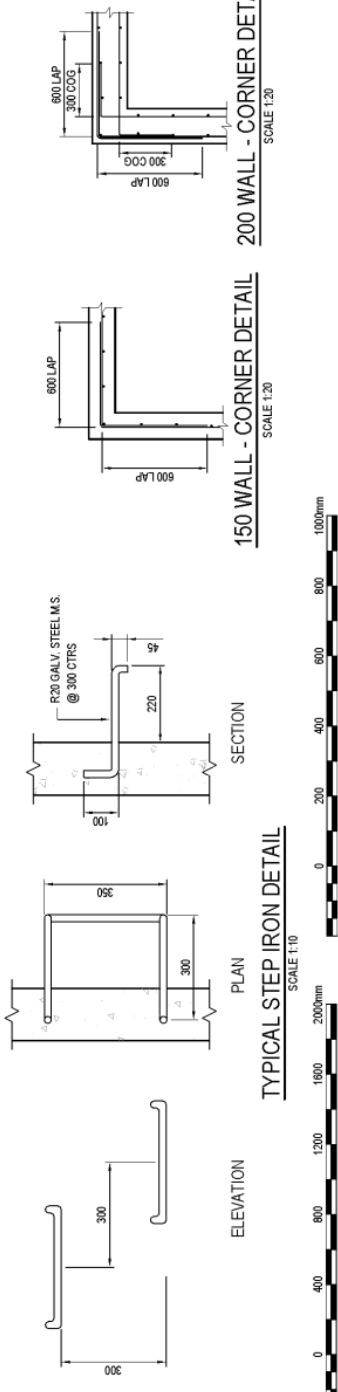
1. SELECT PIT CHAMBER USING THE STEPS BELOW.
2. SELECT PIT CHAMBER SIZE DEPENDING ON THE PIPE DIAMETERS.
3. CHECK PIT CHAMBER SIZE TO SATISFY DEPTH TO INVERT REQUIREMENTS.
4. CHECK PIT CHAMBER DIMENSIONS TO SATISFY THE SKEW ANGLE IN THE TABLE.



NOTE: TYPE HS2 TO BE USED AS A TYPICAL SUPPORT FOR TRENCHES UNDER ROADWAY UNLESS SPECIFIED SEPARATELY

PIPE TRENCH INSTALLATION BENEATH PAVEMENT (HS SUPPORT TO BE USED UNDER ROADWAY) UNLESS SPECIFIED SEPARATELY

PIPE TRENCH INSTALLATION IN LANDSCAPE AREAS (H1 & H2 SUPPORT)



REVISION	DATE	DESCRIPTION
1	31/10/2018	ISSUED FOR DA ONLY
2	20/03/2018	ISSUED FOR DA ONLY
3	20/03/2018	ISSUED FOR DA ONLY

GREENFIELDS DEVELOPMENT COMPANY

ALLEN JACK + COTTIER

Level 5,
79 Victoria Avenue
Cherrybrook NSW 2507

Telephone
+61 2 8477 8400
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+61 2 8477 8207
Email
enquiries@hennys.com.au
www.hennys.com.au

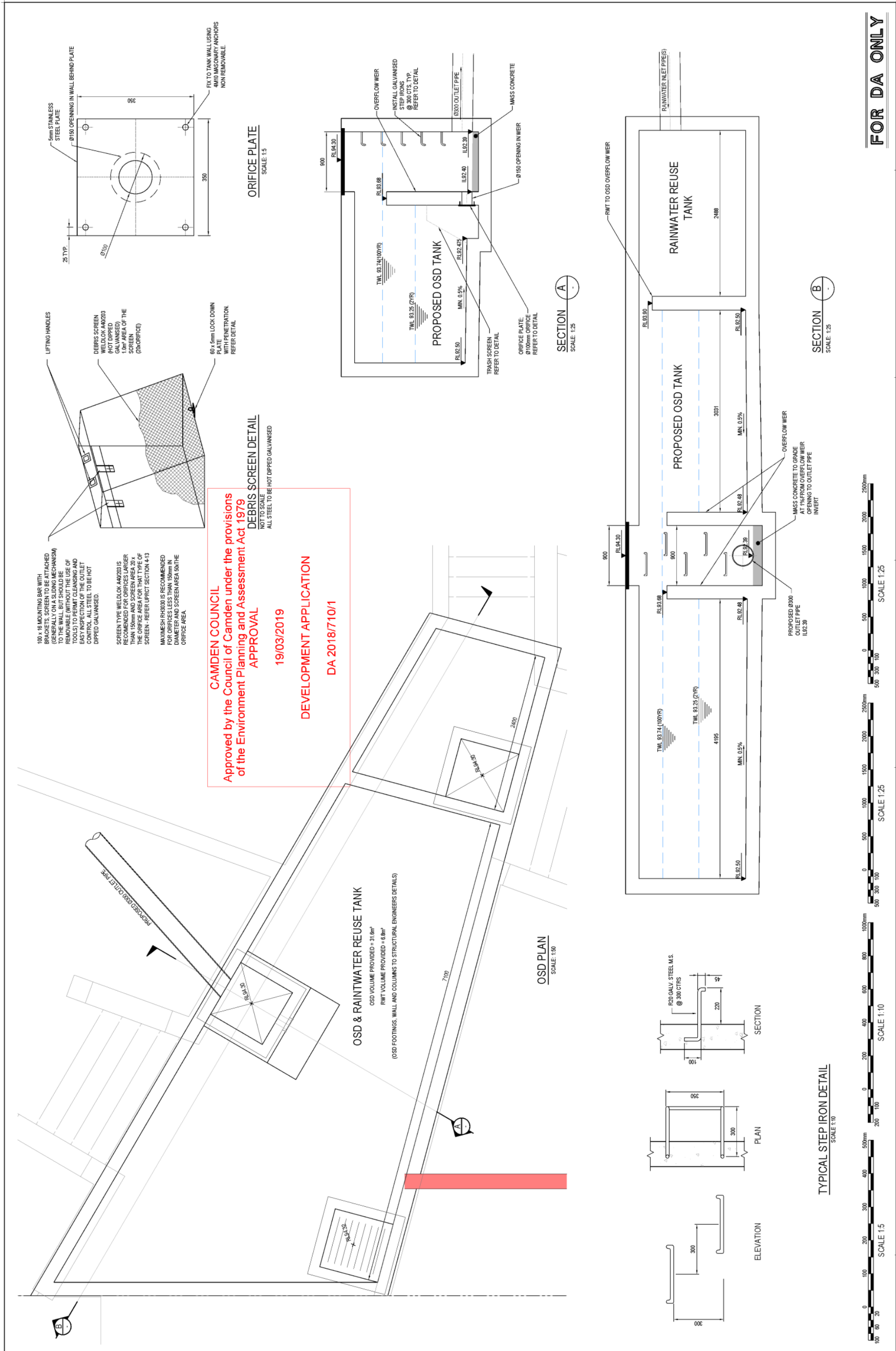
Proposed Commercial Building
Oran Park Drive, Oran Park, NSW

Stormwater Miscellaneous Details
AND PIT LID SCHEDULE

18188_DA_C200_03

FOR DA ONLY

Attachment 6

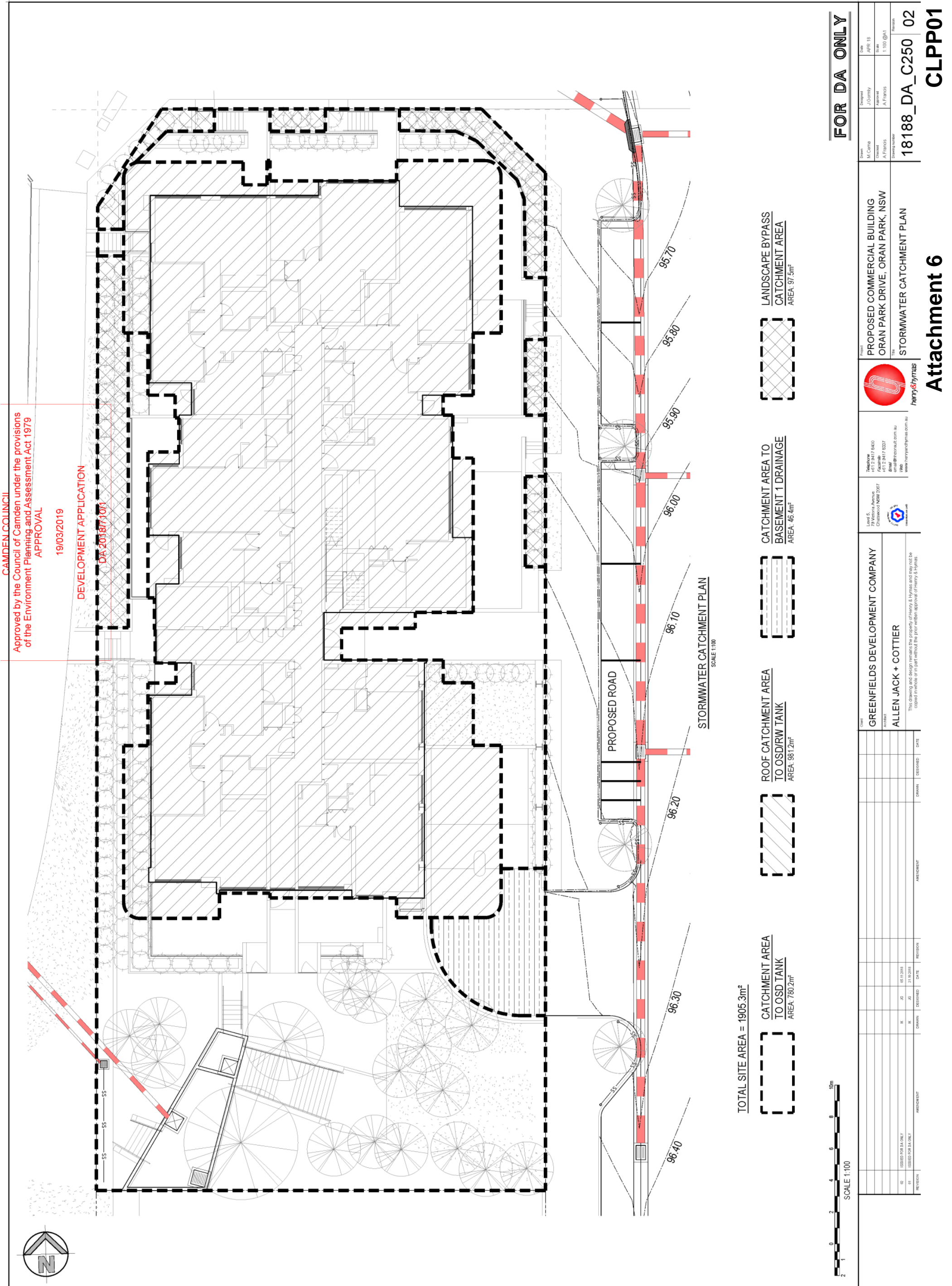


CAMDEN COUNCIL
Approved by the Council of Camden under the provisions of the Environment Planning and Assessment Act 1979 APPROVAL 19/03/2019
DEVELOPMENT APPLICATION DA 2018/710/1

FOR DA ONLY

REVISION	DATE	REVISION	DATE	REVISION	DATE
01	31/10/2018				
02	20/02/2018				
03	22/02/2018				

Client	GREENFIELDS DEVELOPMENT COMPANY	Author	ALLEN JACK + COTTIER
Level 5, 100 Victoria Avenue, Chesham NSW 2077		This drawing and design remains the property of Henry & Hyman and may not be copied in whole or in part without the prior written approval of Henry & Hyman.	
Telephone 0600 411 2 3417 8237	www.henryhyman.com.au	Level 5, 100 Victoria Avenue, Chesham NSW 2077	www.henryhyman.com.au
Project	PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW	Drawn	M. Carina
Drawn	J. Gormley	Scale	AS SHOWN @ A1
Checked	A. Francis	Revision	18188_DA_C201_03



CAMDEN COUNCIL
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 of the Environment Planning and Assessment Act 1979
 APPROVAL
 19/03/2019
 DEVELOPMENT APPLICATION
 DA 2018/101

FOR DA ONLY

Client	M. Camo	Project	110/Comby	Date	APR 18
Location	A. Francis	Scale	1:100 @A1	Drawn	
Drawn		Checked		Issue	
18188_DA_C250			02		

Attachment 6

PROPOSED COMMERCIAL BUILDING
 ORAN PARK DRIVE, ORAN PARK, NSW

the
henny&hynes
 STORMWATER CATCHMENT PLAN

18188_DA_C250 02
 CLPP01

Level 5,
 79 Victoria Avenue,
 Chesham NSW 2571

79 Victoria Avenue
 Chesham NSW 2571
 Tel: +61 2 9477 8400
 Fax: +61 2 9477 8227
 Email: info@hennyandhynes.com.au
 www.hennyandhynes.com.au

GREENFIELDS DEVELOPMENT COMPANY
 Project
 ALLEN JACK + COTTIER

This drawing and design remains the property of Henry & Hynes and may not be copied in whole or in part without the prior written approval of Henry & Hynes.

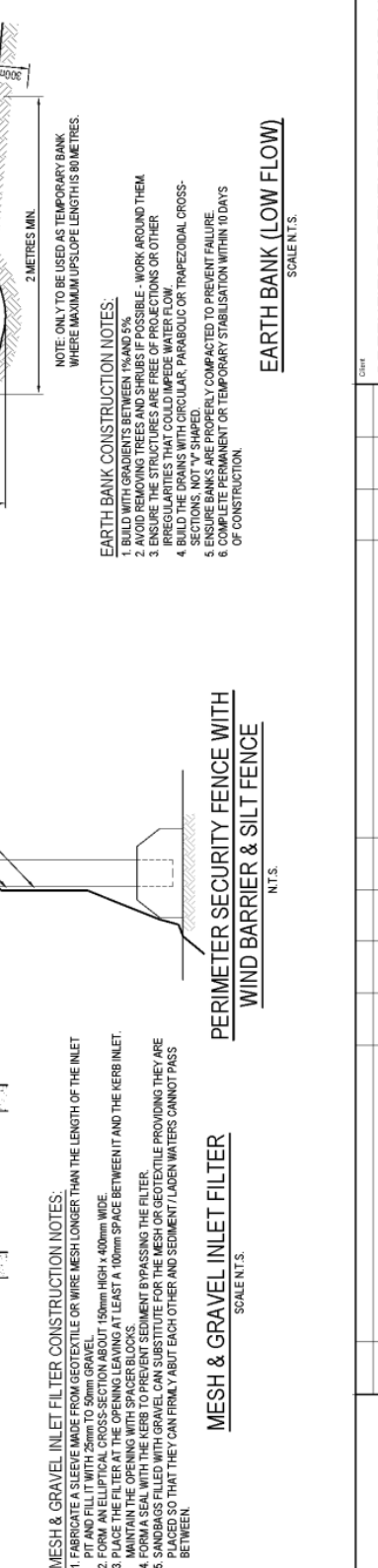
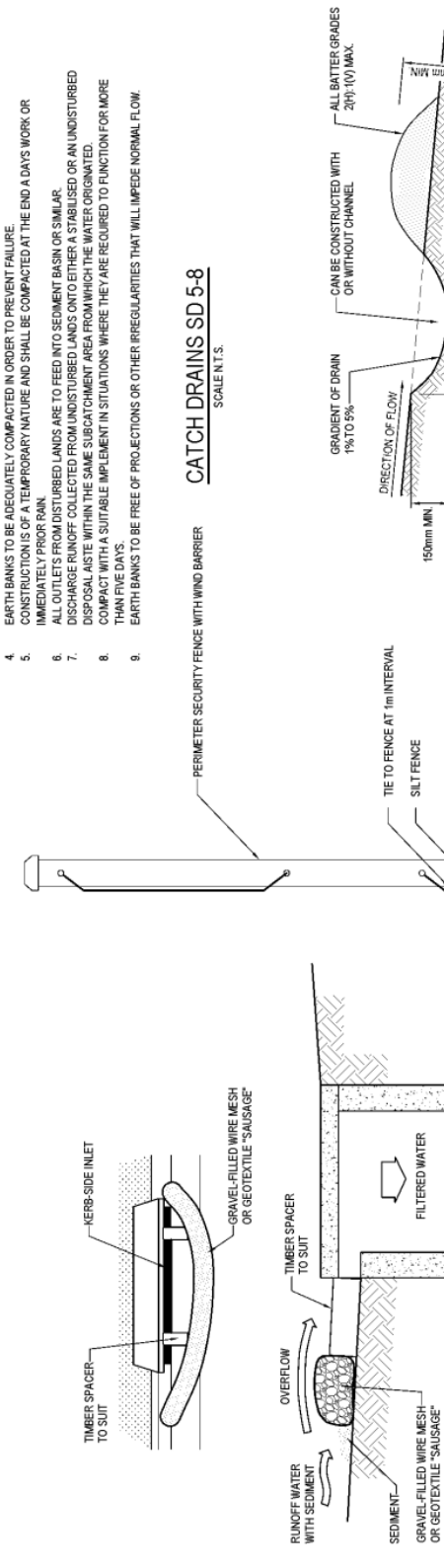
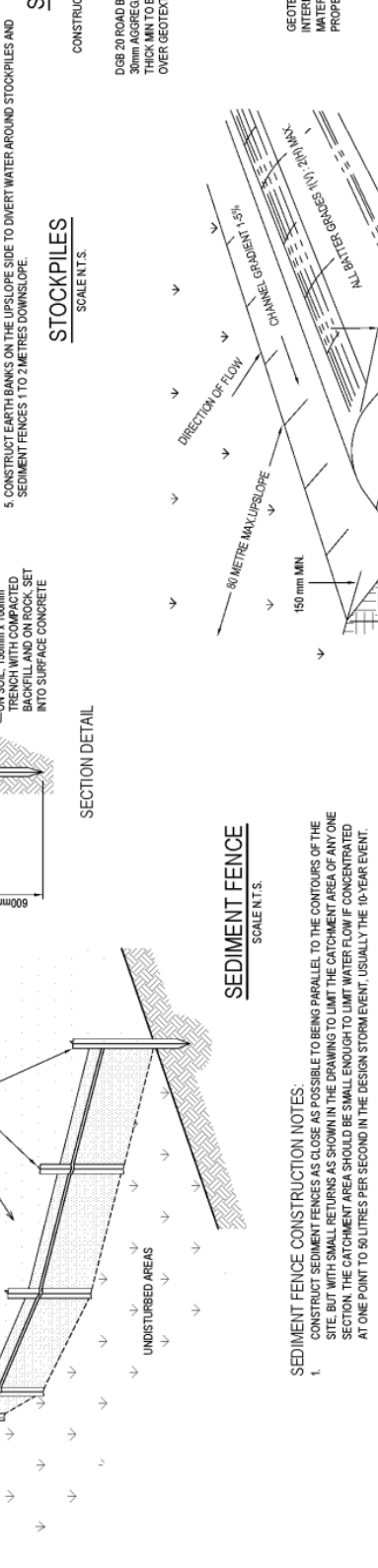
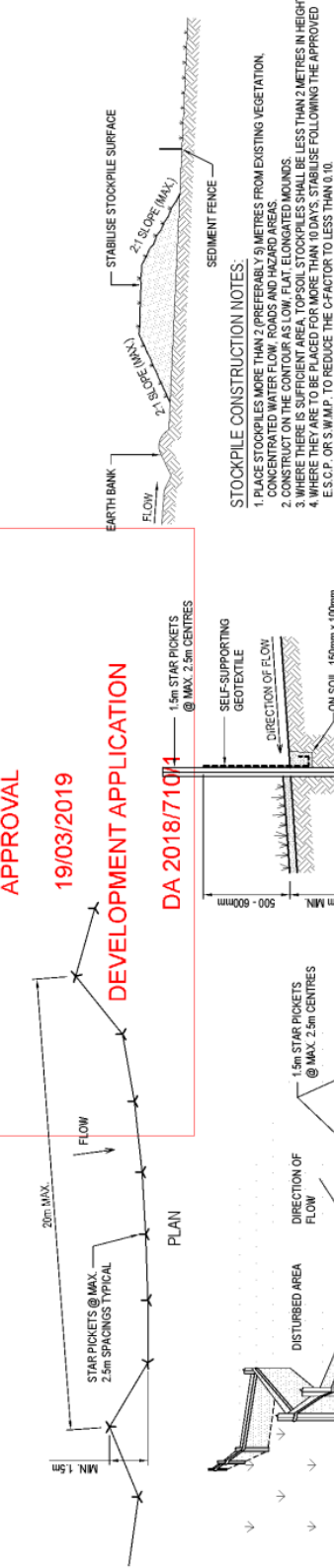
NO.	REVISION	DATE	DESIGNED	DRAWN	CHECKED
02	ISSUED FOR DA ONLY	15/11/2018	JJ	JJ	
01	ISSUED FOR DA ONLY	31/03/2018	JJ	JJ	

Approved by the Council of Camden under the provisions of the Environment Planning and Assessment Act 1979 APPROVAL

19/03/2019

DEVELOPMENT APPLICATION

DA 2018/71014



SEDIMENT BASIN SIZING

THE SEDIMENT BASIN SHALL BE CONSTRUCTED ON A RATE PER HECTARE BASIS AND HAS BEEN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDCOM MANUAL 'MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION' FOR SEDIMENTATION TYPED SOILS. THE DISTURBED AREA WITHIN THIS CALCULATION SHALL BE LIMITED TO ANY ONE TIME SHOULD BE LIMITED TO AN AREA FOR WHICH EACH SEDIMENT BASIN CAN HANDLE. EACH BASIN SHALL BE SIZED IN ACCORDANCE WITH THE TABLE BELOW.

SEDIMENT BASIN SIZING TYPED SOILS	
VOLUMETRIC RUNOFF COEFFICIENT (CV)	0.5 (APPENDIX F - TABLE F2)
75TH PERCENTILE 5 DAY TOTAL RAINFALL DEPTH (R)	19.30 mm
CATCHMENT AREA (A)	1 Ha (UNIT AREA)
SETTLING ZONE VOLUME (PER HECTARE) 10 CV/R	96.50 m ³
DISTURBED CATCHMENT AREA	1 Ha (UNIT AREA)
R.K.L.S.P.C	73 m ³
SEDIMENT ZONE VOLUME (0.17 A (R.K.L.S.P.C)^3)	6 m ³ - 50% SETTLING VOLUME TO ADOPT 48.3 m ³ PER HECTARE
TOTAL SEDIMENT BASIN VOLUME REQUIRED:	144.8 m ³

LANDCOM MANAGING URBAN STORMWATER MANUAL REFERENCE

THE FOLLOWING DESIGN PARAMETERS HAVE BEEN ASSESSED FOR THE SITE:

CONSTRAINT	VALUE	(SOURCE)*
RAINFALL EXPOSURE (R-FACTOR)	2250	APPENDIX B
LENGTHSLOPE GRADIENT FACTOR (LS)	0.05	APPENDIX A - TABLE A1
SOIL ERODIBILITY (K-FACTOR)	0.008	(ASSUMED BASED ON SOIL TYPE)
EROSION CONTROL PRACTICE FACTOR (P-FACTOR)	1.3 (COMPACTED)	APPENDIX A - TABLE A2
COVER FACTOR (C-FACTOR)	1.0 (DURING EARTHWORKS)	APPENDIX A - FIGURE A5
CALCULATED SOIL LOSS (A (RUSLE EQUATION))	73 t/ha/yr	A = R K L S P C
SOIL HYDROLOGIC GROUP	GROUP C	(ASSUMED BASED ON SOIL TYPE)
SEDIMENT TYPE	TYPE D	(ASSUMED BASED ON SOIL TYPE)
75TH PERCENTILE 5 DAY RAINFALL EVENT	19.3 mm (CAMDEN)	TABLE B.3A

* LANDCOM MANAGING URBAN STORMWATER MANUAL REFERENCE

SEDIMENT BASIN SIZING

THE SEDIMENT BASIN SHALL BE CONSTRUCTED ON A RATE PER HECTARE BASIS AND HAS BEEN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDCOM MANUAL 'MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION' FOR SEDIMENTATION TYPED SOILS. THE DISTURBED AREA WITHIN THIS CALCULATION SHALL BE LIMITED TO ANY ONE TIME SHOULD BE LIMITED TO AN AREA FOR WHICH EACH SEDIMENT BASIN CAN HANDLE. EACH BASIN SHALL BE SIZED IN ACCORDANCE WITH THE TABLE BELOW.

SEDIMENT BASIN SIZING TYPED SOILS	
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R.K.L.S.P.C	73 m ³
SEDIMENT ZONE VOLUME (0.17 A (R.K.L.S.P.C)^3)	6 m ³ - 50% SETTLING VOLUME TO ADOPT 48.3 m ³ PER HECTARE
TOTAL SEDIMENT BASIN VOLUME REQUIRED:	144.8 m ³

BASEIN MANAGEMENT

1. THE CAPTURED STORMWATER IN THE SETTLING ZONE SHOULD BE DRAINED TO MEET THE MINIMUM STORAGE CAPACITY REQUIRED FOR THE PERIOD OF FIVE (5) DAY PERIOD FOLLOWING RAINFALL. PROVIDED THE ACCEPTABLE WATER QUALITY (APR) AND TURBIDITY HAVE BEEN ACHIEVED.
2. CHEMICAL FLOCCULANT SUCH AS GYPSIUM MAY BE DOSED TO AID SETTLING WITHIN 24 HOURS OF CONSTRUCTION OF EACH STORM. THE APPLIED DOSING RATES SHOULD ACHIEVE THE TARGET QUALITY WITHIN 30 TO 72 HOURS OF THE STORM EVENT.
3. INSPECT THE SEDIMENT BASINS AFTER EACH RAINFALL EVENT AND/OR WEEKLY. ENSURE THAT ALL SEDIMENT IS REMOVED ONCE THE SEDIMENT HAS SETTLED. STILL PREFERABLE TYPES INSTALLED IN ORDER TO ACHIEVE THE TARGET QUALITY WITHIN 30 TO 72 HOURS OF THE STORM EVENT. OUTLET AND EMERGENCY SPILLWAY WORKS ARE MAINTAINED IN FULLY OPERATIONAL CONDITION AT ALL TIMES.

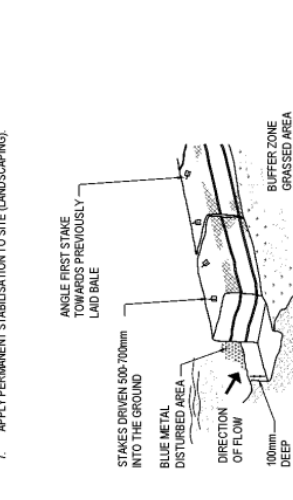
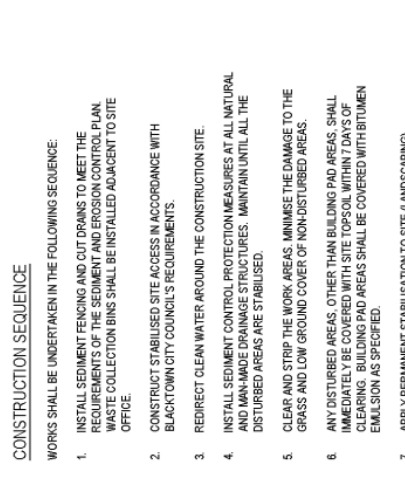
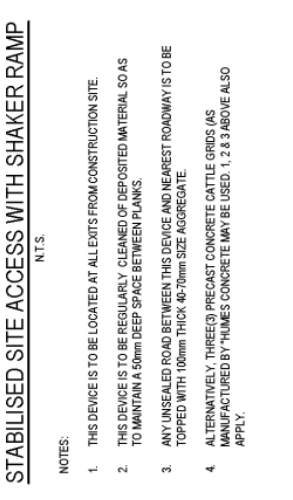
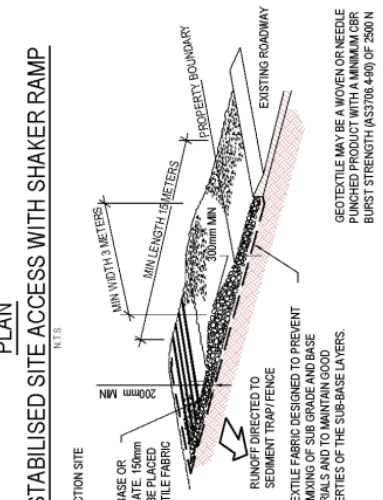
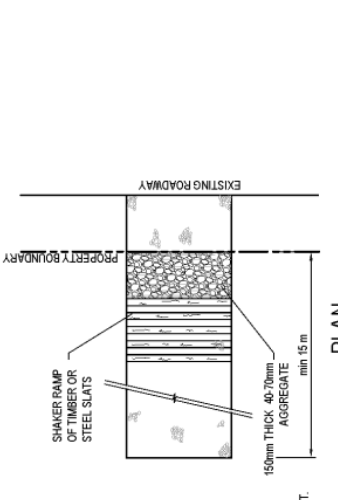
SOWING SEASON	SEED MIX
AUTUMN/WINTER	OAT5@40KG/HA + JAPANESE MILLET@100KG/HA
SPRING/SUMMER	OAT5@20KG/HA + JAPANESE MILLET@20KG/HA

NOTE: THESE PLANT SPECIES ARE FOR TEMPORARY REVEGETATION ONLY. THEY ONLY PROVIDE PROTECTION FROM EROSION FOR SIX MONTHS. WHERE THE LOTS ARE TO BE LEFT UNDEVELOPED FOR A LONGER PERIOD, THE CONTRACTOR SHALL SEEK ADVICE FROM THE SITE SUPERINTENDENT AS TO MORE APPROPRIATE REVEGETATION METHODS.

REVEGETATION IN ACCORDANCE WITH THE ABOVE TABLE WILL BE ENHANCED BY ADDING LIME AT A RATE OF 4kg/TONNE OF TOPSOIL AND 7.5kg/TONNE OF SUBSOIL.

LAND	MAXIMUM C-FACTOR	REMARKS
WATERWAYS AND OTHER AREAS OF CONCENTRATED FLOWS, POST CONSTRUCTION	0.05	APPLIES AFTER TEN WORKING DAYS OF COMPLETION OF FORMATION AND BEFORE CONCENTRATED FLOWS ARE APPLIED. FOOT AND VEHICULAR TRAFFIC IS PROHIBITED IN THIS AREA AND 70% GROUND COVER IS REQUIRED.
STOCKPILES, POST CONSTRUCTION	0.10	APPLIES AFTER TEN WORKING DAYS FROM COMPLETION OF FORMATION. 60% GROUND COVER IS REQUIRED.
ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION	0.15	APPLIES AFTER 20 DAYS OF INACTIVITY, EVEN THOUGH WORKS MAY BE INCOMPLETE. 50% GROUND COVER IS REQUIRED.

THE LONG TERM GROUND COVER FACTORS FOR THE CONSTRUCTION WORKS IS NOT TO EXCEED THE FOLLOWING LIMITS:



FOR DA ONLY

Drawn	Checked	Approved	Date
M. Carina	J.G. Gentry	A. Francis	APR 18
A. Francis	A. Francis	A. Francis	NTS

Project: PROPOSED COMMERCIAL BUILDING ORAN PARK DRIVE, ORAN PARK, NSW

Drawn: 18188_DA_SE02

Scale: 02